

R.O.W. ENCROACHMENT

ENCROACHMENTS INTO THE PUBLIC R.O.W. (PER CBC 3202.)
 -ARCHITECTURAL FEATURES BELOW 8' IN HEIGHT SUCH AS COLUMNS, PILASTERS, BASES, AND MOLDINGS SHALL NOT PROJECT MORE THAN 12"
 -ARCHITECTURAL FEATURES 8' OR HIGHER ARE PERMITTED TO ENCROACH 1" PER EACH ADDITIONAL 1" OF CLEARANCE ABOVE 8', BUT THE MAXIMUM ENCROACHMENT SHALL NOT EXCEED 4'-0"
 -ARCHITECTURAL FEATURES 15' OR HIGHER SHALL BE PERMITTED AND SHALL NOT BE LIMITED
 -THE VERTICAL CLEARANCE FROM THE PUBLIC R.O.W. TO THE LOWEST PART OF ANY AWNING SHALL NOT BE LESS THAN 7'-0"
 -AWNINGS, CANOPIES, MARQUEES AND SIGNS LOCATED LESS THAN 15' ABOVE THE SIDEWALK SHALL NOT EXTEND INTO MORE THAN 2/3 THE WIDTH OF THE SIDEWALK, MEASURED FROM THE BUILDING; STANCHIONS OR COLUMNS SUPPORTING THESE ELEMENTS SHALL BE LOCATED NOT LESS THAN 2' IN FROM THE CURB LINE.

VICINITY MAP

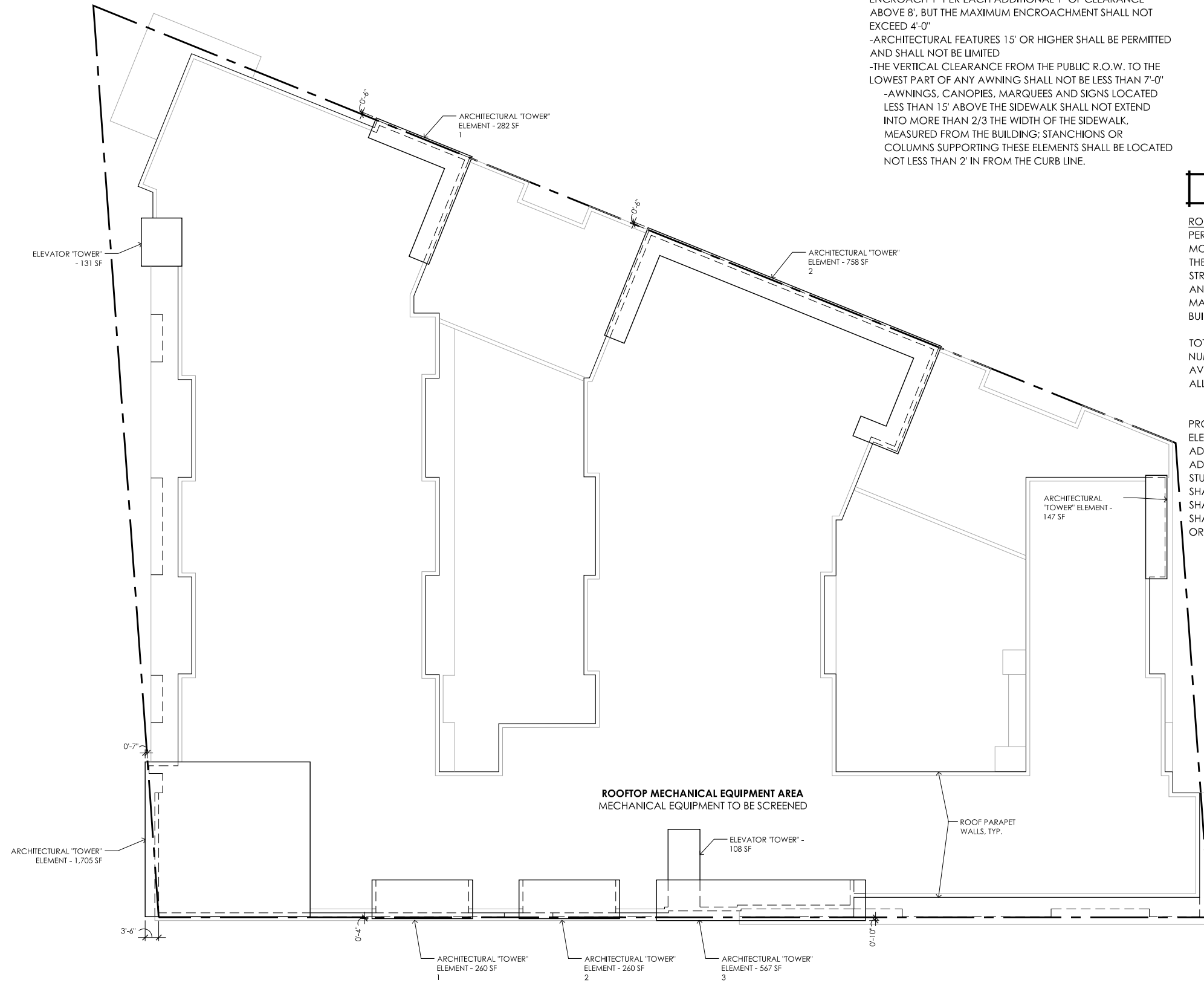


ROOF PROJECTIONS

ROOF PROJECTIONS CALCULATIONS
 PER BMC 23E.04.020.C: NO STRUCTURE SHALL REPRESENT MORE THAN 15% OF THE AVERAGE FLOOR AREA OF ALL OF THE BUILDING'S FLOORS; AND NO TOWER OR SIMILAR STRUCTURE SHALL BE USED AS HABITABLE SPACE OR FOR ANY COMMERCIAL PURPOSE, OTHER THAN THAT WHICH MAY ACCOMMODATE THE MECHANICAL NEEDS OF THE BUILDING.

TOTAL FLOOR AREA: 257,823 SF
 NUMBER OF FLOORS/STORIES: 7 STORIES
 AVERAGE FLOOR AREA OF ALL FLOORS: 36,832 SF
 ALLOWED AREA OF ROOF PROJECTION:
 15% X 36,832 SF = 5,525 SF MAX

PROPOSED AREA OF ROOF PROJECTION: 4,110 SF
 ELEVATOR TOWER: 131 SF
 ADELINE ARCH TOWER ELEMENT 1: 282 SF
 ADELINE ARCH TOWER ELEMENT 2: 758 SF
 STUART ARCH TOWER ELEMENT: 147 SF
 SHATTUCK ARCH TOWER ELEMENT 1: 260 SF
 SHATTUCK ARCH TOWER ELEMENT 2: 260 SF
 SHATTUCK ARCH TOWER ELEMENT 3: 567 SF
 OREGON / SHATTUCK ARCH TOWER: 1,705 SF



CONCEPTUAL ROOF LAYOUT



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 1327 ARCHER STREET, SUITE 220
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 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS ARCHITECT #27608
 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD

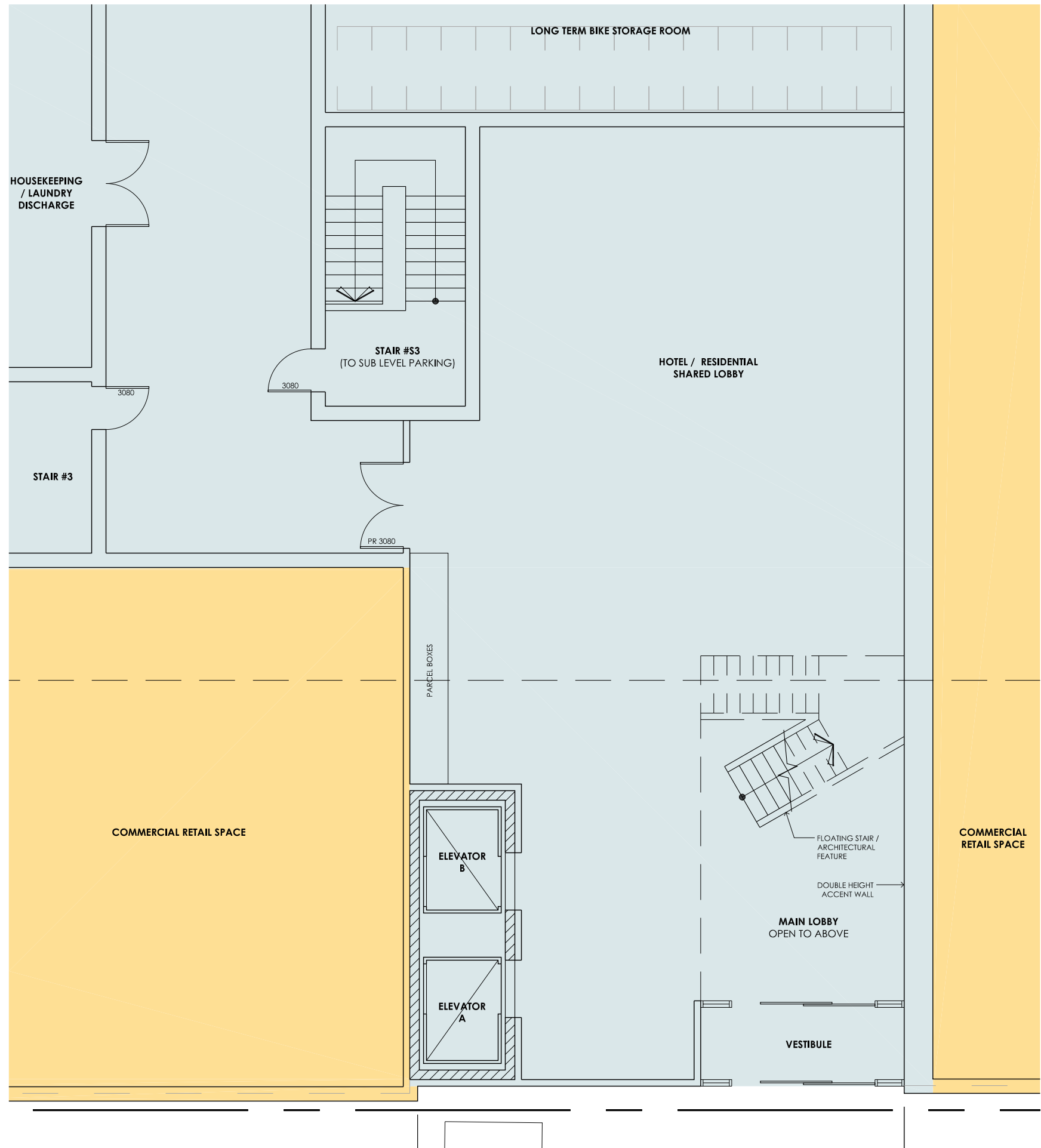


A PROJECT FOR:
NX VENTURES
 2343 STUART STREET
 BERKELEY, CA 94704
 510.692.2994
 NX-VENTURES.COM

THE BERKELEY COLLECTION
 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #1: 2801 ADELINE STREET
ROOF PLAN

DATE
JUNE 9, 2021
 ARRIS PROJECT #
 A19103
 CITY OF BERKELEY APPLICATION #
2P2020-0118
 SHEET #

A2.07



ENLARGED PLAN - MAIN LOBBY



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2801 ADELINE ST. & 2900 SHATTUCK AVE. BERKELEY, CA

SITE #1: 2801 ADELINE STREET
ENLARGED PLAN - LOBBY

PROJECT NORTH
TRUE NORTH
1" = 1'-0"
1/8" = 1'-0"

DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #

A2.10



ADDRESS
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**SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
STUDIO UNITS**

PROJECT NORTH
TRUE NORTH
0' 6" 1' 2' 3' 6' 12'
1/16" = 1'-0"
1/8" = 1'-0"

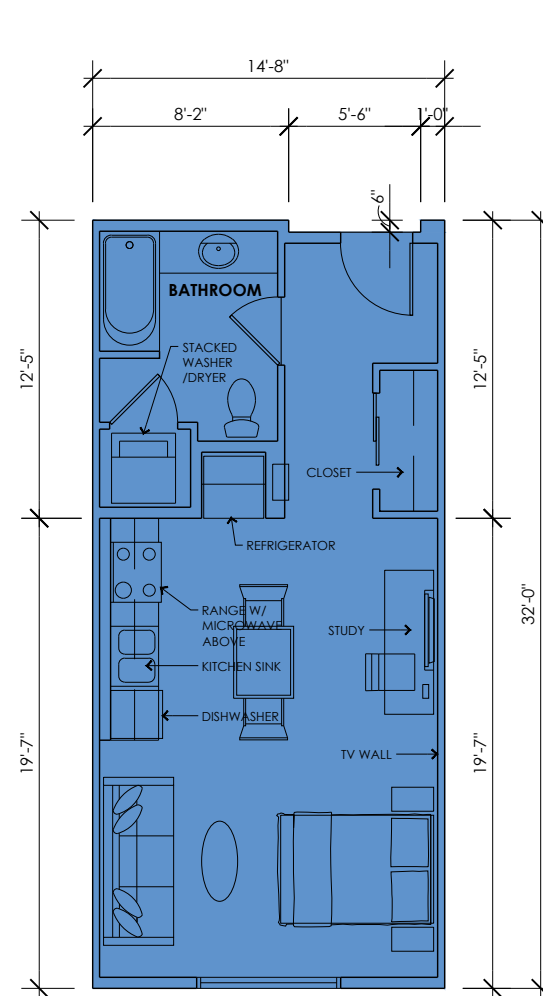
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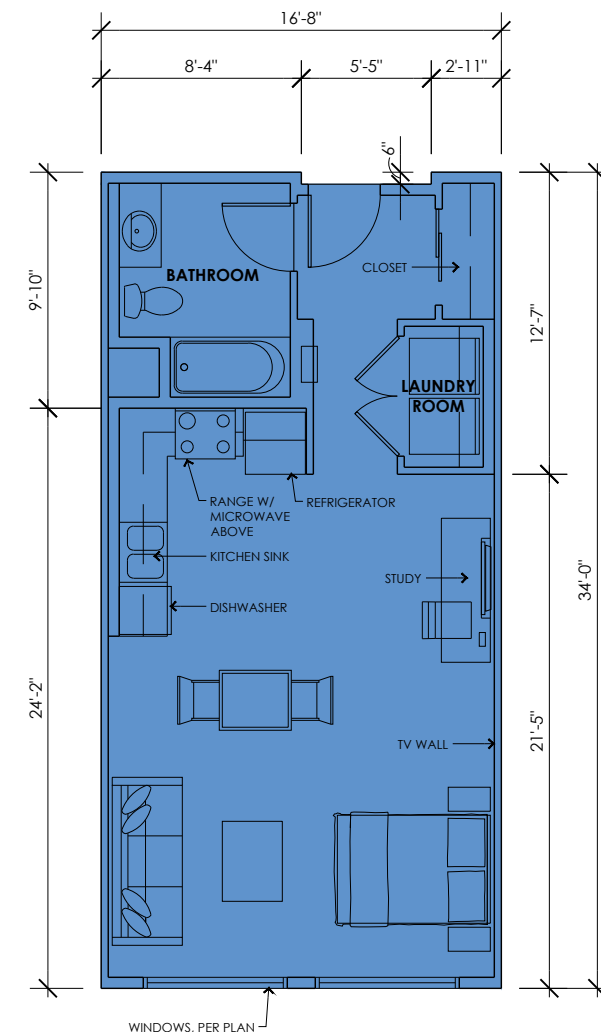
CITY OF BERKELEY APPLICATION #
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A2.11



ENLARGED RES. PLAN - TYPICAL STUDIO UNIT 2



ENLARGED RES. PLAN - TYPICAL STUDIO UNIT 1



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**SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
ONE-BEDROOM UNITS**

PROJECT NORTH
TRUE NORTH
1" = 1'-0"
1/8" = 1'-0"

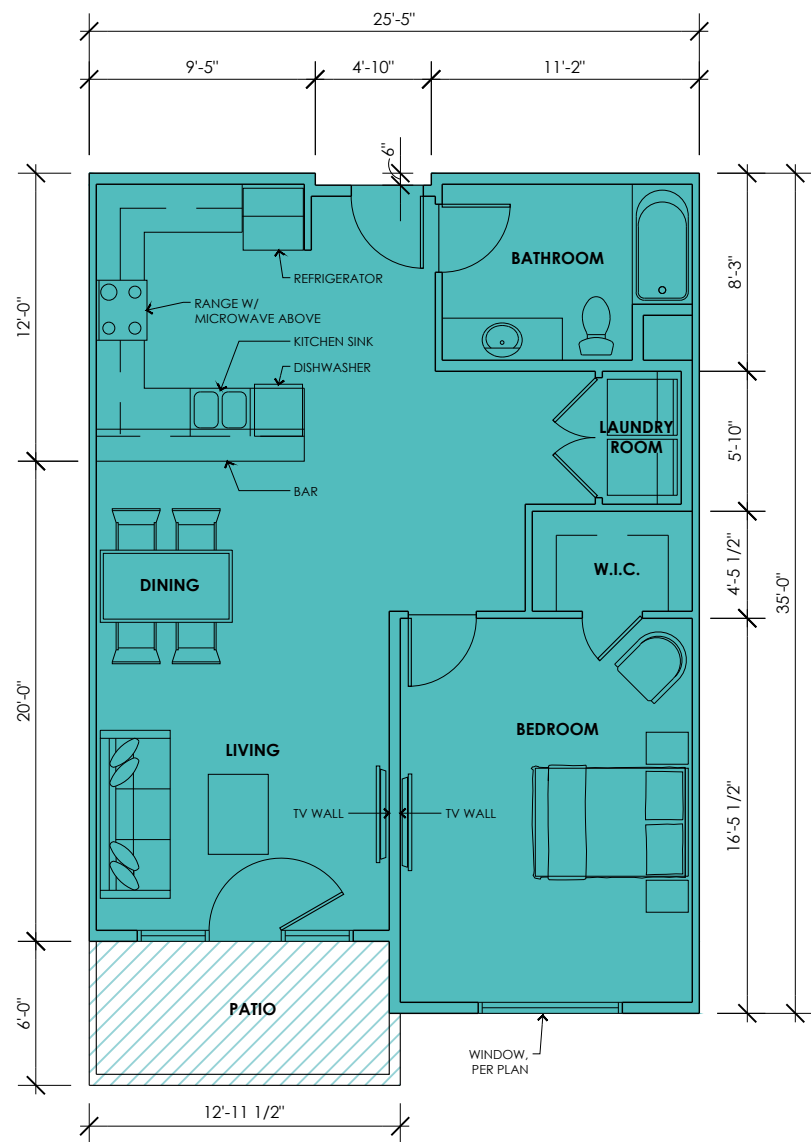
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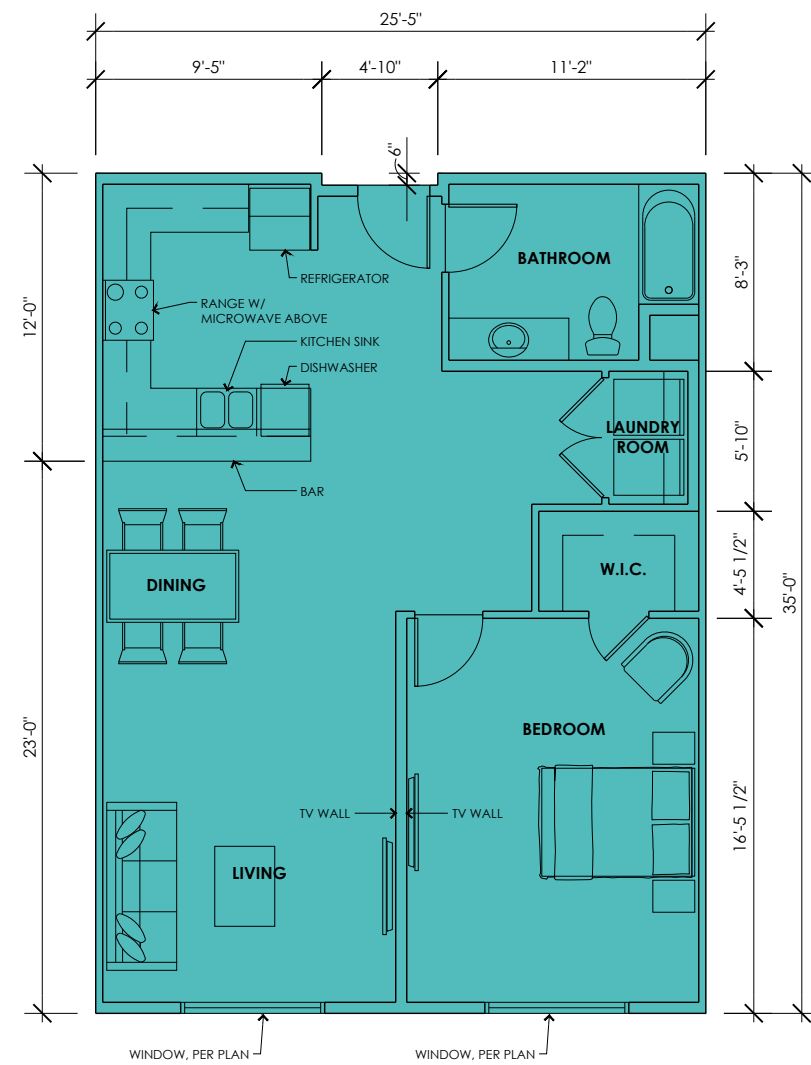
CITY OF BERKELEY APPLICATION #
ZP2020-0118

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A2.12



ENLARGED RES. PLAN - TYPICAL ONE-BEDROOM UNIT 2



ENLARGED RES. PLAN - TYPICAL ONE-BEDROOM UNIT 1



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**SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
TWO-BEDROOM UNITS**

PROJECT NORTH
TRUE NORTH
0' 6" 1' 2' 3' 6'
1" X 7" SHEET SCALE: 1/8" = 1'-0"

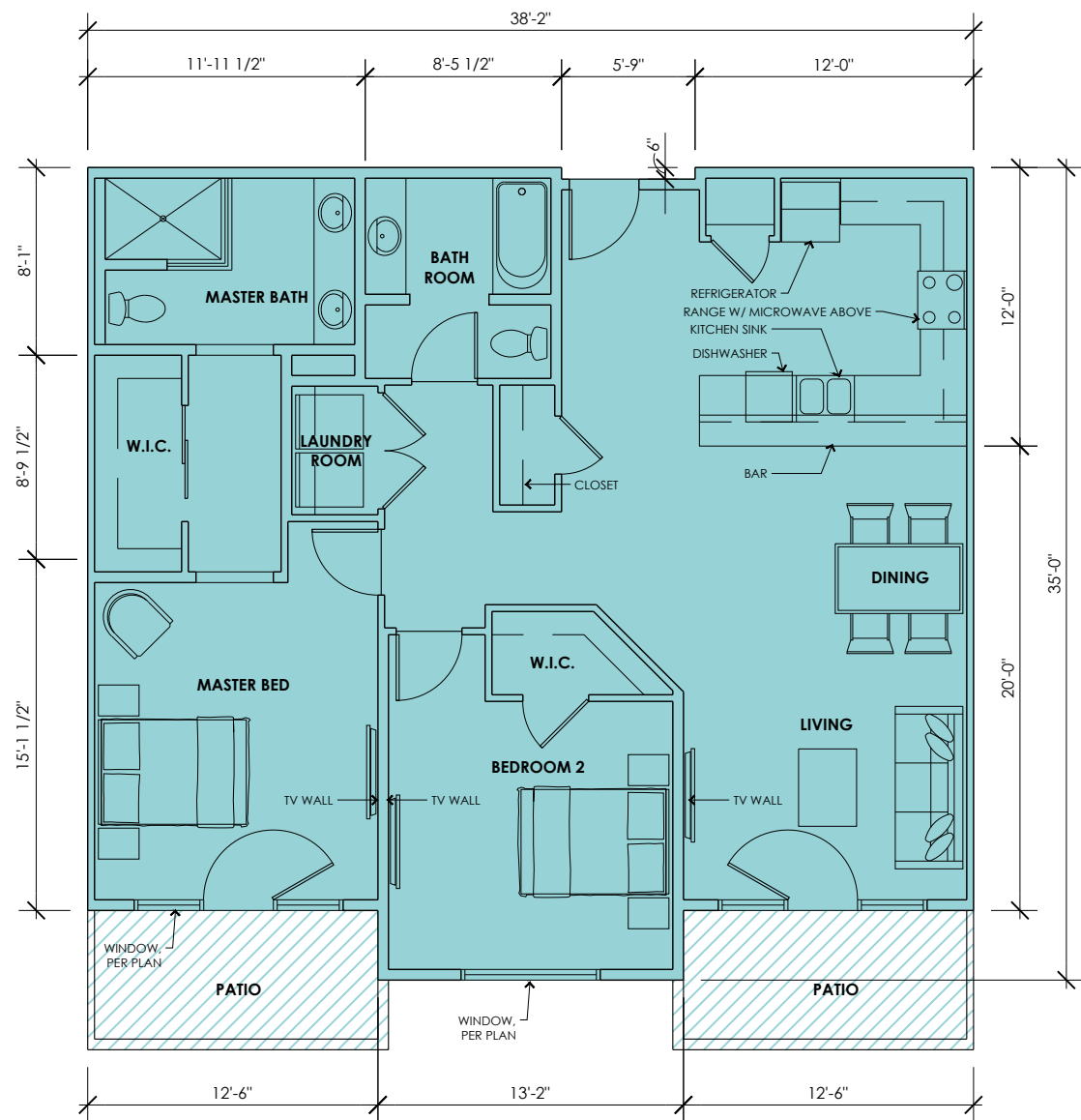
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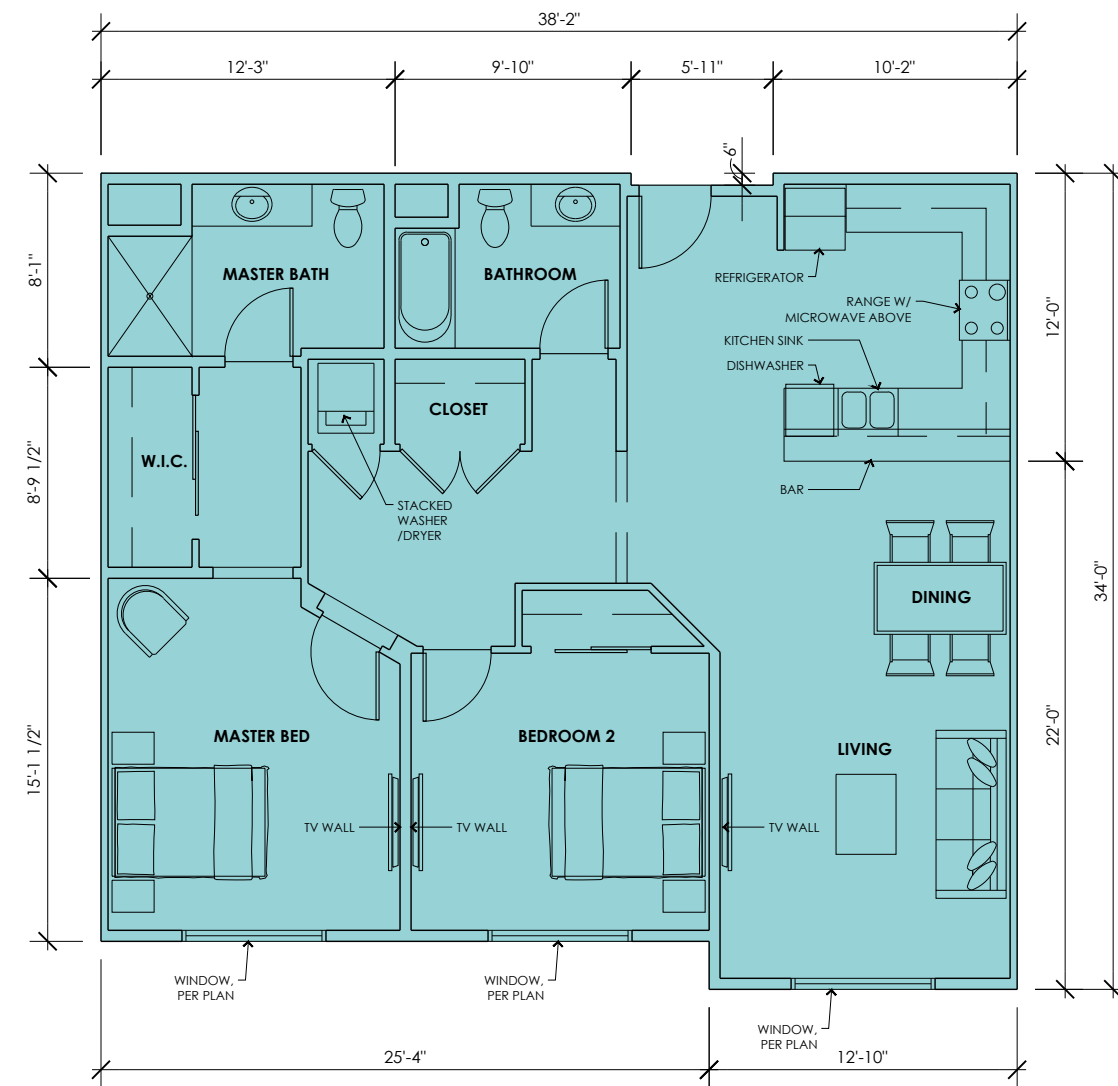
CITY OF BERKELEY APPLICATION #
2P2020-0118

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A2.13



ENLARGED RESIDENTIAL PLAN - TYPICAL TWO-BEDROOM UNIT 2



ENLARGED RESIDENTIAL PLAN - TYPICAL TWO-BEDROOM UNIT 1



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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
0 1 2 3 4 5
1" = 30'-0"

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SHEET #
A2.20



Decorative vertical metal siding

Smooth exterior plaster w/ fry reglet reveals

Mural at exterior facade

Mural at exterior facade

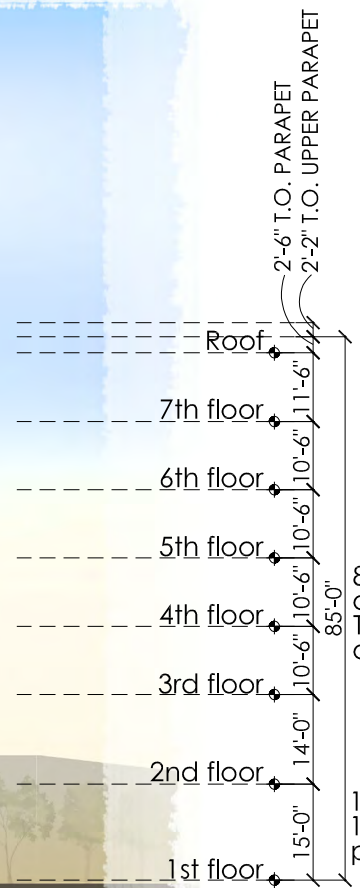
Mural at exterior facade

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Exterior wall lighting, typical

Glass railings at balcony

Corten Steel planter



VICINITY MAP



EXTERIOR ELEVATION - STUART STREET/NORTH (FRONT)



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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
1" = 30'-0"
11x17 SHEET SCALE

DATE
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A2.21



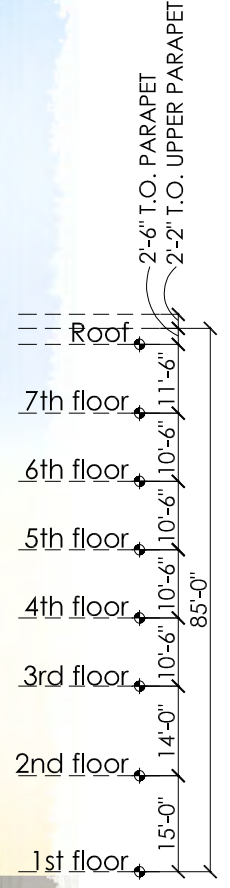
Decorative vertical metal panels
Smooth exterior plaster w/ fry reglet reveals

Decorative vertical metal siding

Corten Steel planter

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Exterior lighting



VICINITY MAP



EXTERIOR ELEVATION - SHATTUCK AVENUE/EAST (STREET SIDE)



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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
1" = 30'-0"
11x17 SHEET SCALE

DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

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ZP2020-0118

SHEET #

A2.22



VICINITY MAP



EXTERIOR ELEVATION - OREGON STREET/SOUTH (FRONT)



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PROJECT NORTH
TRUE NORTH

0 1 2 3 4 5
1" = 30'-0"

SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

DATE
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ZP2020-0118

SHEET #

A2.23



Smooth exterior plaster w/ fry reglet reveals

Decorative vertical metal panels
Decorative metal panels at exterior facade

2'-6" T.O. PARAPET
2'-2" T.O. UPPER PARAPET

Roof
7th floor
6th floor
5th floor
4th floor
3rd floor
2nd floor
1st floor

85'-0"

15'-0"

14'-0"

10'-6"

10'-6"

10'-6"

10'-6"

10'-6"

11'-6"

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Decorative metal panels at exterior facade

Decorative vertical metal panels

Decorative vertical metal siding

Exterior Lighting
Corten Steel planter

Metal awning

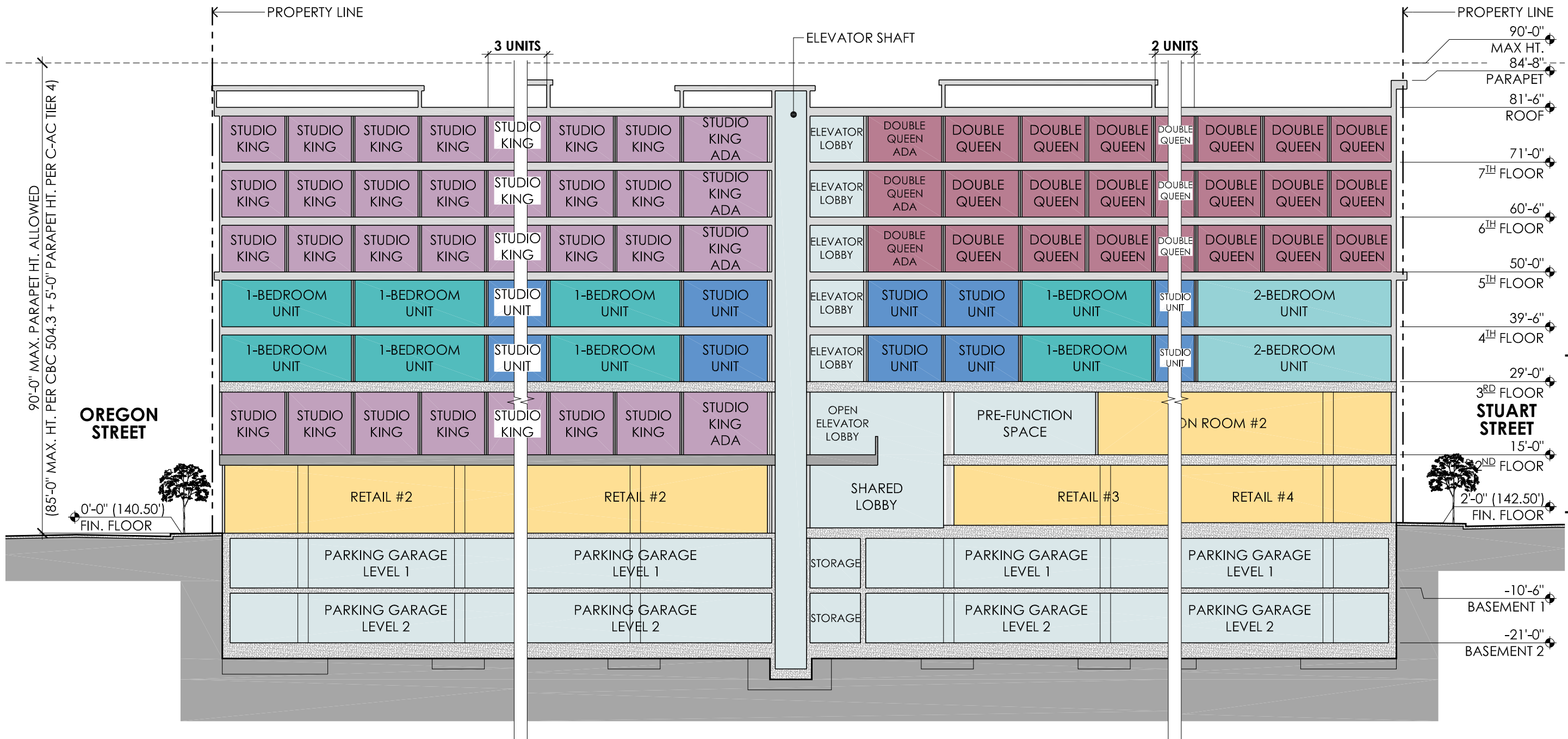
Driveway "Out"

Driveway "In"

VICINITY MAP



EXTERIOR ELEVATION - ADELINE STREET/WEST (STREET SIDE)

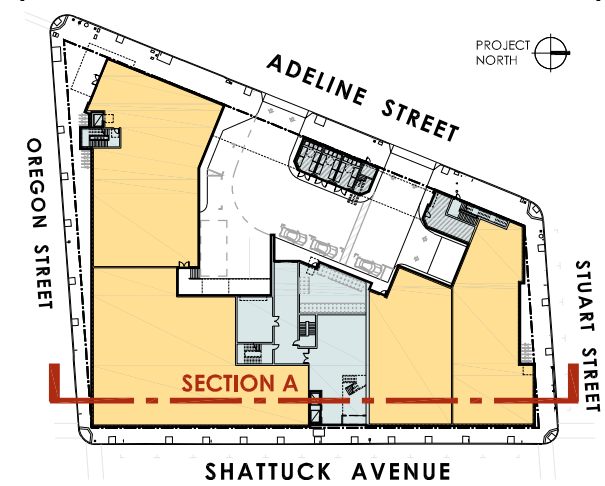


OREGON STREET

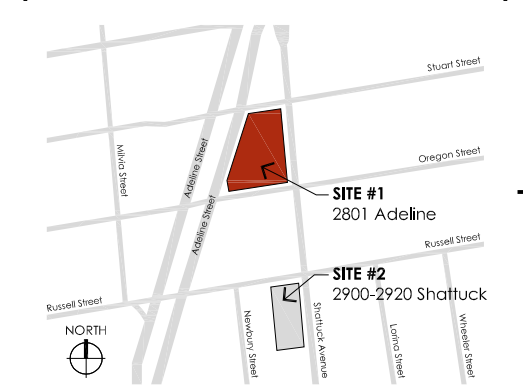


BUILDING SECTION A - PARALLEL TO SHATTUCK AVE

KEY PLAN



VICINITY MAP



ADDRESS
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ARCHITECT OF RECORD



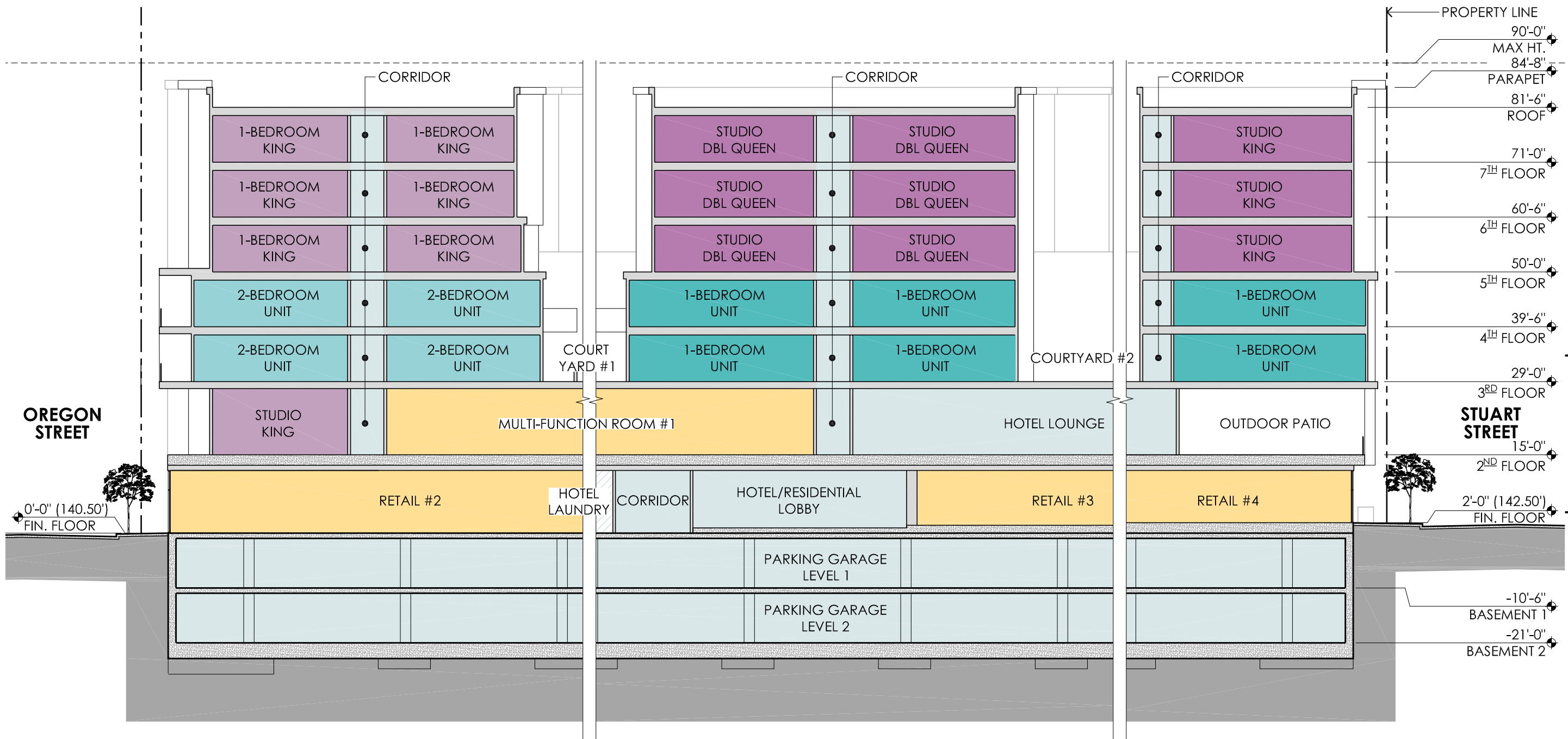
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2343 STUART STREET
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THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #1: 2801 ADELINE STREET
SITE/BUILDING SECTION A

DATE
JUNE 9, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.30





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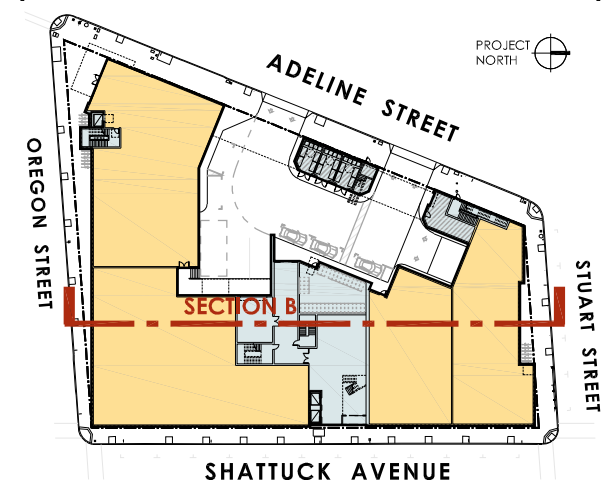
THE BERKELEY COLLECTION
 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA

SITE #1: 2801 ADELINE STREET
SITE/BUILDING SECTION B

1" = 20'-0"
 11x17 SHEET SCALE

BUILDING SECTION B - PARALLEL TO SHATTUCK AVE

KEY PLAN



VICINITY MAP



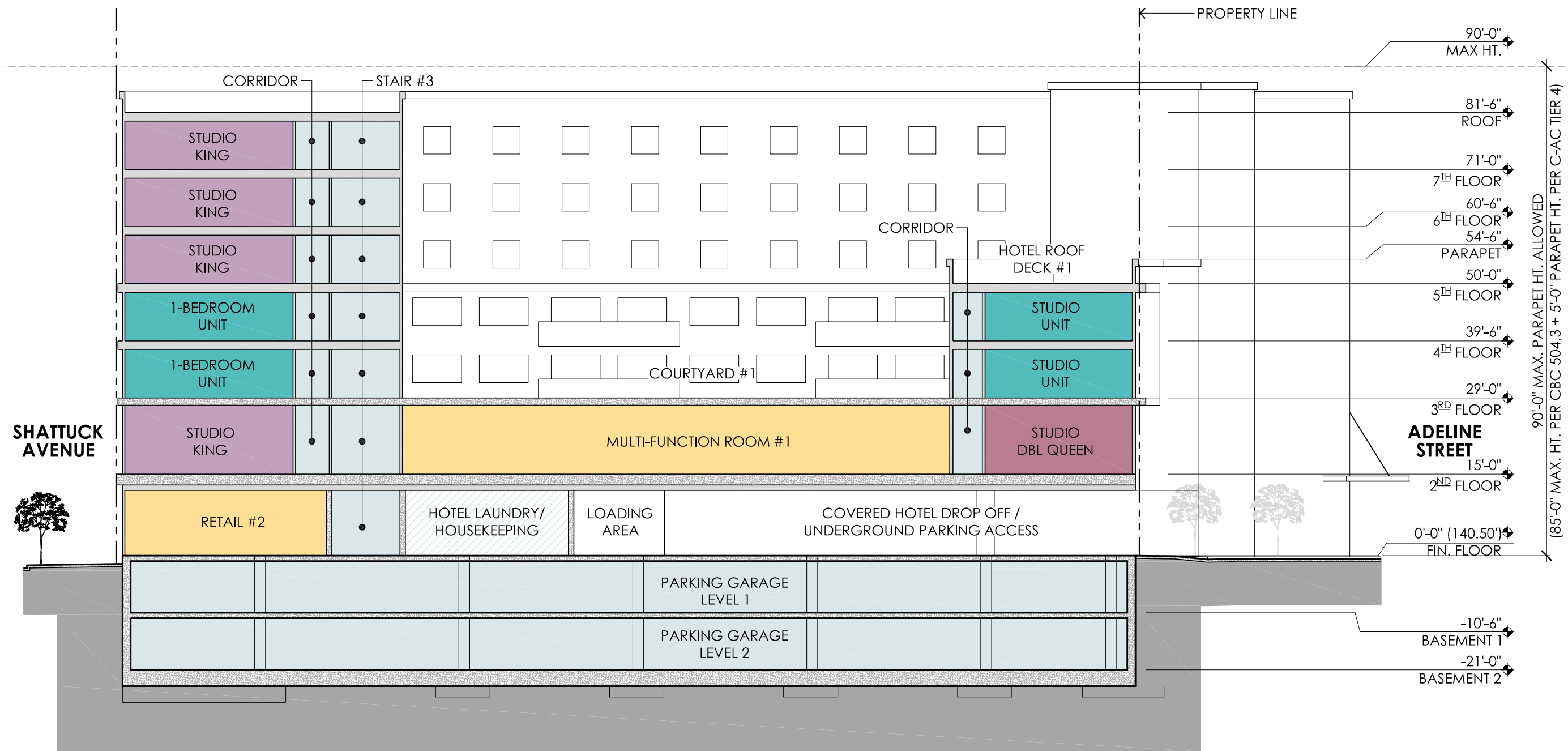
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A2.31



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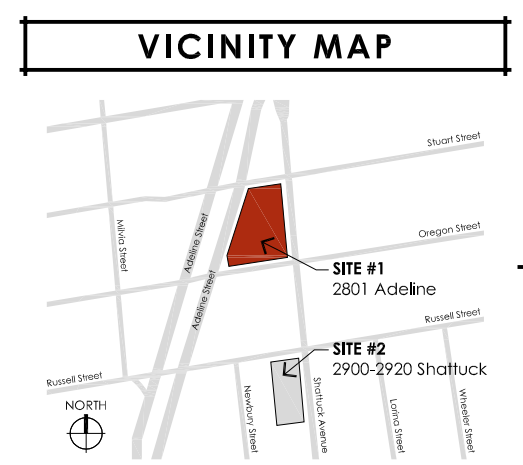
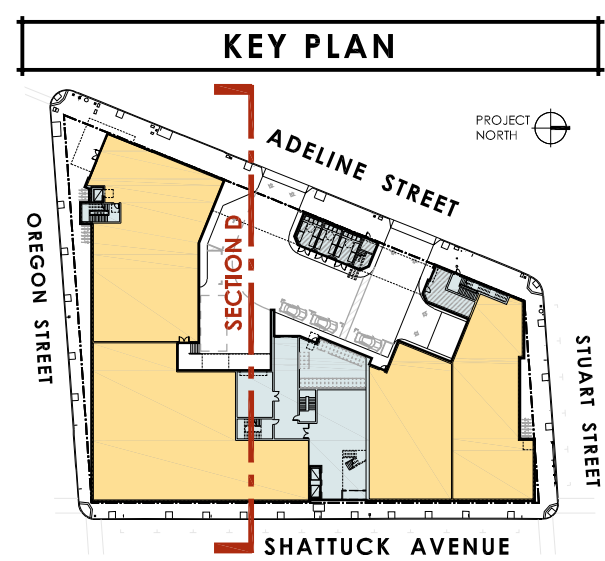
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**SITE #1: 2801 ADELINE STREET
SITE/BUILDING SECTION D**

1" = 20'-0"
11x17 SHEET SCALE

BUILDING SECTION D - PARALLEL TO OREGON STREET



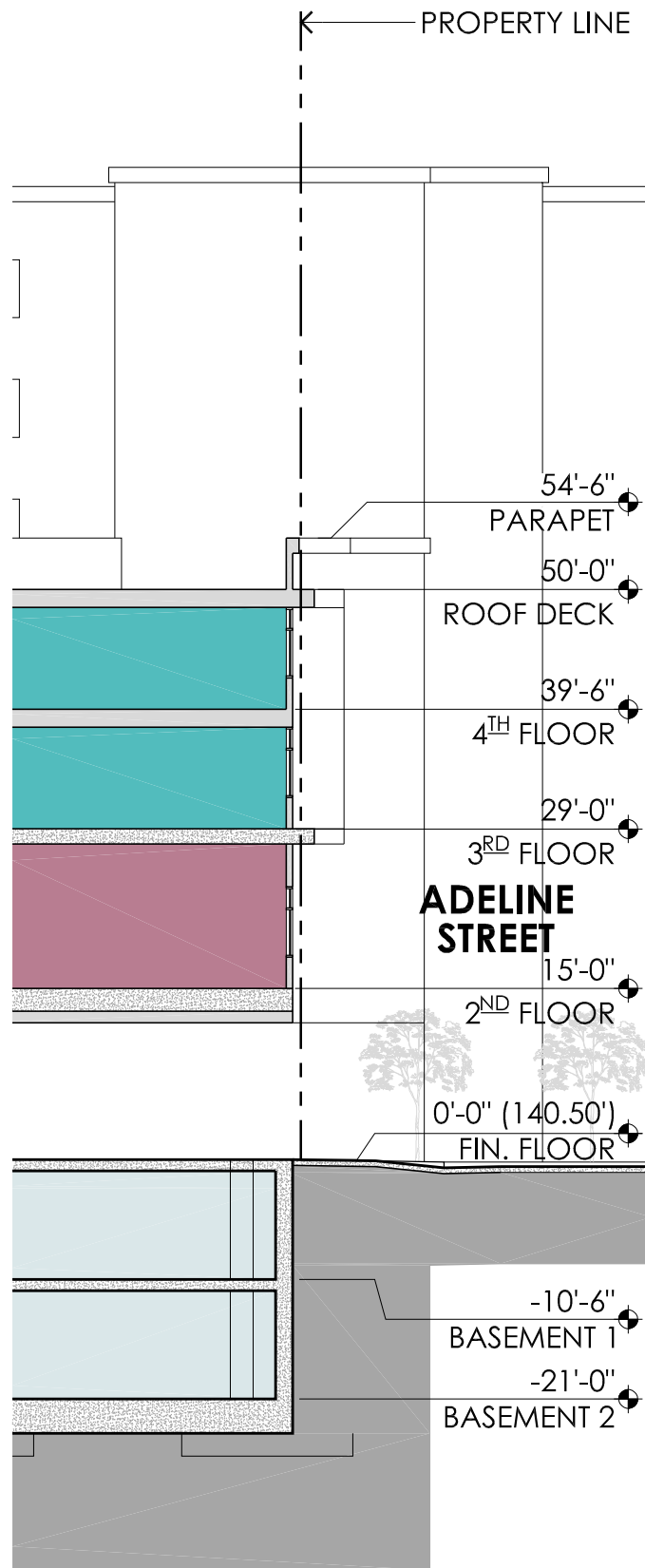
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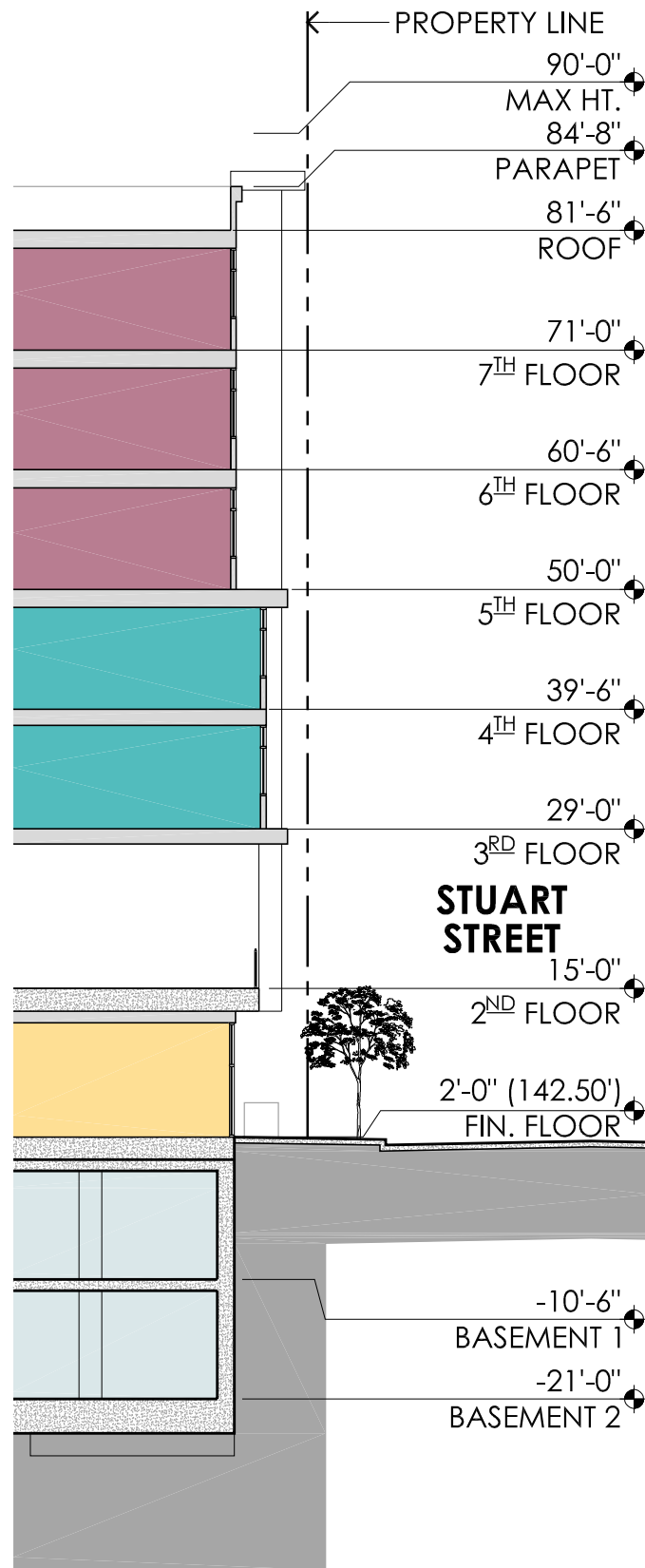
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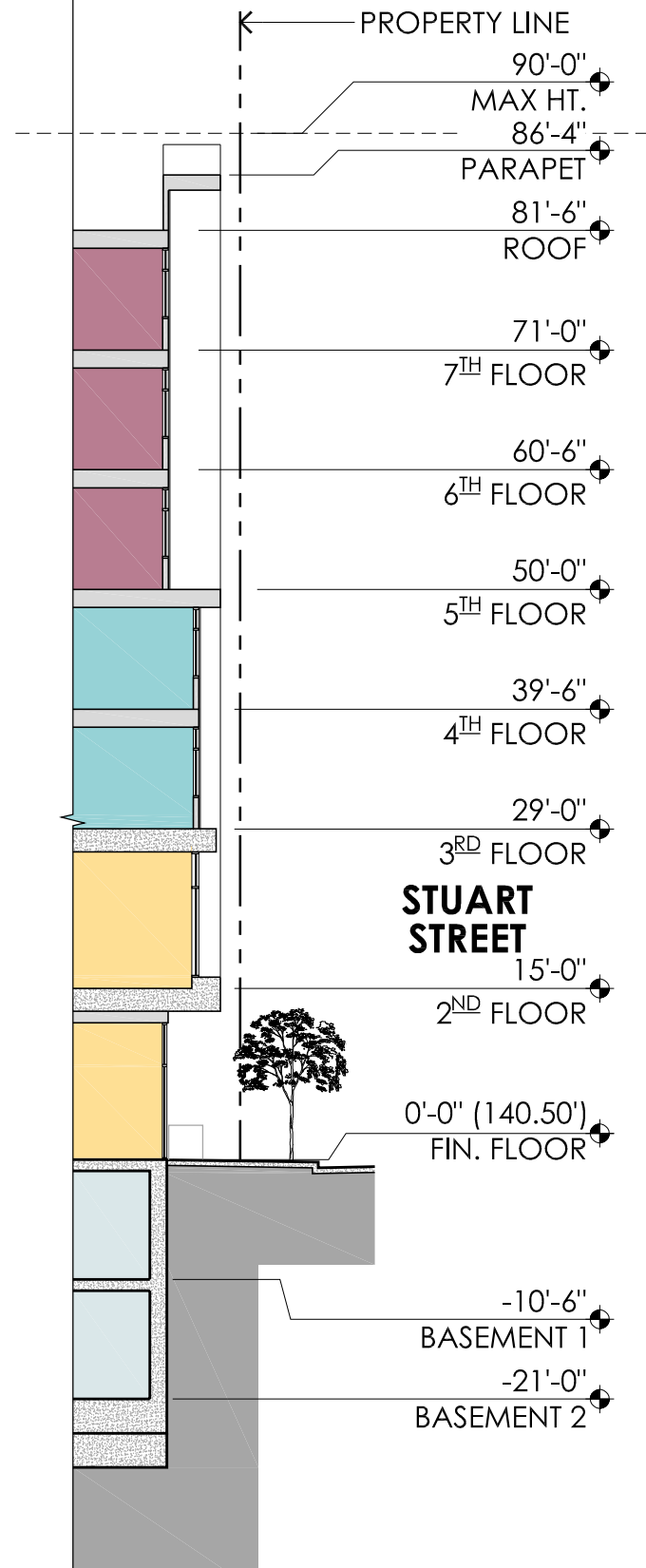
A2.33



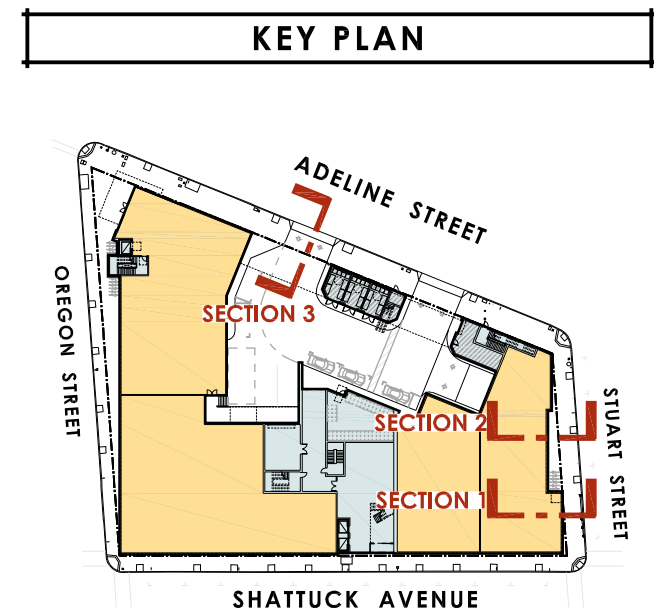
ENLARGED WALL SECTION 3



ENLARGED WALL SECTION 2



ENLARGED WALL SECTION 1



KEY PLAN

ARRIS
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ARCHITECT OF RECORD

Licensed Architect
Stephen A. Rigor
License #C-33672
Expires 12/31/21
State of California

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SITE #1: 2801 ADELINE STREET
ENLARGED WALL SECTIONS

1" = 17' SHEET SCALE: 1/16" = 1'-0"

DATE
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A2.34



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SITE #1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ STUART STREET + ADELINE STREET

DATE
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SHEET #

A2.40



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ SHATTUCK AVENUE + STUART STREET

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CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



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A2.41



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ OREGON STREET + SHATTUCK AVENUE

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2801 ADELINE ST. & 2900 SHATTUCK AVE. BERKELEY, CA

SITE #1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



DATE
JUNE 9, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.42



ARRIS
STUDIO ARCHITECTS

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THOMAS E. JESS ARCHITECT #27408
STEPHEN A. RIGOR ARCHITECT #C33672
ARCHITECT OF RECORD



A PROJECT FOR:
NX VENTURES
2343 STUART STREET
BERKELEY, CA 94704
510.692.2994
NX-VENTURES.COM

THE BERKELEY COLLECTION
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SITE #1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - NIGHTTIME CORNER VIEW @ SHATTUCK STREET + OREGON STREET

DATE
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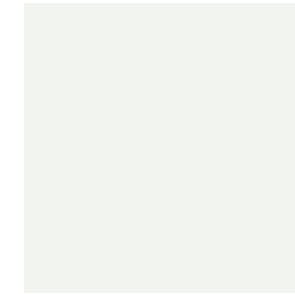
A2.43



S-2 M-2 M-4 P-1 T-1 M-3 M-1 C-1 P-2

COLOR AND MATERIAL BOARD

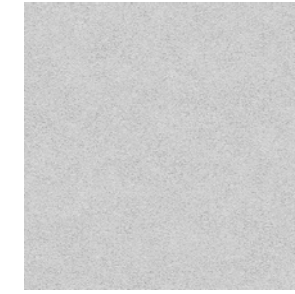
STUCCO PAINT COLORS



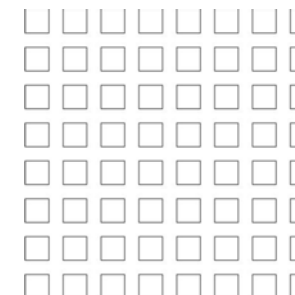
P-1
BENJAMIN MOORE
"DISTANT GREY"
2124-70



P-2
BENJAMIN MOORE
"OVERCOAT"
CC-544"



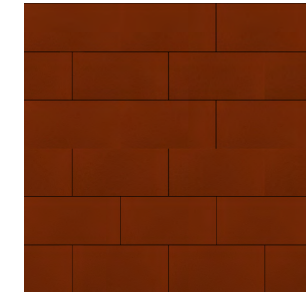
S-1
SMOOTH FINISH STUCCO
DECORATIVE PANELS



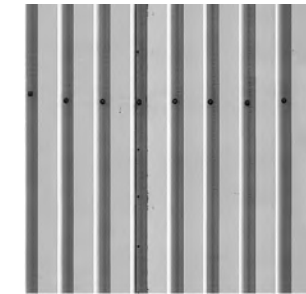
M-1
PERFORATED METAL PANELS
"SQUARE STRAIGHT"



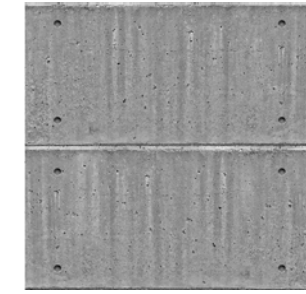
M-2
EXTERIOR WALL MURAL



M-3
METAL CORTEN STEEL
PAINTED IN RUSTIC COLOR



M-4
CORRUGATED METAL-VERTICAL SIDING
PAINTED IN GREY COLOR



C-1
ARCHITECTURAL FORMED CONCRETE
DOORS AND WINDOWS



T-1
ALUMINUM DARK BRONZE



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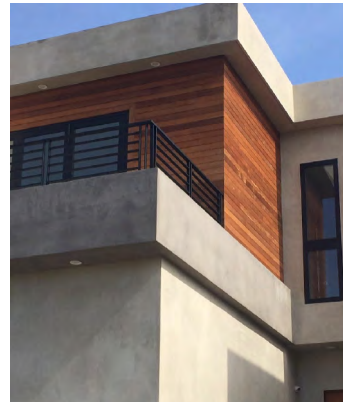


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SITE # 1: 2801 ADELINE
COLOR & MATERIAL BOARD

DATE
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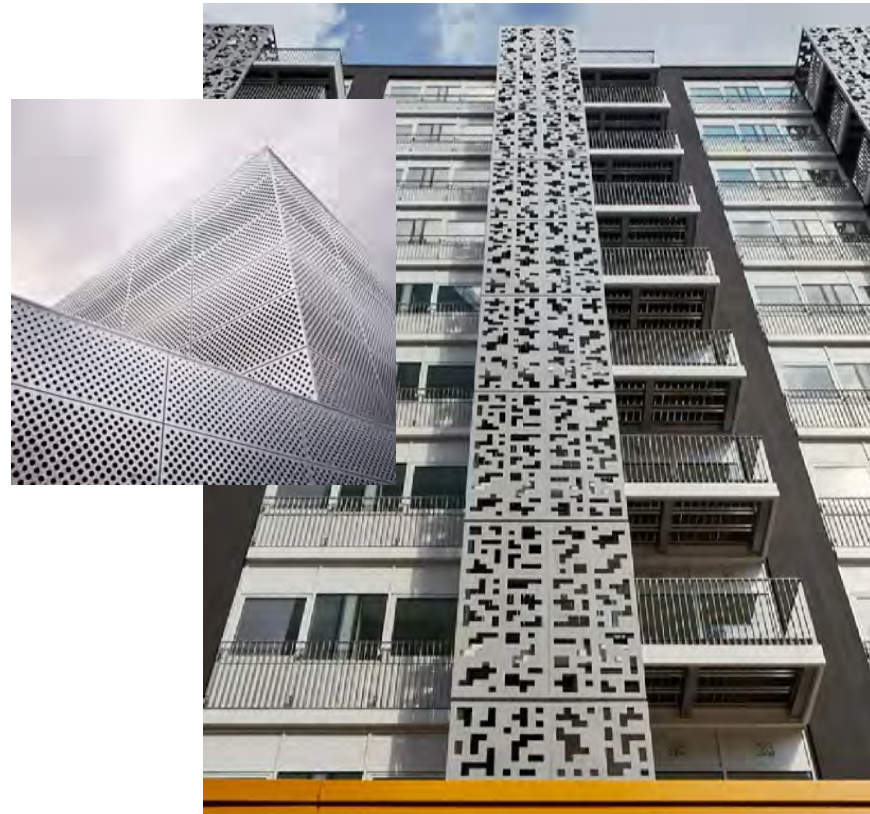
A2.50



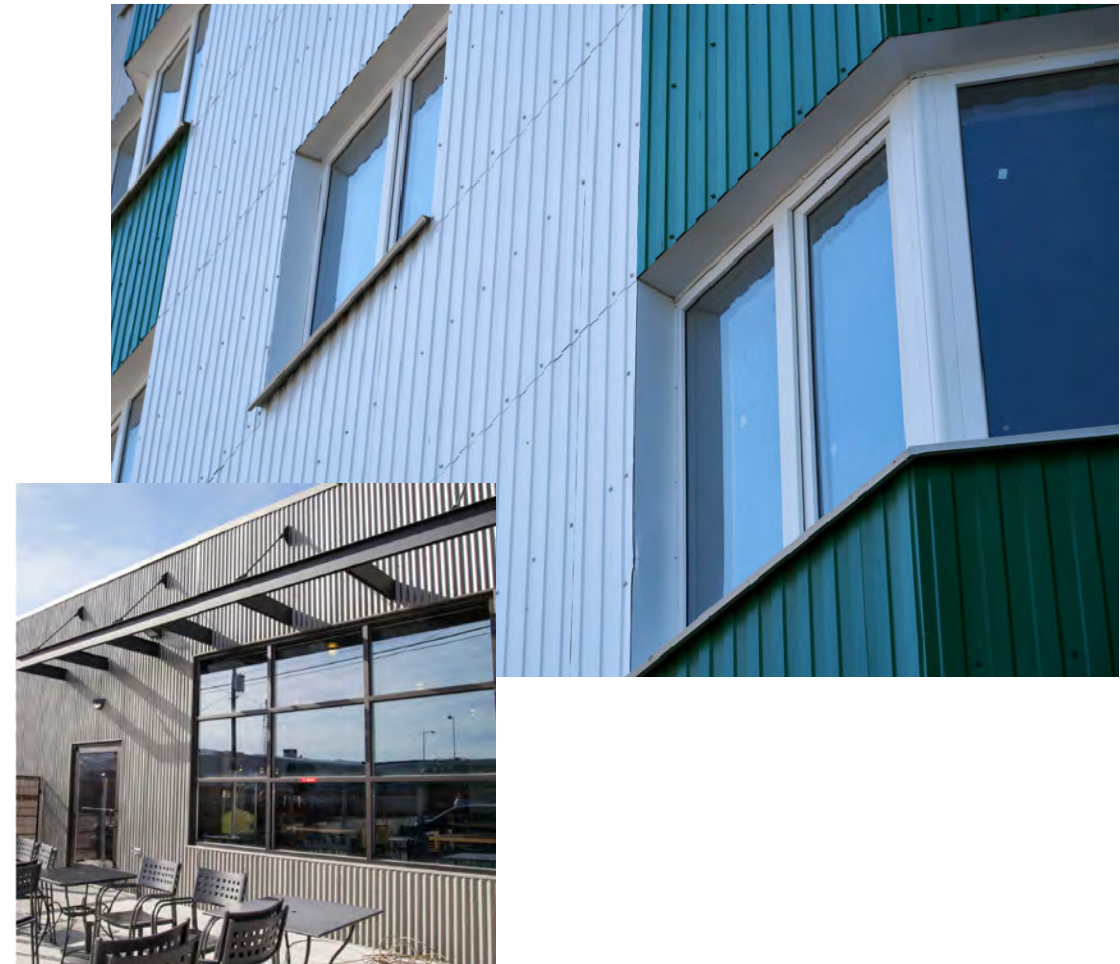
SMOOTH FINISH EXTERIOR STUCCO



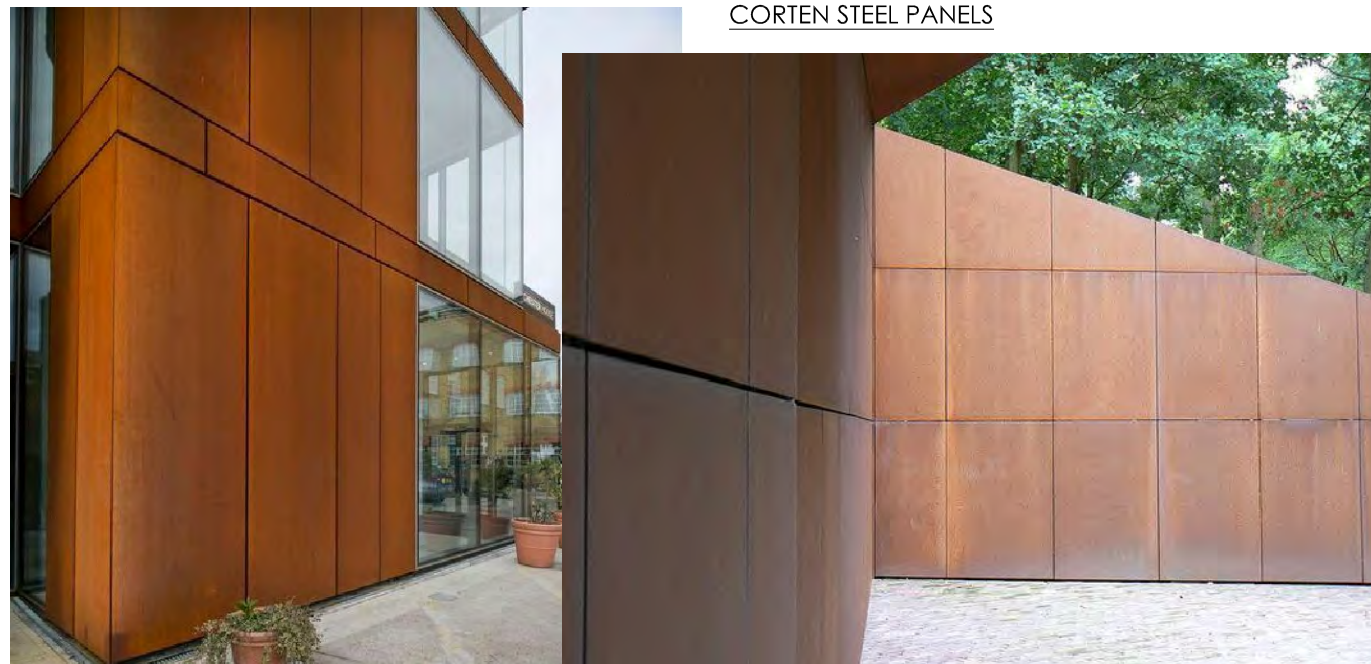
DECORATIVE PERFORATED METAL PANEL



VERTICAL CORRUGATED METAL PANELS



CORTEN STEEL PANELS



ARCHITECTURAL CONCRETE



MATERIAL APPLICATION EXAMPLES



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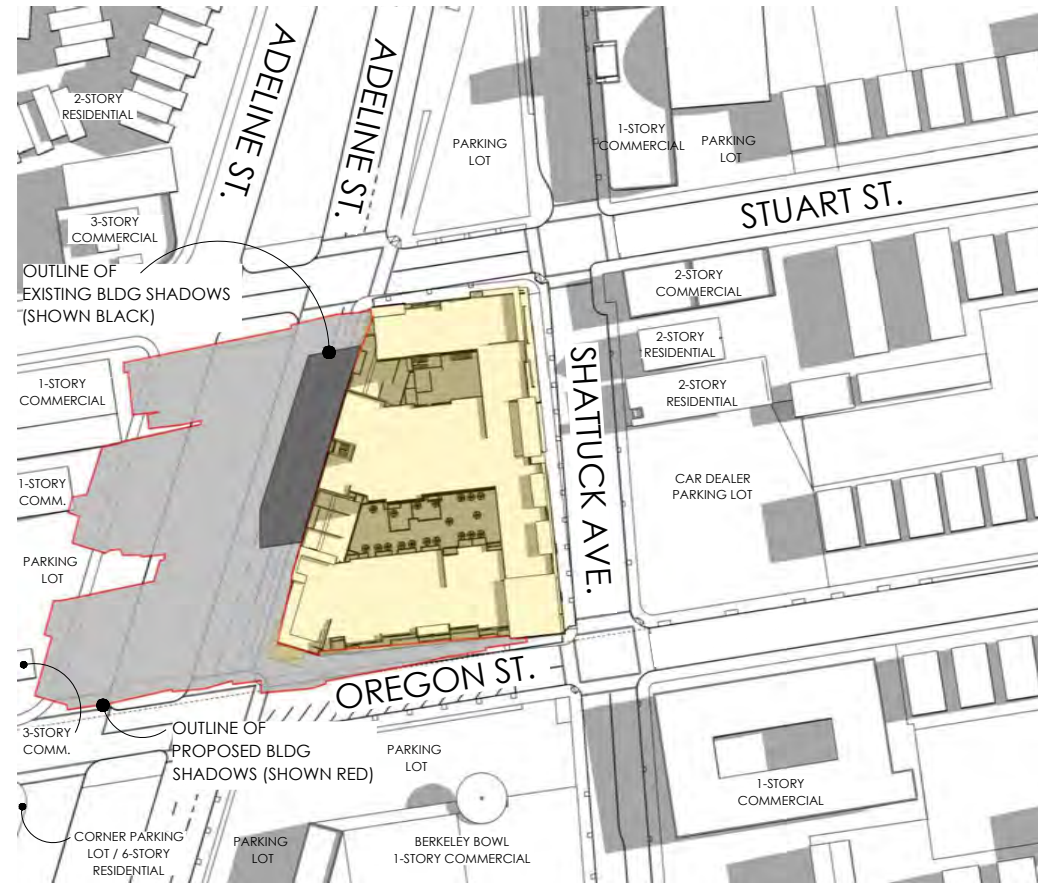
THE BERKELEY COLLECTION
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SITE # 1: 2801 ADELINE
MATERIAL EXAMPLES

DATE
JUNE 9, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.51



SHADOW STUDY-JUNE 21: 2HRS BEFORE SUNSET



SHADOW STUDY-JUNE 21: 2 HRS AFTER SUNRISE

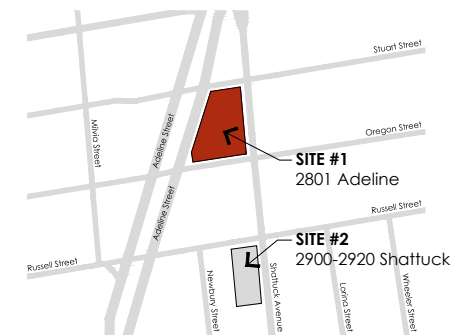


SHADOW STUDY-JUNE 21 AT NOON



SHADOW STUDY-JUNE 21: 2 HRS BEFORE SUNSET

VICINITY MAP



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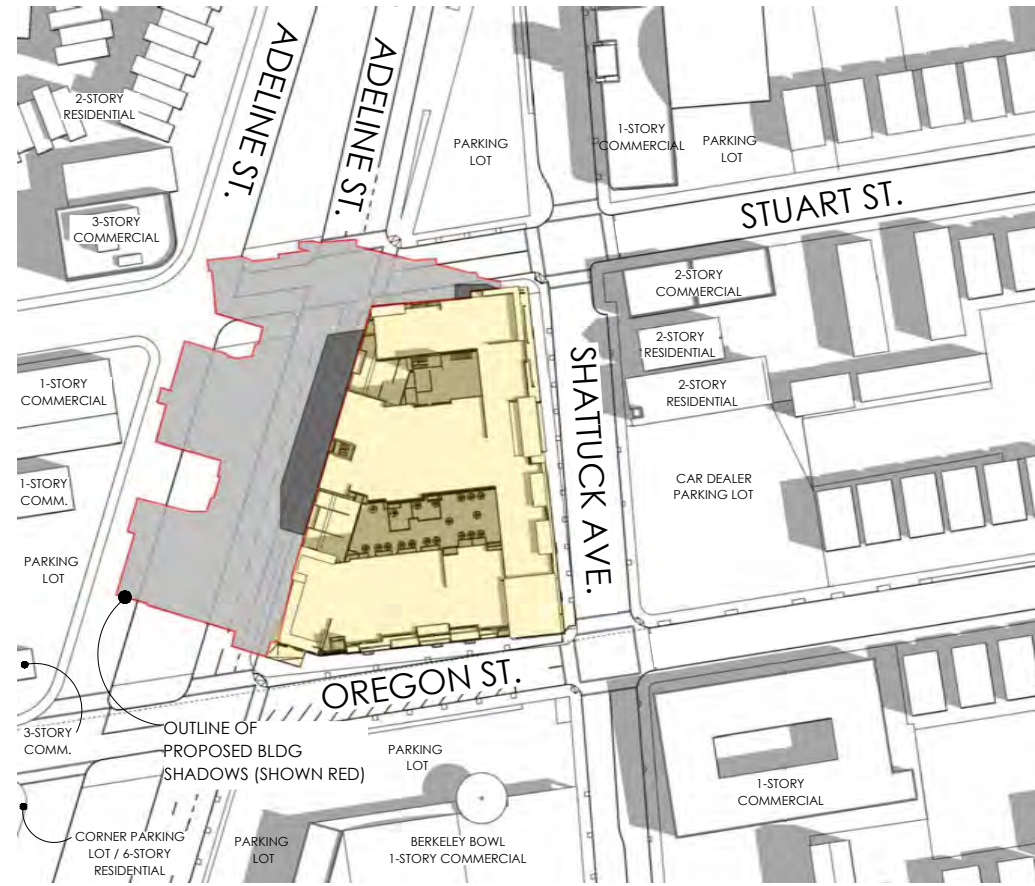
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1"=150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SUN & SHADOW STUDY: JUNE 21ST

DATE
JUNE 9, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

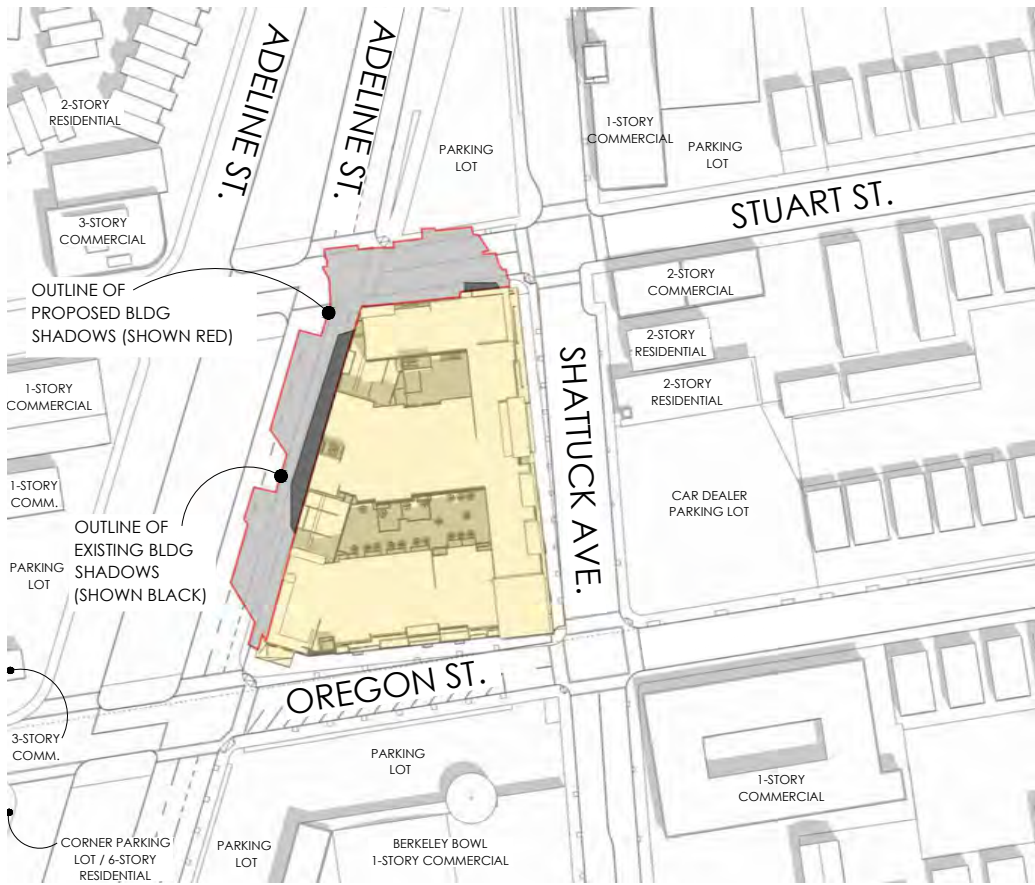
A2.60



SHADOW STUDY-SEPT. 1ST: 2HRS BEFORE SUNSET



SHADOW STUDY-SEPT. 1ST: 2 HRS AFTER SUNRISE



SHADOW STUDY-SEPT. 1ST AT NOON



SHADOW STUDY-SEPT. 1ST: 2 HRS BEFORE SUNSET

VICINITY MAP



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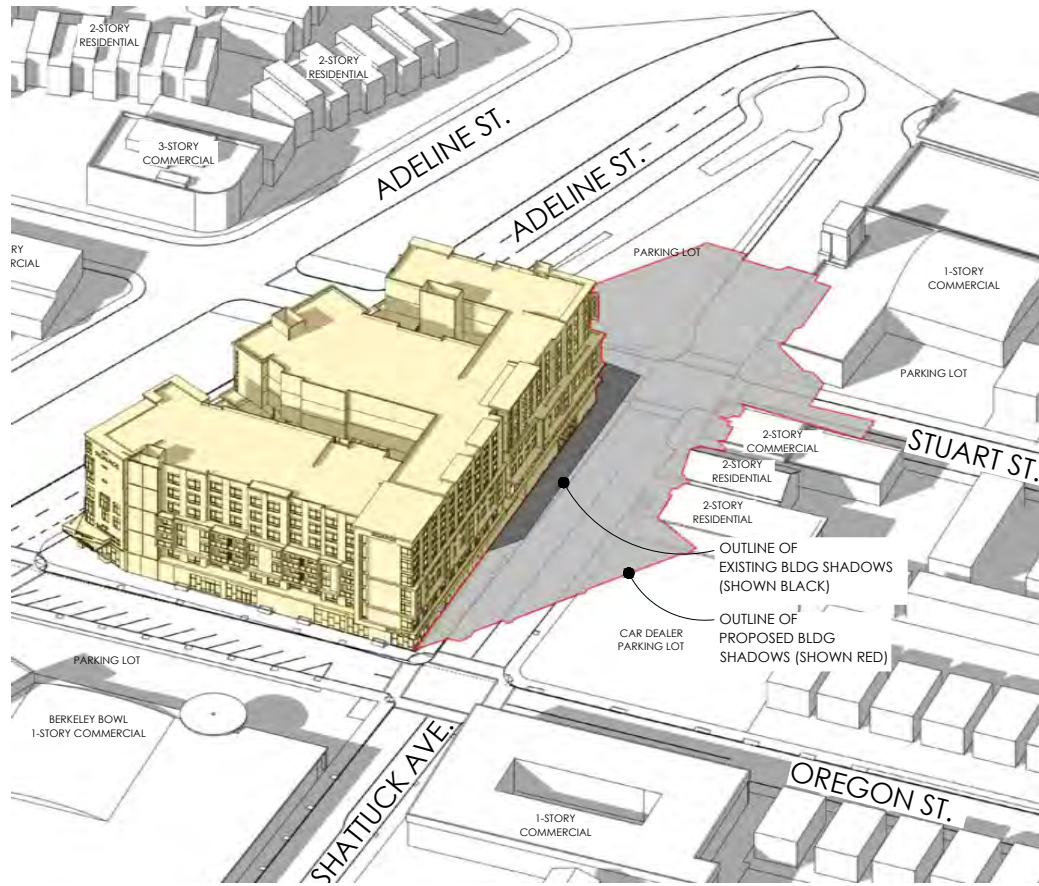


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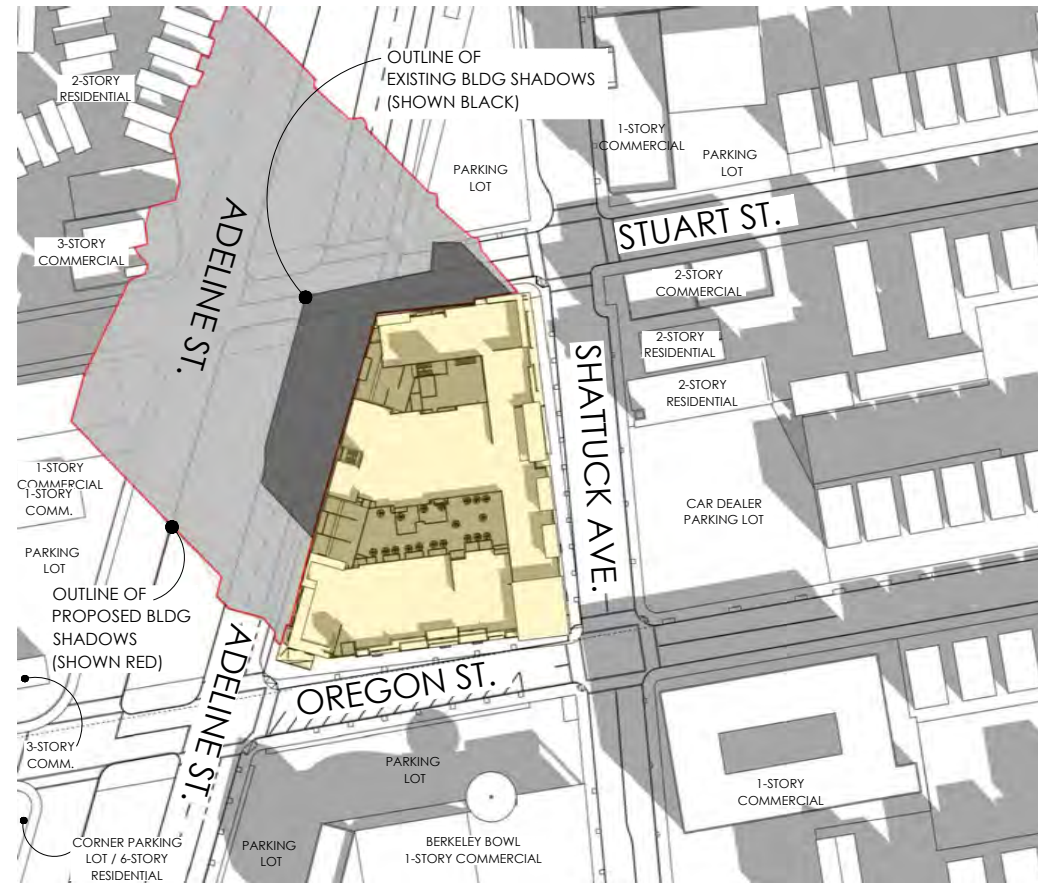
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1" = 150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SUN & SHADOW STUDY: SEPT. 1ST

DATE
JUNE 9, 2021
ARRIS PROJECT #
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ZP2020-0118
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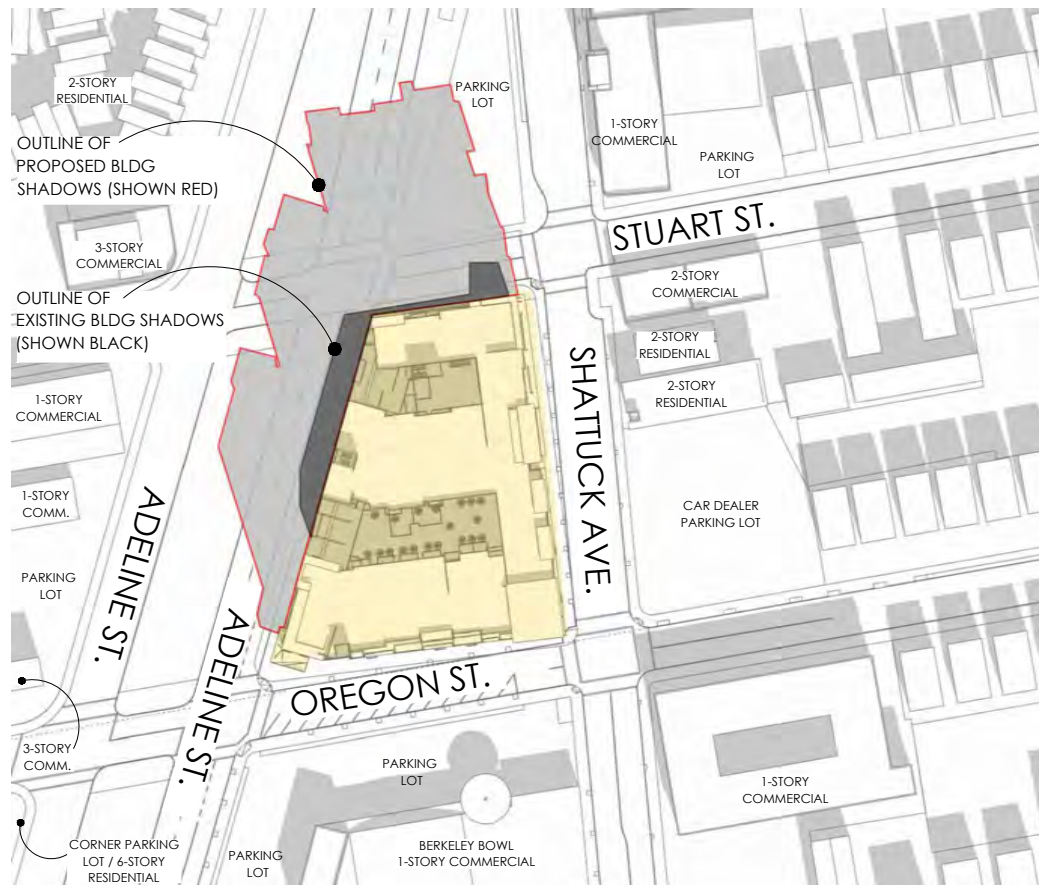
A2.61



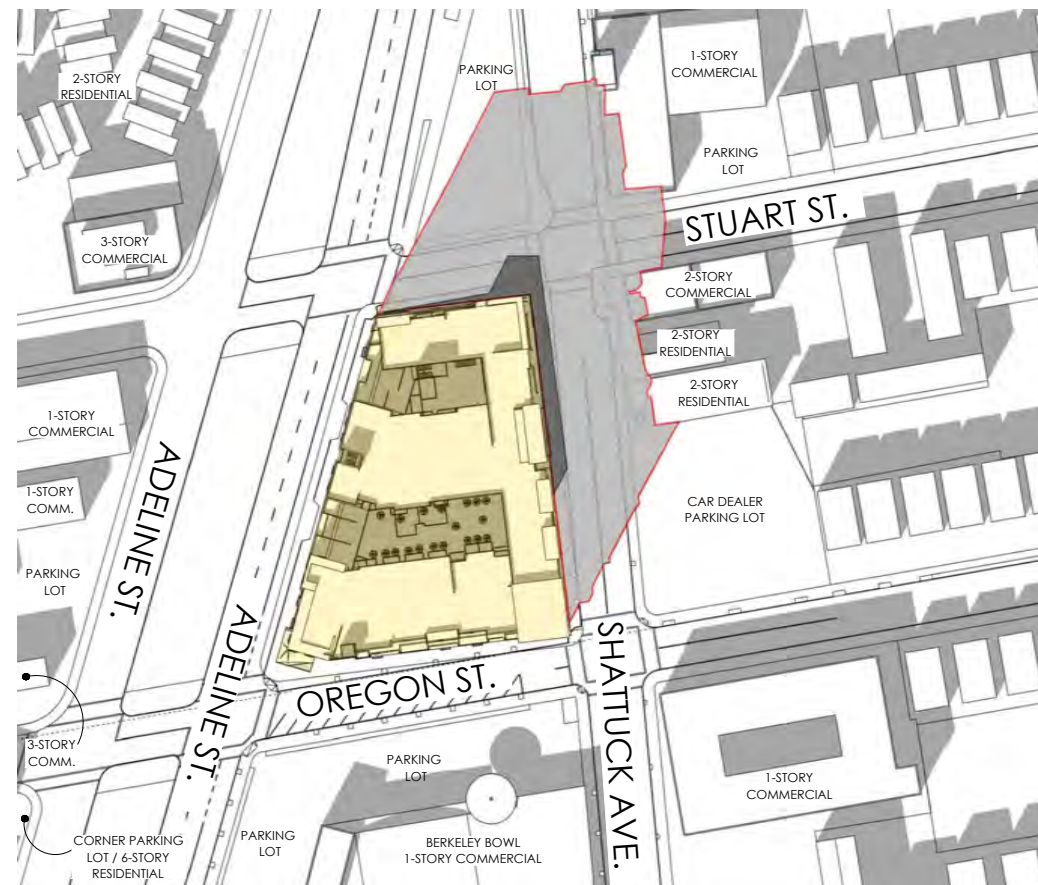
SHADOW STUDY-DEC 21: 2HRS BEFORE SUNSET



SHADOW STUDY-DEC 21: 2 HRS AFTER SUNRISE

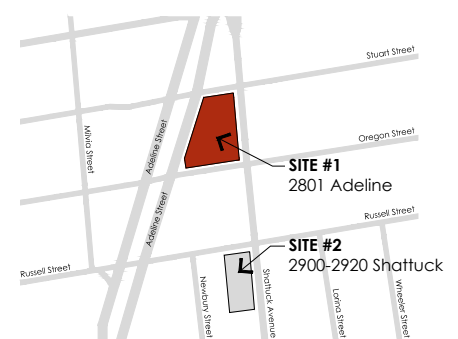


SHADOW STUDY-DEC 21 AT NOON



SHADOW STUDY-DEC. 21: 2 HRS BEFORE SUNSET

VICINITY MAP



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PROJECT NORTH
TRUE NORTH
1" = 150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SITE #2: 2900-2920 SHATTUCK
SUN & SHADOW STUDY: DEC. 21ST

DATE
JUNE 9, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.62

LANDSCAPE NOTES

THE TREES AND SHRUBS DISPLAYED ON THIS PLAN ARE FOR REFERENCE ONLY. THE INTENT IS TO ENSURE THE LANDSCAPE ARCHITECT INCLUDES TREES AND SHRUBS THAT MEET THE REQUIREMENT FROM THE SPECIFIC PLAN AND THE CITY OF BERKELEY PLANNING REQUIREMENTS



SMALL/MEDIUM DECIDUOUS TREES:
5-GALLON MIN IN SIZE.



FRONTAGE TREES



SCREENING SHRUBS & COLORFUL PERENNIALS: COMBINATION OF 32" TO 42" TALL SHRUBS AND BERMED LANDSCAPING TO PROVIDE SCREENING OF PAVED PARKING AREAS FROM THE STREET.

LANDSCAPE LEGEND

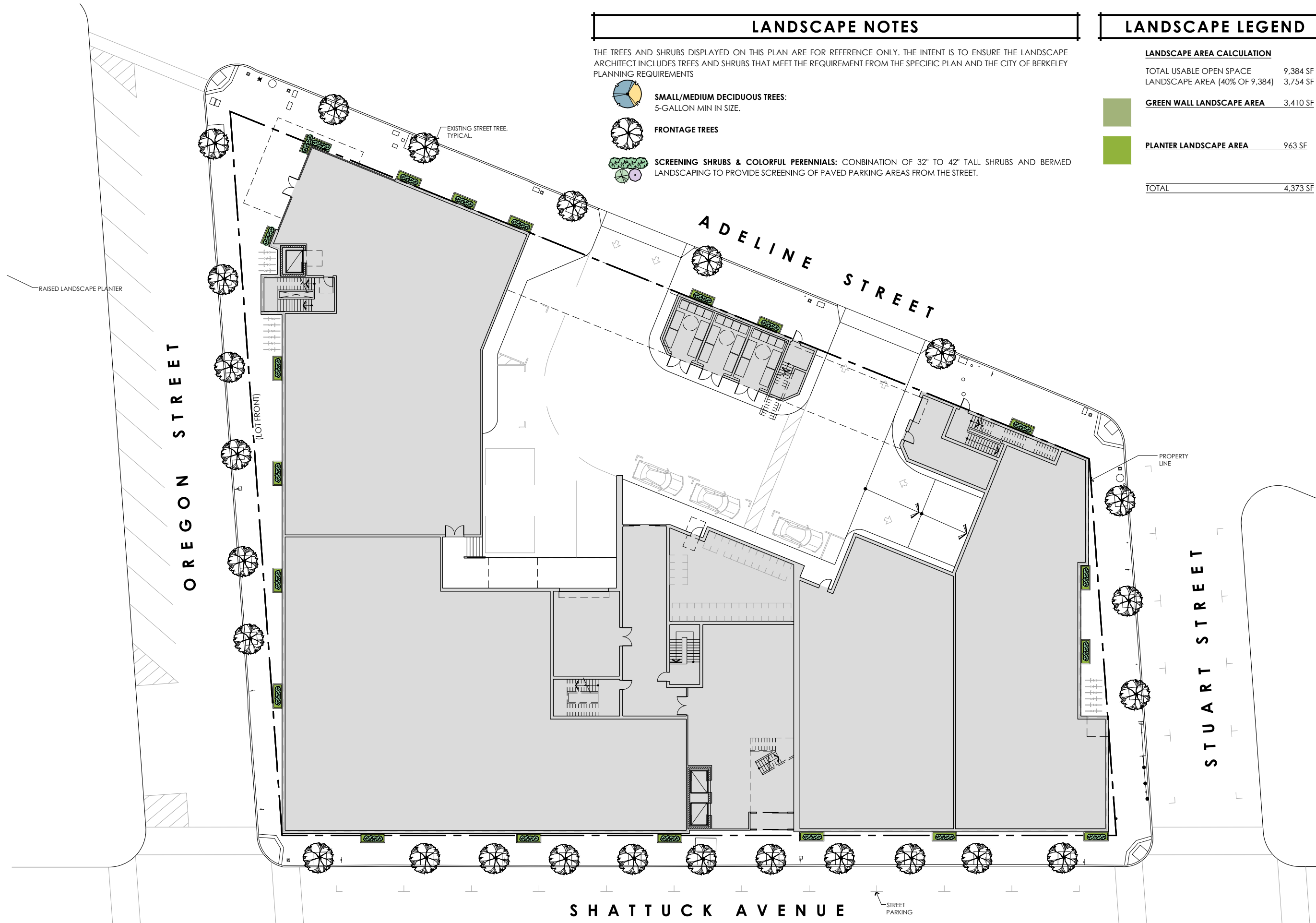
LANDSCAPE AREA CALCULATION

TOTAL USABLE OPEN SPACE 9,384 SF
LANDSCAPE AREA (40% OF 9,384) 3,754 SF

GREEN WALL LANDSCAPE AREA 3,410 SF

PLANTER LANDSCAPE AREA 963 SF

TOTAL 4,373 SF



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THE BERKELEY COLLECTION
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PROJECT NORTH
TRUE NORTH
1" = 30'-0"
11x17 SHEET SCALE: 1" = 30'-0"
SITE #1: 2801 ADELINE STREET
LANDSCAPE PLAN - 1ST LEVEL

DATE
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ARRIS PROJECT #
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CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.70

LANDSCAPE PLAN - FIRST LEVEL

LANDSCAPE NOTES

THE TREES AND SHRUBS DISPLAYED ON THIS PLAN ARE FOR REFERENCE ONLY. THE INTENT IS TO ENSURE THE LANDSCAPE ARCHITECT INCLUDES TREES AND SHRUBS THAT MEET THE REQUIREMENT FROM THE SPECIFIC PLAN AND THE CITY OF BERKELEY PLANNING REQUIREMENTS



SMALL/MEDIUM DECIDUOUS TREES:
5-GALLON MIN IN SIZE.



FRONTAGE TREES



SCREENING SHRUBS & COLORFUL PERENNIALS: COMBINATION OF 32" TO 42" TALL SHRUBS AND BERMED LANDSCAPING TO PROVIDE SCREENING OF PAVED PARKING AREAS FROM THE STREET.

LANDSCAPE LEGEND

LANDSCAPE AREA CALCULATION

TOTAL USABLE OPEN SPACE 9,384 SF
LANDSCAPE AREA (40% OF 9,384) 3,754 SF

GREEN WALL LANDSCAPE AREA 3,410 SF

PLANTER LANDSCAPE AREA 963 SF

TOTAL 4,373 SF



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PROJECT NORTH
TRUE NORTH
1" = 30'-0"
11x17 SHEET SCALE: 1" = 30'-0"
SITE #1: 2801 ADELINE STREET
LANDSCAPE PLAN - 5TH LEVEL

DATE
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SHEET #

A2.71

WELO
Water Budget and Water Use Calculator

INSTRUCTIONS:

1. Enable macros.
2. Enter values in blue cells. Gray cells will automatically fill.
3. For ETo, refer to Appendix A of the ordinance, available here: <https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency>.
4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.

Date:	5/21/2021
Project Name:	2801 Adeline St, Berkeley CA
Project Contact:	Steve Rigor
Project Contact Email:	srigor@arris-studio.com

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
	Non-residential	41.8	0.45	-	4,373	50,999

MAWA = (ETo) * (0.62) * [(ETAF * LA) + ((1-ETAF) * SLA)].

Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)
	41.8	1,080	-	27,983

ETWU = (ETo) * (0.62) * [(PF * SF) / IE + SLA]

Difference between MAWA and ETWU: 23,016 **Project meets water budget.**

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Green Wall	Drip	3,410	0.20	0.81	842
	2	Planter	Drip	963	0.20	0.81	238
	3						-
	4						-
	Landscape area (not including SLA)			4,373			1,080

ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area	0	1.0	-
	Multi-use and sports field turf area	0	1.0	-
	Area irrigated with recycled water	0	1.0	-
	Pool	0	1.0	-
	Total SLA	0		0

Total Landscape Area (including SLA) from ETWU Calculation: 4,373

Plant Legend Template *

Quantity	Symbol	Botanical Name	Common Name	Size	Plant Factor ¹	Reference ¹	Adjacent to Obstruction?	Mature Spread ²	Invasive ³
Trees									
1	T	Olea Europaea	Olive	5 Gal	Very Low	WUCOLS		Per Plan	No
1	T	Aesculus California	California Buckeye	15 Gal	Very Low	WUCOLS		Per Plan	No
1	T	Arctostaphylos Manzanita	Common Manzanita	15 Gal	Very Low	WUCOLS		Per Plan	No
1	T	Chilopsis Linearis	Deser Willow	5 Gal	Very Low	WUCOLS		Per Plan	No
1	T	Laurus 'Saratoga'	Saratoga Laurel	15 Gal	Low	WUCOLS		Per Plan	No
1	T	Callistemon Citrinus	Bottle Brush	5 Gal	Low	WUCOLS		Per Plan	No
Shrubs									
1	S	Alyogyne Huegelii	Blue Hibiscus	5 Gal	Low	WUCOLS		Per Plan	No
1	S	Hunnemannia Fumariifolia	Mexican Tulip Poppy	5 Gal	Low	WUCOLS		Per Plan	No
1	S	Arctostaphylos Hookeri	Manzanita (Shrub cvs.)	5 Gal	Low	WUCOLS		Per Plan	No
1	S	Ribes sanguineum varieties & cultivars	Red Flowering Currant	5 Gal	Low	WUCOLS		Per Plan	No
1	S	Pittosporum Tobira and Cvs.	Mock Orange	5 Gal	Moderate	WUCOLS		Per Plan	No
Ground-cover									
1	G	Ceanothus 'Centennial'	Centennial ceanothus	1 Gal	Low	WUCOLS		Per Plan	No
1	G	Thymus spp. and cvs.	Thyme	Flat	Low	WUCOLS		Per Plan	No
1	G	Eriogonum fasciculatum 'Theodore	Theodore Payne buckwheat	1 Gal	Low	WUCOLS		Per Plan	No
Total Plants									
13									

¹ From Water Use Classification of Landscape Species (WUCOLS) published by the University of California Cooperative Extension and California Department of Water Resources (DWR) or other sources approved by DWR.

Plant Factors:
 Very low water use = 0 to 0.1
 Low water use = 0.1 to 0.4
 Moderate water use = 0.4 to 0.6
 High water use = 0.6 to 1.0

² This is the spread of each mature plant as drawn on the project plans.

³ WELO strongly discourages the use of invasive plant species. Resources for identifying invasive plants include Cal-IPC's Don't Plant a Pest brochure series and the California Invasive Plant Inventory Database (www.cal-ipc.org).

*This Plant Legend Template is adapted from the Bay-Friendly Landscape Scorecard.

WATER CONSERVATION

WATER CONSERVATION NOTES

THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:

- WATER CONSERVING PLANTS, DEFINED AS "LOW" OR "VERY LOW" IN THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION), SHALL BE UTILIZED.
- IRRIGATION SYSTEM SHALL BE SEPARATED INTO DISTINCT HYDROZONES BASED ON PLANT MATERIAL TYPES, EXPOSURE, AND ORIENTATION.
- SOIL AMENDMENTS AND A 3" LAYER OF MEDIUM BARK MULCH SHALL BE UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL AND INHIBIT EVAPORATION.
- LAWN IS NOT USED.

STATEMENT OF WATER CONSERVING IRRIGATION DESIGN THE FOLLOWING PRINCIPLES OF IRRIGATION DESIGN UTILIZED ON THIS PROJECT ARE DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM.

- ALL IRRIGATION SHALL BE DRIP OR DRIP-TYPE AND/OR MICROSPRAY SYSTEMS ONLY. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- IRRIGATION HYDROZONES SHALL ADJUST ACCORDING TO WATER NEEDS AND WEATHER.
- UTILIZATION OF IRRIGATION SYSTEM MASTER VALVE.
- UTILIZATION OF IRRIGATION SYSTEM "SMART CONTROLLER" WITH WATER BUDGETING FEATURE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF RAIN SHUT-OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.



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SITE #1: 2801 ADELINE STREET
WATER USE CALCULATIONS
AND PLANT PALETTE

DATE
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ARRIS PROJECT #
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CITY OF BERKELEY APPLICATION #
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SHEET #

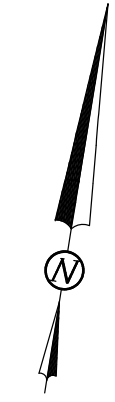
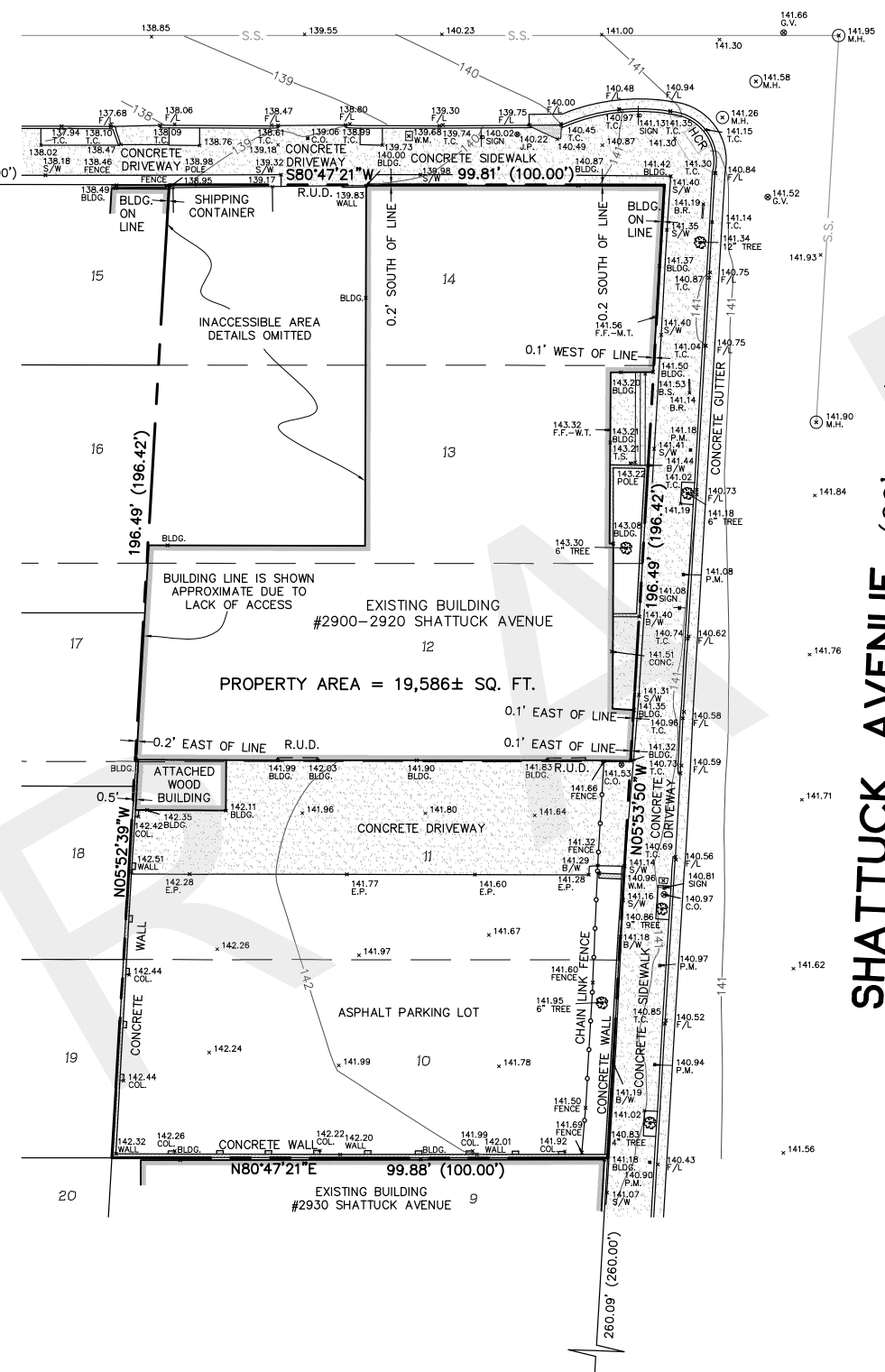
A2.72

S80°47'21"W 174.32'

RUSSELL STREET (60' WIDE)

NEWBURY STREET (50' WIDE ON ANGLE)

N80°47'21"E 20.00'
594.72'
489.66'
N05°51'29"W



LEGEND

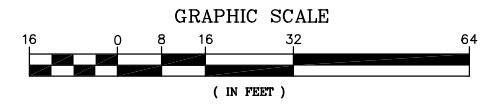
- B.R. BIKE RACK
- B.S. BASE OF STEP
- B/W. BASE OF WALL
- BLDG. BUILDING
- C.O. CLEAN OUT
- COL. COLUMN
- CONC. CONCRETE
- E.P. EDGE OF PAVEMENT
- F.F. FINISHED FLOOR
- F/L. FLOWLINE
- G.V. GAS VALVE
- HCR. HANDICAP RAMP
- J.P. JOINT POLE
- M.H. MANHOLE
- M.T. METAL THRESHOLD
- P.M. PARKING METER
- R.U.D. ROLL UP DOOR
- S.S. SANITARY SEWER
- S/W. SIDEWALK
- T.C. TOP OF CURB
- W.M. WATER METER
- W.T. WOOD THRESHOLD
- [Symbol] BUILDING FOOTPRINT
- [Symbol] CONCRETE SURFACE
- [Symbol] CONCRETE WALL
- [Symbol] METAL SURFACE
- [Symbol] CHAIN LINK FENCE
- [Symbol] FOUND CITY MONUMENT IN WELL, AS NOTED
- () RECORD DATA

GENERAL NOTES:
DIMENSIONS ARE IN FEET AND DECIMAL FEET.

BASIS OF BEARINGS:
THE MONUMENT LINE IN FULTON STREET WAS TAKEN AS NORTH 09°08'50" WEST AS SHOWN ON PARCEL MAP 7313 (236 M 38).

BENCHMARK:
ELEVATIONS ARE BASED ON CITY OF BERKELEY DATUM.
THE 3/8" PIN MONUMENT IN THE EAST SIDE OF THE INTERSECTION OF RUSSELL STREET AND ADELIN STREET, DESIGNATED "B0162" WAS TAKEN AS ELEVATION = 130.77 FEET PER CITY OF BERKELEY ENGINEERING RECORDS.

BOUNDARY NOTE:
THE BOUNDARY WAS DEVELOPED IN CONJUNCTION WITH MORAN ENGINEERING INC. JOB NO. 20-10408.



BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS 10,11,12,13 AND 14, BLOCK B, ADELIN TRACT (10 M 42)
LOCATED AT 2900-2920 SHATTUCK AVENUE
CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA

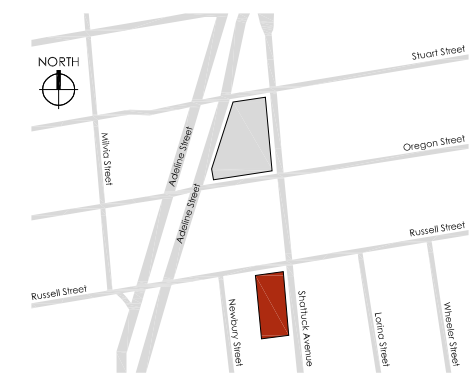
MARCH 26, 2020

MORAN ENGINEERING, INC.
CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

R.O.W. ENCROACHMENT

ENCROACHMENTS INTO THE PUBLIC R.O.W. (PER CBC 3202):
 -ARCHITECTURAL FEATURES BELOW 8' IN HEIGHT SUCH AS COLUMNS, PILASTERS, BASES, AND MOLDINGS SHALL NOT PROJECT MORE THAN 12"
 -ARCHITECTURAL FEATURES 8' OR HIGHER ARE PERMITTED TO ENCROACH 1" PER EACH ADDITIONAL 1" OF CLEARANCE ABOVE 8', BUT THE MAXIMUM ENCROACHMENT SHALL NOT EXCEED 4'-0"
 -ARCHITECTURAL FEATURES 15' OR HIGHER SHALL BE PERMITTED AND SHALL NOT BE LIMITED
 -THE VERTICAL CLEARANCE FROM THE PUBLIC R.O.W. TO THE LOWEST PART OF ANY AWNING SHALL NOT BE LESS THAN 7'-0"
 -AWNINGS, CANOPIES, MARQUEES AND SIGNS LOCATED LESS THAN 15' ABOVE THE SIDEWALK SHALL NOT EXTEND INTO MORE THAN 2/3 THE WIDTH OF THE SIDEWALK, MEASURED FROM THE BUILDING; STANCHIONS OR COLUMNS SUPPORTING THESE ELEMENTS SHALL BE LOCATED NOT LESS THAN 2' IN FROM THE CURB LINE.

VICINITY MAP



ADDRESS
 1327 ARCHER STREET, SUITE 220
 SAN LUIS OBISPO, CA 93401
 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS ARCHITECT #27408
 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD

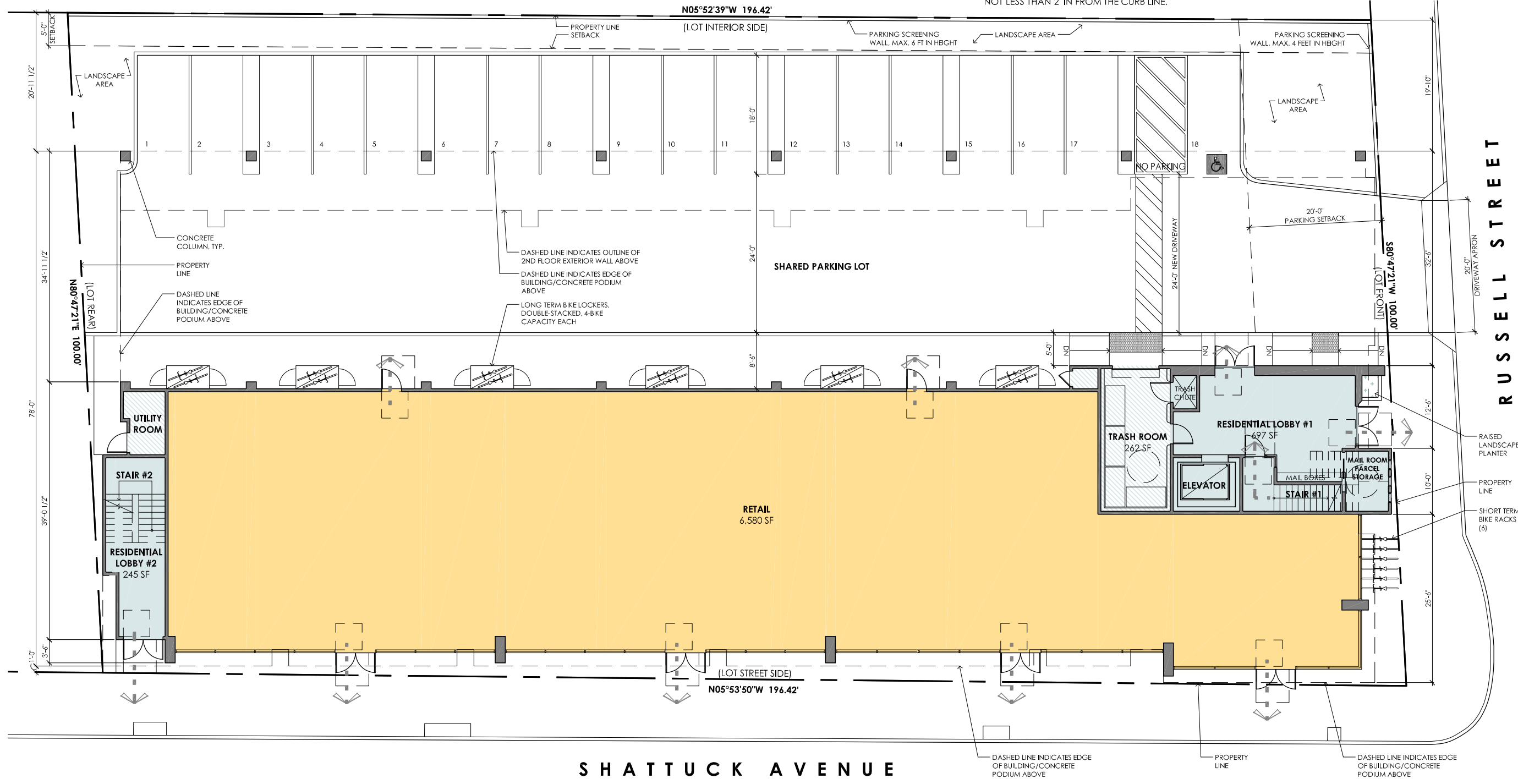


A PROJECT FOR:
NX VENTURES
 2343 STUART STREET
 BERKELEY, CA 94704
 510.692.2994
 NX-VENTURES.COM

THE BERKELEY COLLECTION
 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVENUE
SITE / FIRST LEVEL FLOOR PLAN

DATE
JUNE 9, 2021
 ARRIS PROJECT #
 A19103
 CITY OF BERKELEY APPLICATION #
ZP2020-0118
 SHEET #

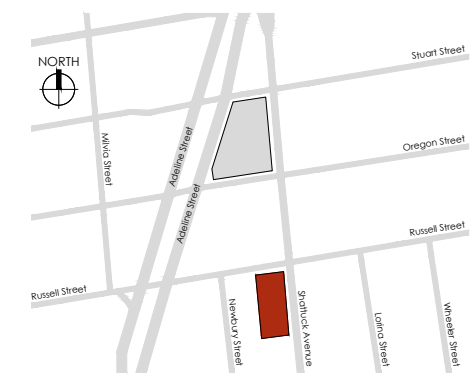
A3.00



CONCEPTUAL FLOOR LAYOUT - SITE / FIRST LEVEL FLOOR PLAN

R.O.W. ENCROACHMENT

VICINITY MAP



ADDRESS
1327 ARCHER STREET, SUITE 220
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ARCHITECT OF RECORD



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COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
2ND THRU 6TH LEVEL FLOOR PLAN

PROJECT NORTH
TRUE NORTH
1"X17" SHEET SCALE: 1/16" = 1'-0"

DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
2P2020-0118

SHEET #

A3.01



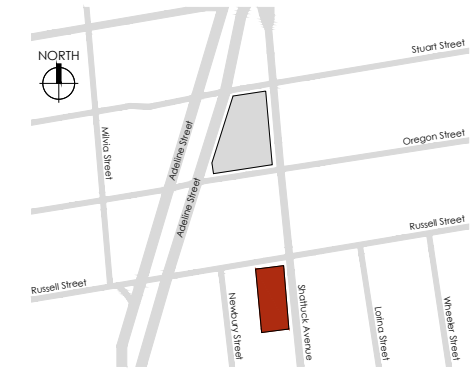
CONCEPTUAL FLOOR LAYOUT - SECOND (THROUGH SIXTH) LEVEL FLOOR PLAN

ROOF PROJECTIONS

ROOF PROJECTIONS CALCULATIONS
 PER BMC 23E.04.020.C: NO STRUCTURE SHALL REPRESENT MORE THAN 15% OF THE AVERAGE FLOOR AREA OF ALL OF THE BUILDING'S FLOORS; AND NO TOWER OR SIMILAR STRUCTURE SHALL BE USED AS HABITABLE SPACE OR FOR ANY COMMERCIAL PURPOSE, OTHER THAN THAT WHICH MAY ACCOMMODATE THE MECHANICAL NEEDS OF THE BUILDING.

TOTAL FLOOR AREA: 78,675 SF
 NUMBER OF FLOORS/STORIES: 6 STORIES
 AVERAGE FLOOR AREA OF ALL FLOORS: 13,113 SF
 ALLOWED AREA OF ROOF PROJECTION: 15% X 13,113 SF = 1,967 SF MAX
 PROPOSED AREA OF ROOF PROJECTION: 591 SF
 STAIR #1 / ELEVATOR TOWER: 410 SF
 STAIR #2 TOWER: 181 SF

VICINITY MAP



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 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD

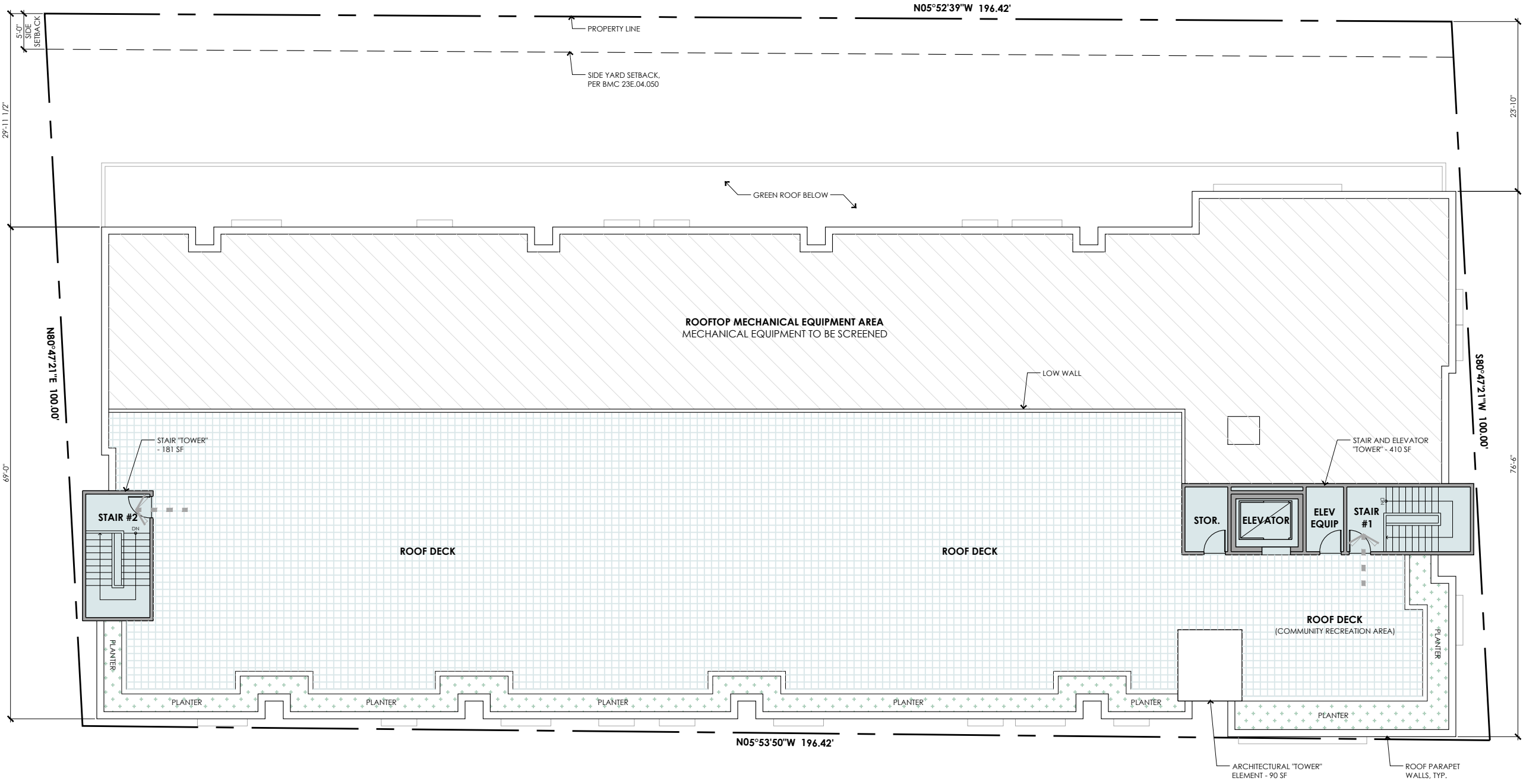


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 NX-VENTURES.COM

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SITE #2: 2900-2920 SHATTUCK AVENUE
ROOF PLAN

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A3.02



CONCEPTUAL ROOF LAYOUT



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ARCHITECT OF RECORD



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SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED PLAN - LOBBIES

PROJECT NORTH
TRUE NORTH
1" = 1'-0"
1/8" = 1'-0"

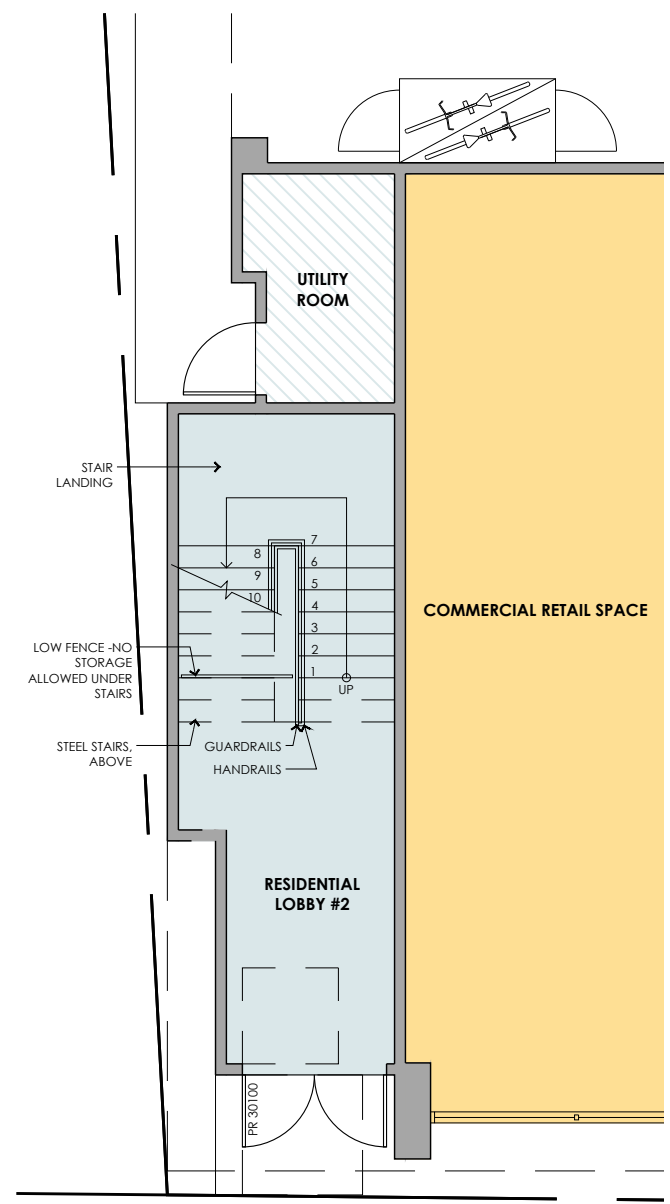
DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

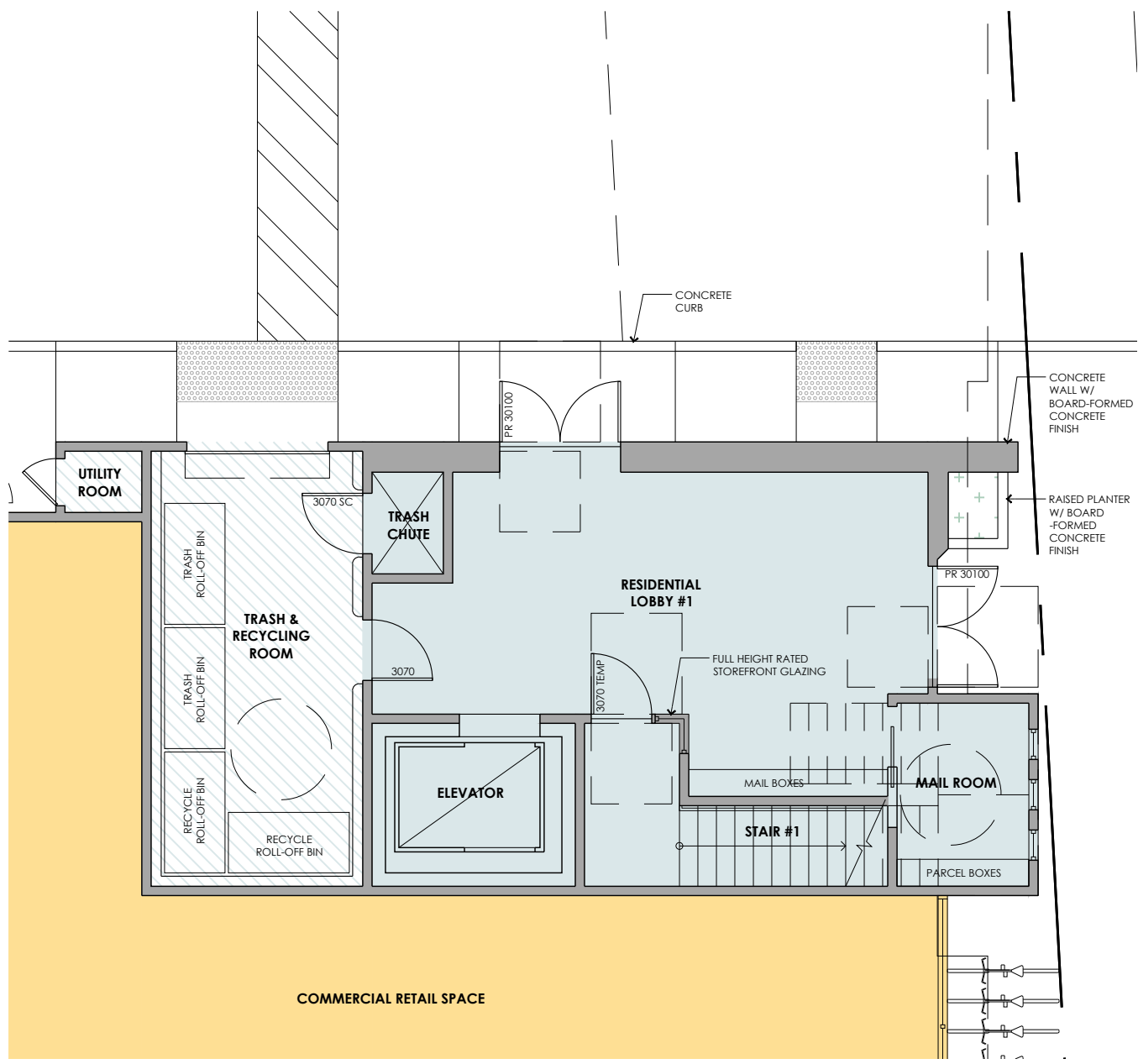
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A3.10



ENLARGED PLAN - EGRESS LOBBY



ENLARGED PLAN - MAIN LOBBY



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ARCHITECT OF RECORD



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THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE. BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED RESIDENTIAL PLANS
STUDIO UNITS

PROJECT NORTH
TRUE NORTH
0' 1" 2" 3" 4"
1" = 1'-0"
1/8" = 1'-0"

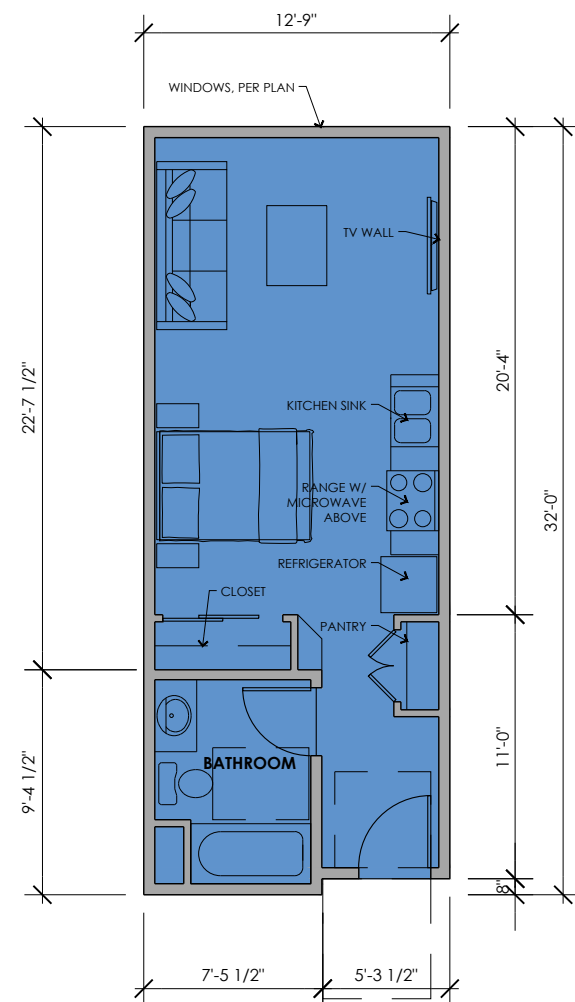
DATE
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A19103

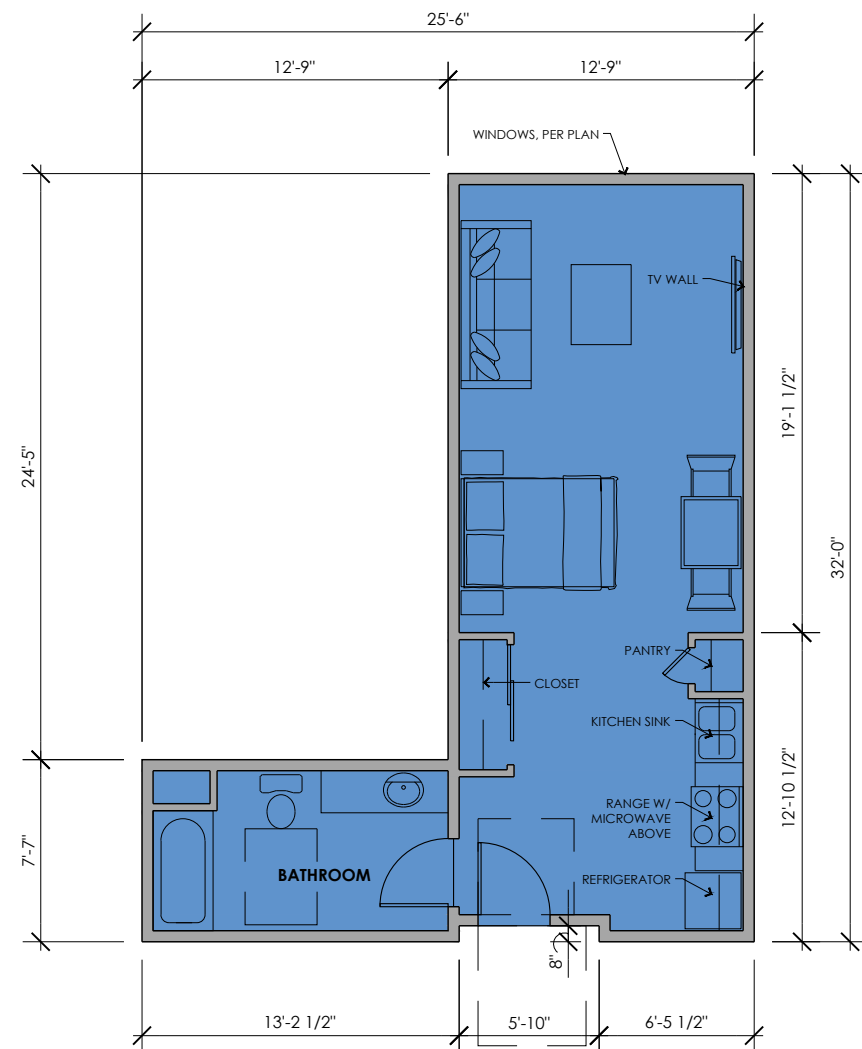
CITY OF BERKELEY APPLICATION #
ZP2020-0118

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A3.11



ENLARGED RESIDENTIAL PLAN - TYPICAL STUDIO UNIT B



ENLARGED RESIDENTIAL PLAN - TYPICAL STUDIO UNIT A



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THOMAS E. JESS ARCHITECT #27608
STEPHEN A. RIGOR ARCHITECT #C33672

ARCHITECT OF RECORD



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THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE. BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED RESIDENTIAL PLANS
1-BEDROOM UNIT

PROJECT NORTH
TRUE NORTH
0' 6" 1' 2' 3' 4' 6' 8' 10' 12'
1" X 17" SHEET SCALE: 1/8" = 1'-0"

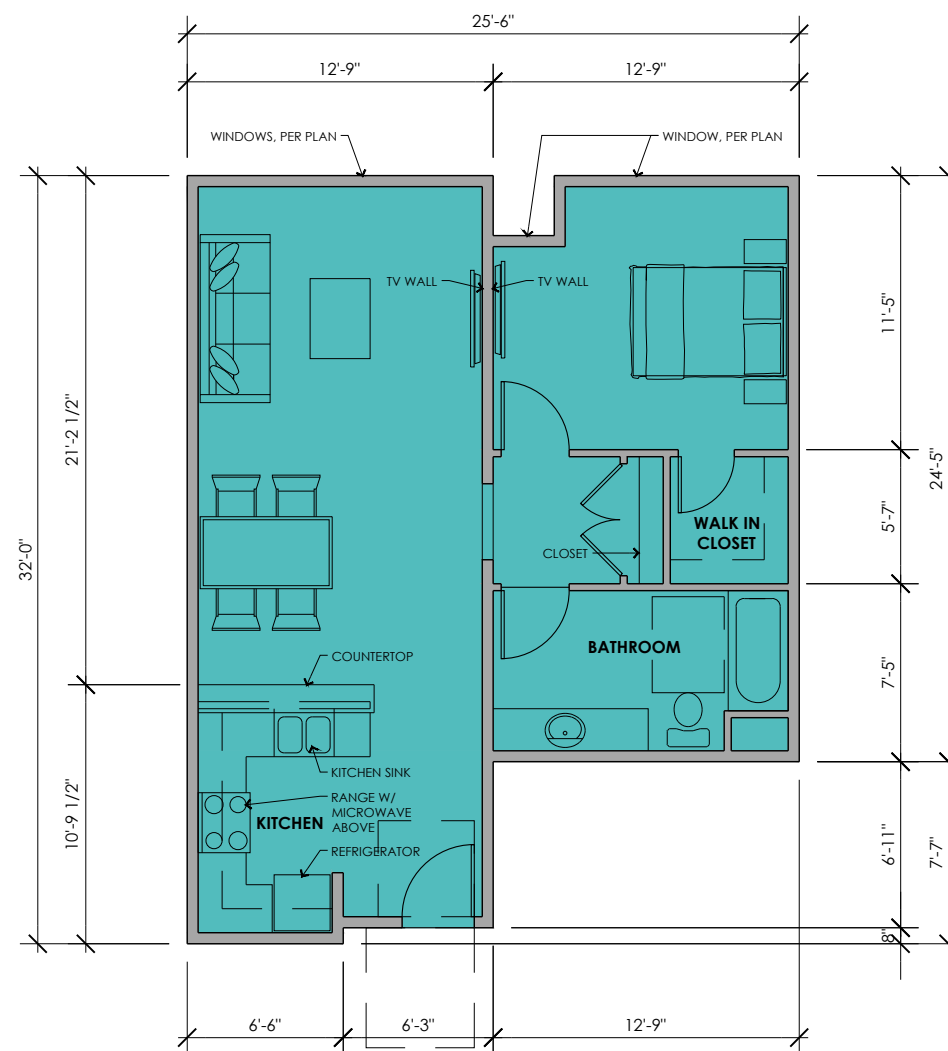
DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

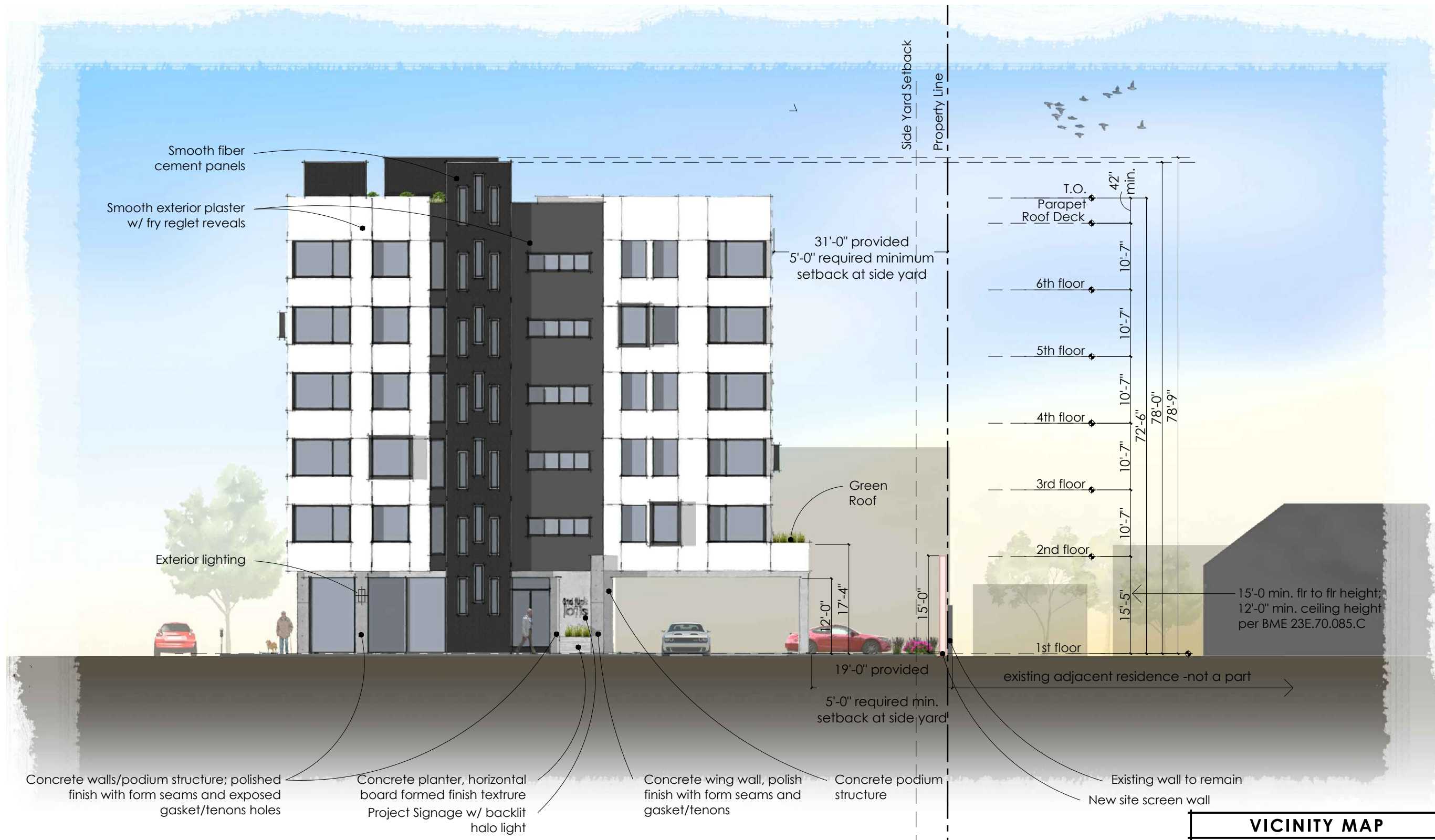
CITY OF BERKELEY APPLICATION #
2P2020-0118

SHEET #

A3.12



ENLARGED RESIDENTIAL PLAN - TYPICAL 1-BEDROOM UNIT



EXTERIOR ELEVATION - RUSSELL STREET/NORTH (FRONT)



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STEPHEN A. RIGOR ARCHITECT #C33672
ARCHITECT OF RECORD



A PROJECT FOR:
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2801 ADELINE ST. & 2900 SHATTUCK AVE. BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1" = 1'-0"
1/16" SHEET SCALE: 1/16" = 1'-0"
SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

DATE
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ARRIS PROJECT #
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SHEET #

A3.20



Smooth fiber cement panels
 Decorative textured fiber cement panels
 Cement panels smooth exterior plaster w/ fry reglet reveals

Decorative textured fiber cement panels

T.O. Parapet 42" min.
 Roof Deck
 6th floor 10'-7"
 5th floor 10'-7"
 4th floor 10'-7"
 3rd floor 10'-7"
 2nd floor 10'-7"
 1st floor 15'-5"
 78'-9"

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Exterior lighting, typical

Full height storefront at ground floor retail

VICINITY MAP



EXTERIOR ELEVATION - SHATTUCK AVENUE/EAST (STREET SIDE)



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 ARCHITECT OF RECORD

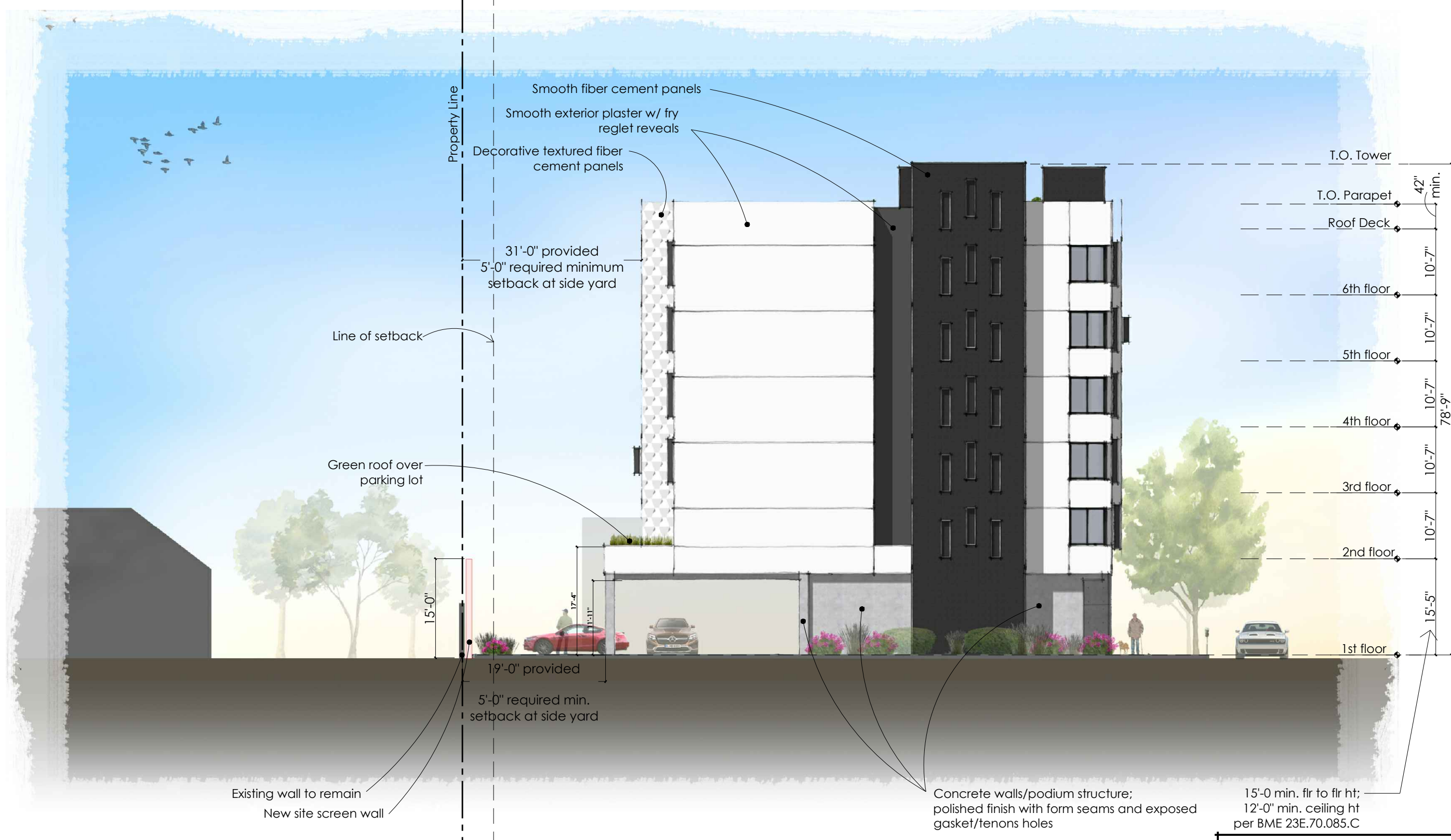


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 2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
 PROJECT NORTH
 TRUE NORTH
 1" = 17'-0"
 1/16" = 1'-0"
 SITE #2: 2900-2920 SHATTUCK AVENUE
 EXTERIOR ELEVATIONS

DATE
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A3.21



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1327 ARCHER STREET, SUITE 220
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STEPHEN A. RIGOR ARCHITECT #C33672

ARCHITECT OF RECORD



A PROJECT FOR:

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2343 STUART STREET
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SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

PROJECT NORTH

TRUE NORTH

1" = 17' SHEET SCALE: 1/16" = 1'-0"

VICINITY MAP



EXTERIOR ELEVATION - SOUTH (REAR)

DATE
JUNE 9, 2021

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ZP2020-0118

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A3.22



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STEPHEN A. RIGOR ARCHITECT #C33672

ARCHITECT OF RECORD



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COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE. BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
1" = 17'-0"
1/8" = 1'-0"
1/4" = 3'-0"
1/2" = 6'-0"
1" = 12'-0"
1 1/2" = 18'-0"
2" = 24'-0"
SCALE: 1/16" = 1'-0"

DATE
JUNE 9, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
2P2020-0118

SHEET #

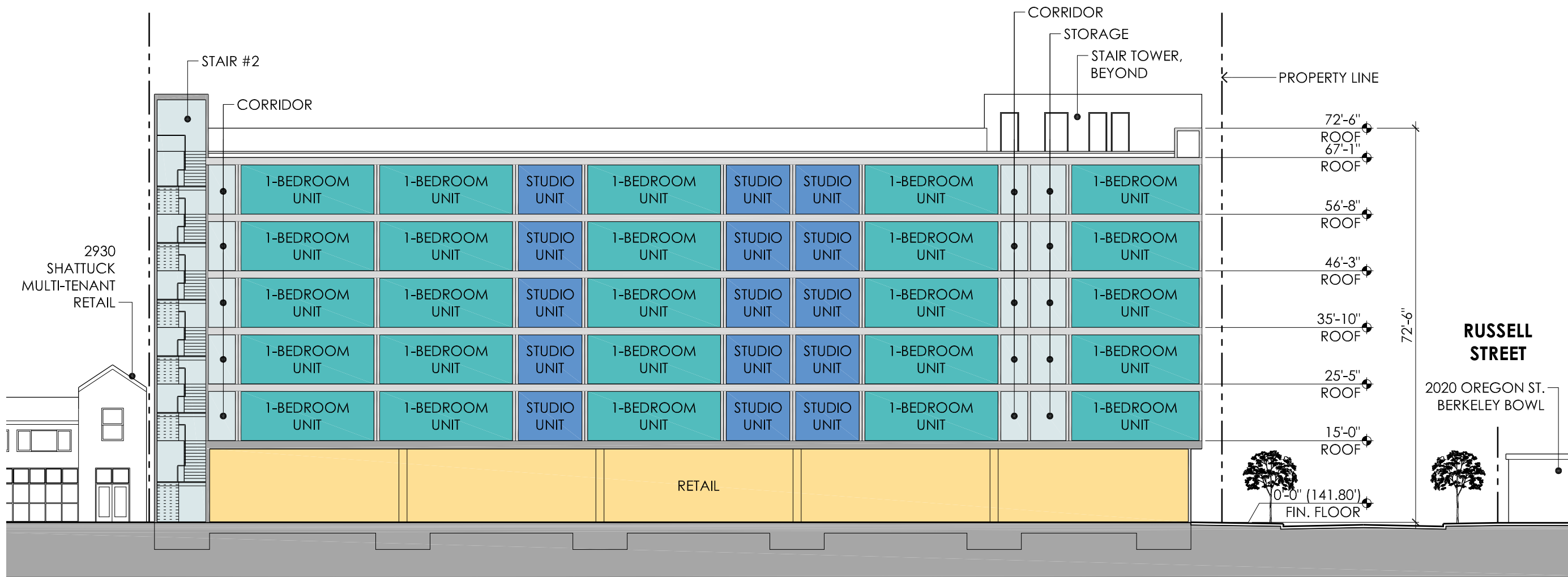
A3.23



VICINITY MAP



EXTERIOR ELEVATION - WEST (SIDE)



ADDRESS
1327 ARCHER STREET, SUITE 220
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ARCHITECT OF RECORD



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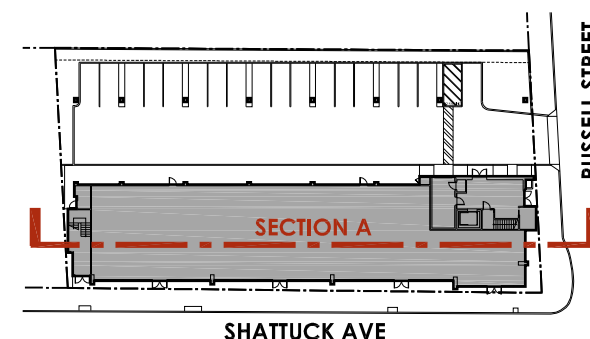
SITE #2: 2900-2920 SHATTUCK AVENUE
SITE/BUILDING SECTION

DATE: JUNE 9, 2021
ARRIS PROJECT #: A19103
CITY OF BERKELEY APPLICATION #: ZP2020-0118
SHEET #

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CITY OF BERKELEY APPLICATION #
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A3.30

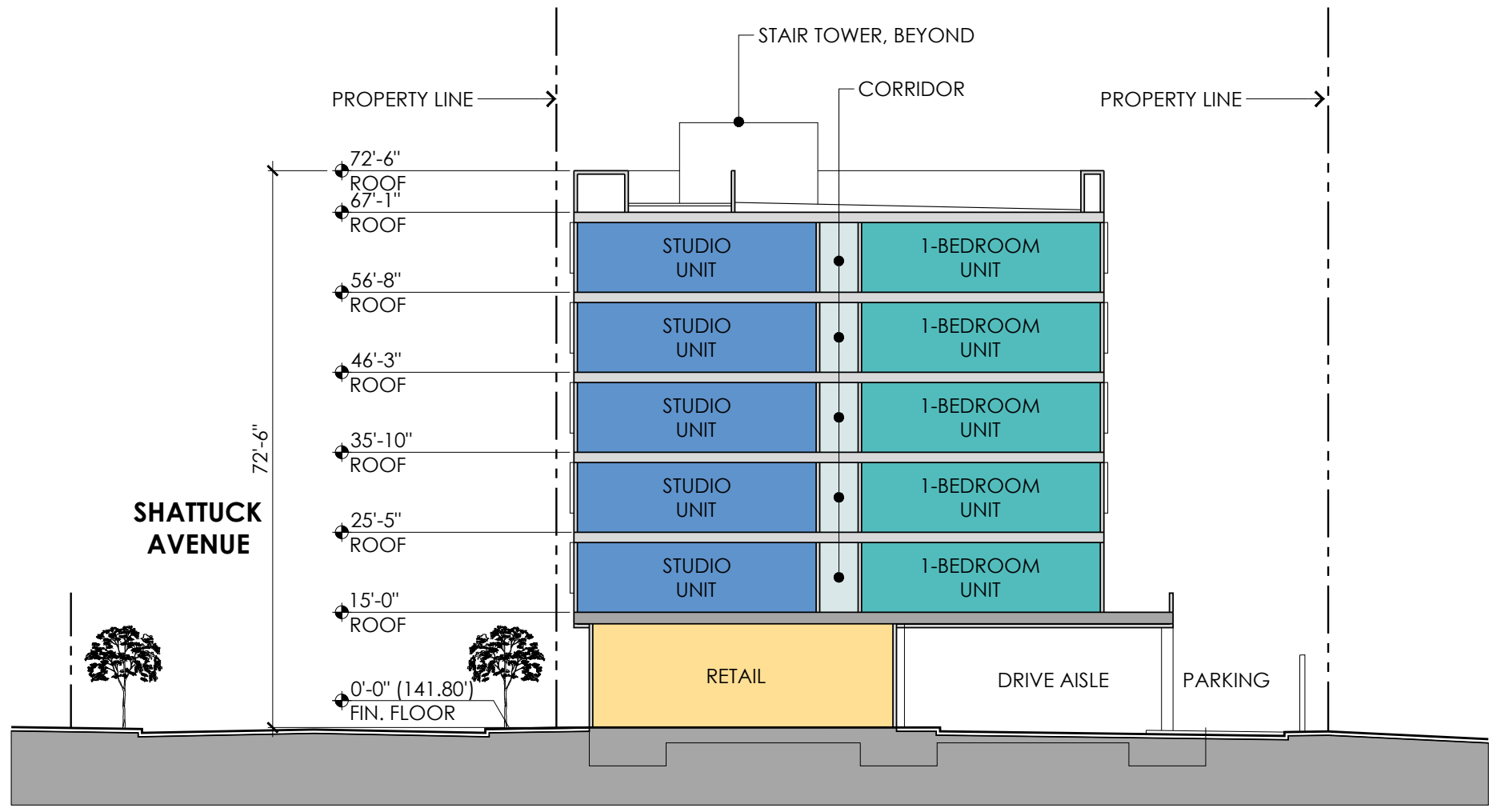
KEY PLAN



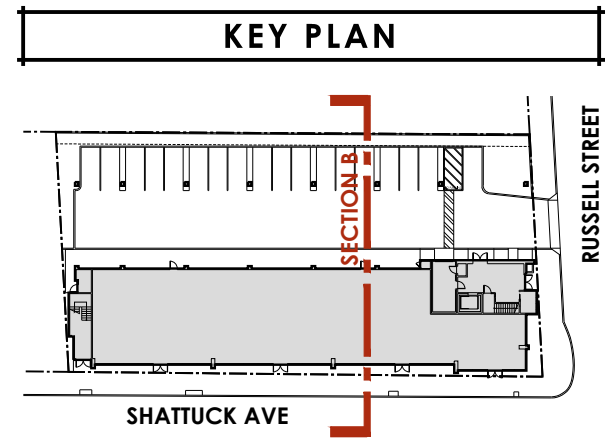
VICINITY MAP



BUILDING SECTION A - PARALLEL TO SHATTUCK AVE



BUILDING SECTION B - PARALLEL TO RUSSELL STREET



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SITE #2: 2900-2920 SHATTUCK AVENUE
SITE/BUILDING SECTION

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SHEET #

A3.31



ARRIS
STUDIO ARCHITECTS

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ARCHITECT OF RECORD



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SITE #2: 2900-2920 SHATTUCK AVE.
CONCEPTUAL PERSPECTIVE VIEW

CONCEPTUAL PERSPECTIVE VIEW - NIGHTTIME CORNER VIEW @ SHATTUCK AVENUE + RUSSELL STREET

VICINITY MAP



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A3.40