



787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER



STEELWAVE
101 CALIFORNIA STREET, SUITE 800
SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE



SKIDMORE, OWINGS & MERRILL LLP
ONE MARITIME PLAZA
SAN FRANCISCO, CA 94111

BUILDER

LUSARDI CONSTRUCTION COMPANY
6376 CLARK AVE
DUBLIN, CA 94568

CIVIL ENGINEER

WARE MALCOMB
4683 CHABOT DRIVE #300
PLEASANTON, CA 94588

MEP ENGINEER

MEYERS+ ENGINEERS
98 BATTERY STREET, SUITE 500
SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
270 GRAND AVE
OAKLAND, CA 94610

SUSTAINABILITY

ATELIER TEN
443 TEHAMA ST, 1ST FLOOR
SAN FRANCISCO, CA 94103

Issued For:

No.	Description	Date
1	USE PERMIT APPLICATION	2021.03.25
2	USE PERMIT RESUBMITTAL	2021.09.13
3	USE PERMIT RESUBMITTAL	2021.12.17

Key Plan:

Seal & Signature:

NOT FOR CONSTRUCTION

Sheet Name:

COVER SHEET

Project No.:

Sheet No.:

220175

Drawn By: Author

Checked By: Checker

Scale:

GP0.00.00

787 BANCROFT

787 BANCROFT WAY, BERKELEY, CA 94710

USE PERMIT RESUBMITTAL
DECEMBER 17, 2021

VICINITY MAP



LOCATION MAP



LEED CHECKLIST

787 Bancroft Way, Berkeley
LEED v4 BD+C: Core & Shell
 Updated: 11/5/2021

Score	54	13	19	23
64 Projected Points				
Integrative Process				
IP Credit 1	1	0	0	0
Location & Transportation				
LT Credit 1	0	0	1	0
LT Credit 2	0	0	0	0
LT Credit 3	0	0	0	0
LT Credit 4	0	0	0	0
LT Credit 5	0	0	0	0
LT Credit 6	0	0	0	0
LT Credit 7	0	0	0	0
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LT Credit 20	0	0	0	0
Sustainable Sites				
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SS Credit 200	0	0	0	0

Energy & Atmosphere	Materials & Resources	Indoor Environmental Quality	Innovation	Regional Priority
EA Credit 1: Fundamental Commissioning and Verification	MR Credit 1: Storage & Collection of Recyclables	EQ Credit 1: Minimum IAQ Performance	IN Credit 1: Exemplary Performance - IPDD EPDs	RP Credit 1.1: Regional Priority, IPDD - SRM: 1 point
EA Credit 2: Minimum Energy Performance	MR Credit 2: Construction and Demolition Waste Management Planning	EQ Credit 2: Environmental Tobacco Smoke (ETS) Control	IN Credit 2: Pilot - Procurement of Low Carbon Construction Materials	RP Credit 1.2: Regional Priority, Building Life-Cycle Impact Reduction, 3 points
EA Credit 3: Building Level Energy Metering	MR Credit 3: Building Life-Cycle Impact Reduction	EQ Credit 3: Enhanced Air Quality Strategies	IN Credit 3: Exemplary Performance - Construction Waste Mgmt	RP Credit 1.3: Regional Priority, Building Life-Cycle Impact Reduction, 3 points
EA Credit 4: Fundamental Refrigerant Management	MR Credit 4: Building Product Disclosure & Optimization: EPDs	EQ Credit 4: Low-Emitting Materials (2 of 6 categories)	IN Credit 4: Innovation - Community Outreach	RP Credit 1.4: Regional Priority, Optimize Energy Performance, 10 points
EA Credit 5: Enhanced Commissioning	MR Credit 5: Building Product Disclosure & Optimization: Sourcing of Raw Materials	EQ Credit 5: Construction IAQ Management Plan	IN Credit 5: Innovation - Sustainable Waste Water Management	RP Credit 1.4: Regional Priority, Indoor Water Use Reduction, 4 points
EA Credit 6: Optimize Energy Performance: 3% / 5% / 7%	MR Credit 6: Building Product Disclosure & Optimization: Material Ingredients	EQ Credit 6: Daylight: 40% / 55% / 75%	IN Credit 6: LEED™ Accredited Professional	
EA Credit 7: Optimize Energy Performance: 15% / 17% / 19%	MR Credit 7: Construction & Demolition Waste Management: 50% / 75%	EQ Credit 7: Quality Views		
EA Credit 8: Optimize Energy Performance: 21% / 23% / 26%				
EA Credit 9: Optimize Energy Performance: 25% / 32% / 39%				
EA Credit 10: Optimize Energy Performance: 39% / 43% / 47%				
EA Credit 11: Advanced Energy Metering				
EA Credit 12: Grid-Optimal Building ACP - v4.1				
EA Credit 13: Renewable Energy Production: 1% / 3% / 5%				
EA Credit 14: Enhanced Refrigerant Management				
EA Credit 15: Green Power and Carbon Offsets				

PARKING AND LOADING REQUIREMENTS

REQUIRED VEHICLE PARKING (R&D) = 2 SPACES / 1,000 SF (BERKELEY MUNICIPAL CODE SEC 23E.80.080)
 R&D AREA = 125,796 GSF / 500 SF = 252 PARKING SPACES REQUIRED
 REQUIRED VEHICLE PARKING (LIGHT MAN.) = 2 SPACES / 1,500 SF (BERKELEY MUNICIPAL CODE SEC 23E.80.080)
 LM AREA = 33,347 GSF / 1,500 SF = 22 PARKING SPACES REQUIRED
 TOTAL AREA = 252 + 22 = 274 PARKING SPACES REQUIRED

REQUIRED LOADING SPACES = 1 SPACE / 10,000 SF + 1 SPACE / ADD 25,500 SF (BMC 23E.80.080)
 INITIAL AREA = 159,143 + 10,000 = 1 LOADING SPACE
 REMAINING AREA = 159,143 - 10,000 = 149,142 SF / 25,000 SF = 6 LOADING SPACES
 TOTAL AREA = 6 + 1 = 7 LOADING SPACES REQUIRED

REQUIRED BICY

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	100% DESIGN DEVELOPMENT	2021.11.05
	USE PERMIT RESUBMITTAL	2021.12.17

Key Plan:

Seal & Signature:

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Sheet Name:

LAND USE AREAS

Project No.:

Sheet No.:

220175

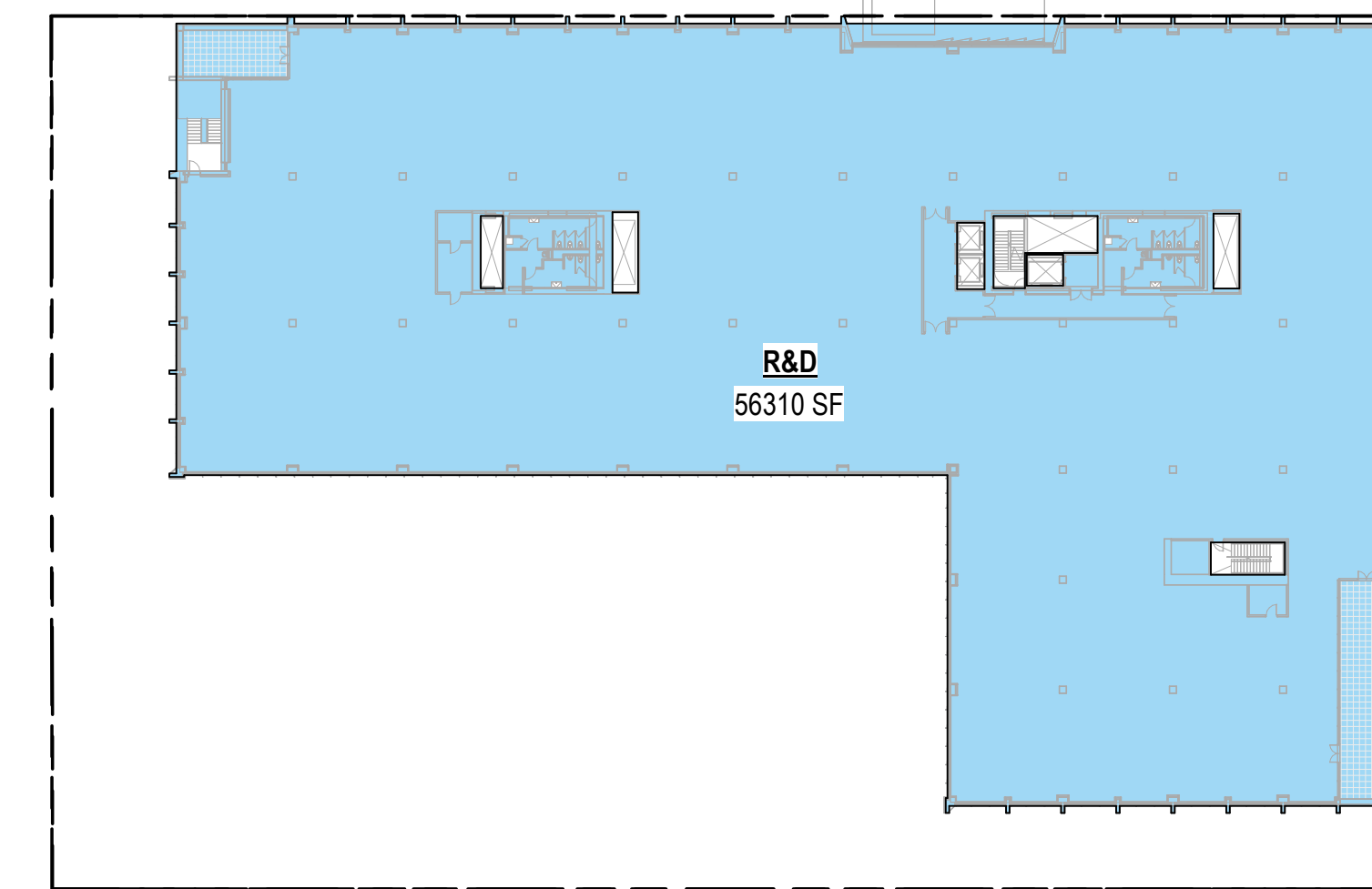
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Checked By: Checker

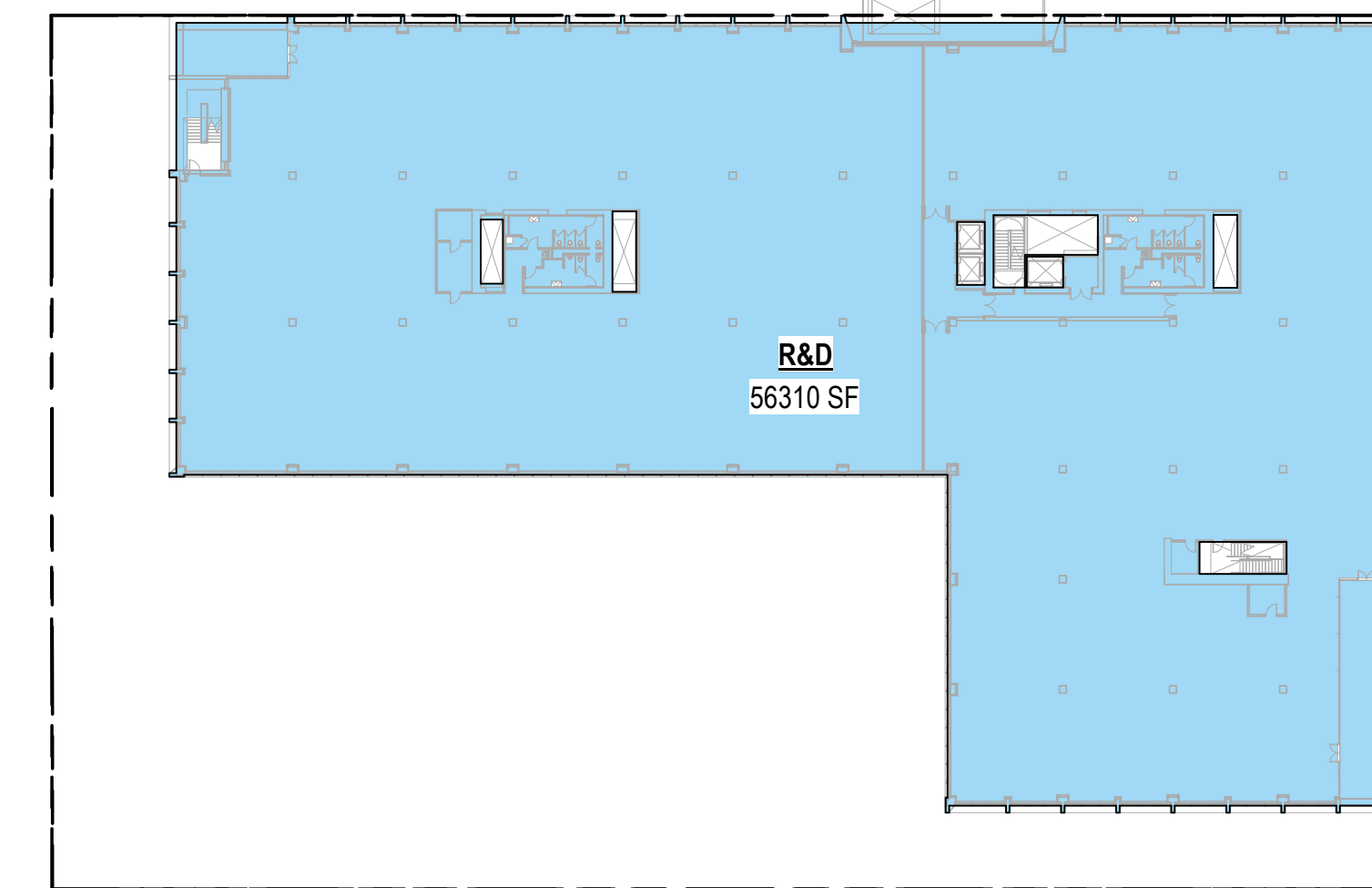
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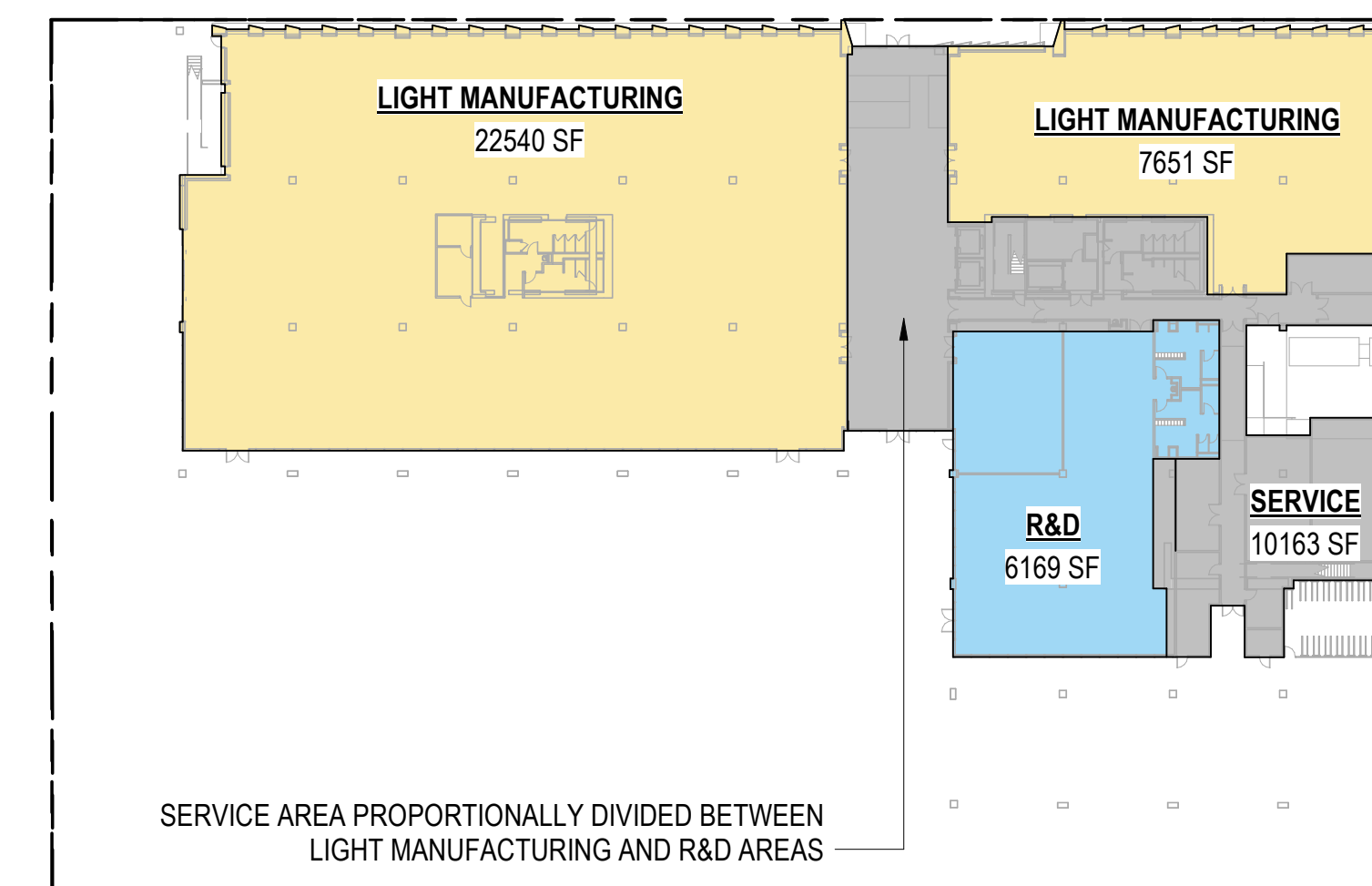
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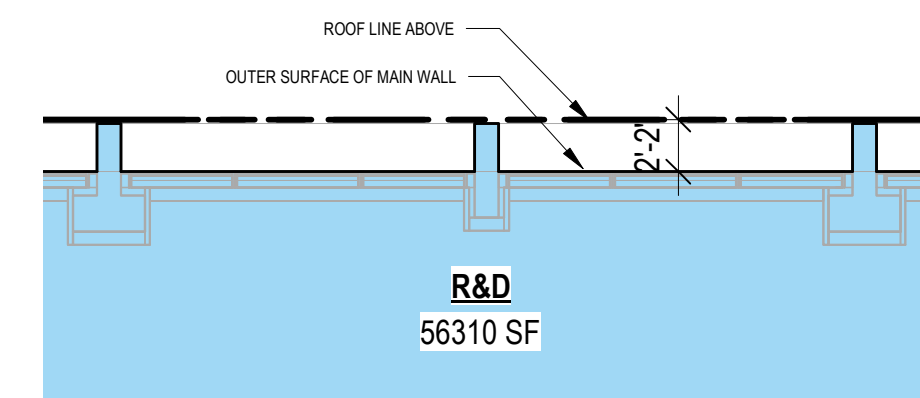
LEVEL 03 LAND USE 3
SCALE: 1" = 50'-0"



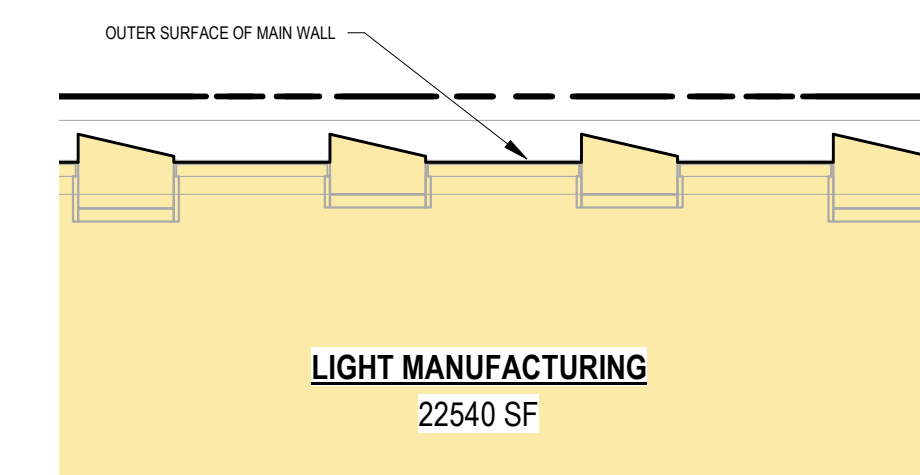
LEVEL 02 LAND USE 2
SCALE: 1" = 50'-0"



LEVEL 01 LAND USE 1
SCALE: 1" = 50'-0"



LEVEL 02-03 AREA BOUNDARY DETAIL 5
SCALE: 1/8" = 1'-0"



LEVEL 01 AREA BOUNDARY DETAIL 4
SCALE: 1/8" = 1'-0"

Land Use Area Summary

ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010

Level	R&D	LM	Service Towards LM	Service Towards R&D	Total Service	Total
Roof						0
Level 03	56,310					56,310
Level 02	56,310					56,310
Level 01	6,169	30,191	3,156	7,007	10,163	46,523
Subtotal	125,796	33,347				
Area Counted Toward FAR:						159,143

GENERAL NOTE:

- LOCATION OF LIGHT MANUFACTURING AREA WILL BE PLACED AS NEEDED FOR INITIAL LEASE-UP
- REQUIRED PROTECTED AREA WILL BE MAINTAINED
- ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010
- SEE AREA CALCULATION METHODOLOGY DIAGRAMS FOR CALCULATION METHOD



VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM WEST: PROPOSED



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VIEW FROM BANCROFT WAY: EXISTING



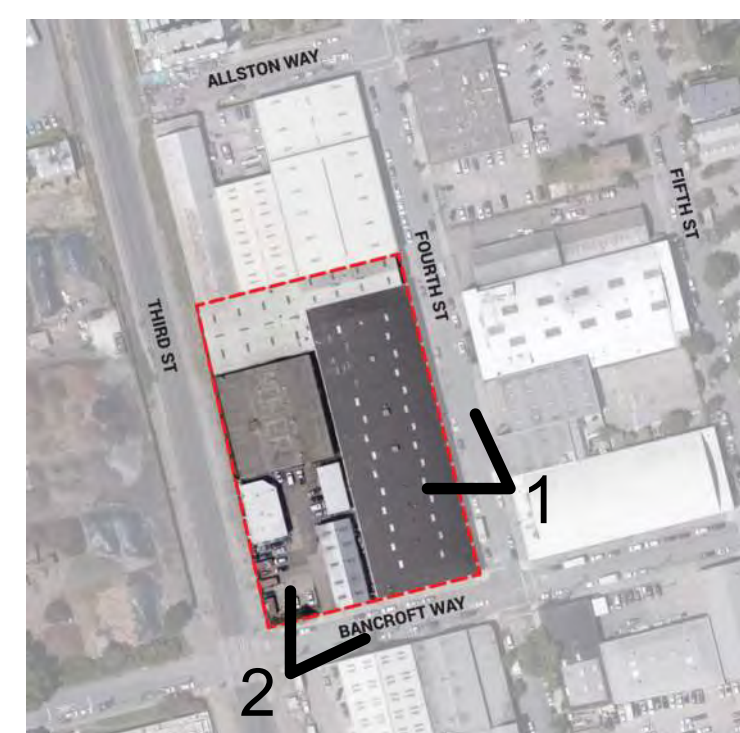
VIEW FROM BANCROFT WAY: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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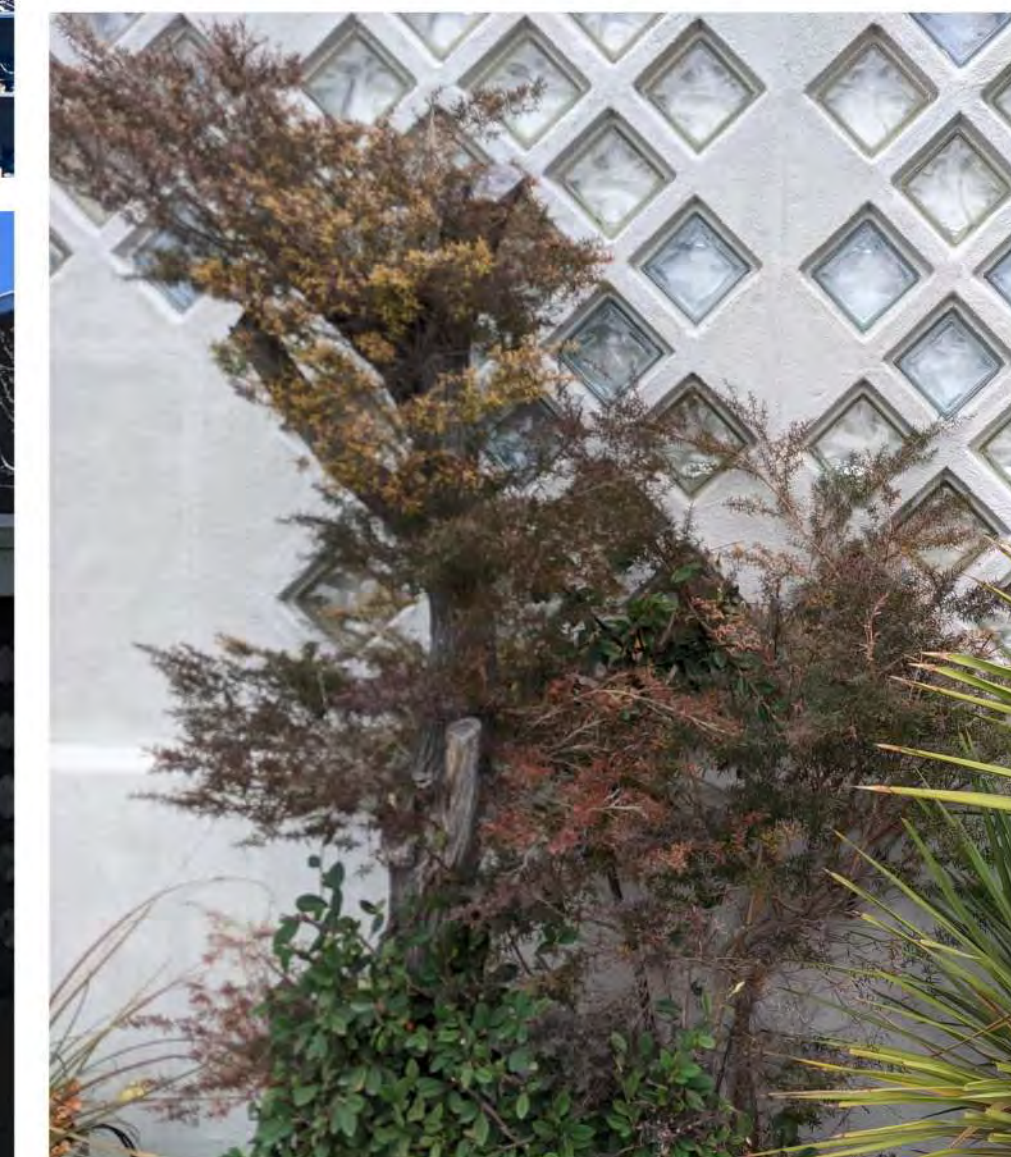
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Scale:

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MATERIALITY AND CHARACTER

The construction and materiality building is inspired by the functionality and playfulness of the industrial buildings in the neighborhood. There is a clear expression of the structural frame and a play in rhythm of the cast in place concrete that is also the primary building facade.



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MATERIAL
PALETTE

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VIEW OF 4TH STREET ENTRANCE



1 Exposed Concrete Structure



4 Stone or Precast Paving



2 Dark Metal Mullions and Metal Trim



5 Bay Friendly Landscaping



3 Glass



VIEW OF 4TH STREET PLAZA

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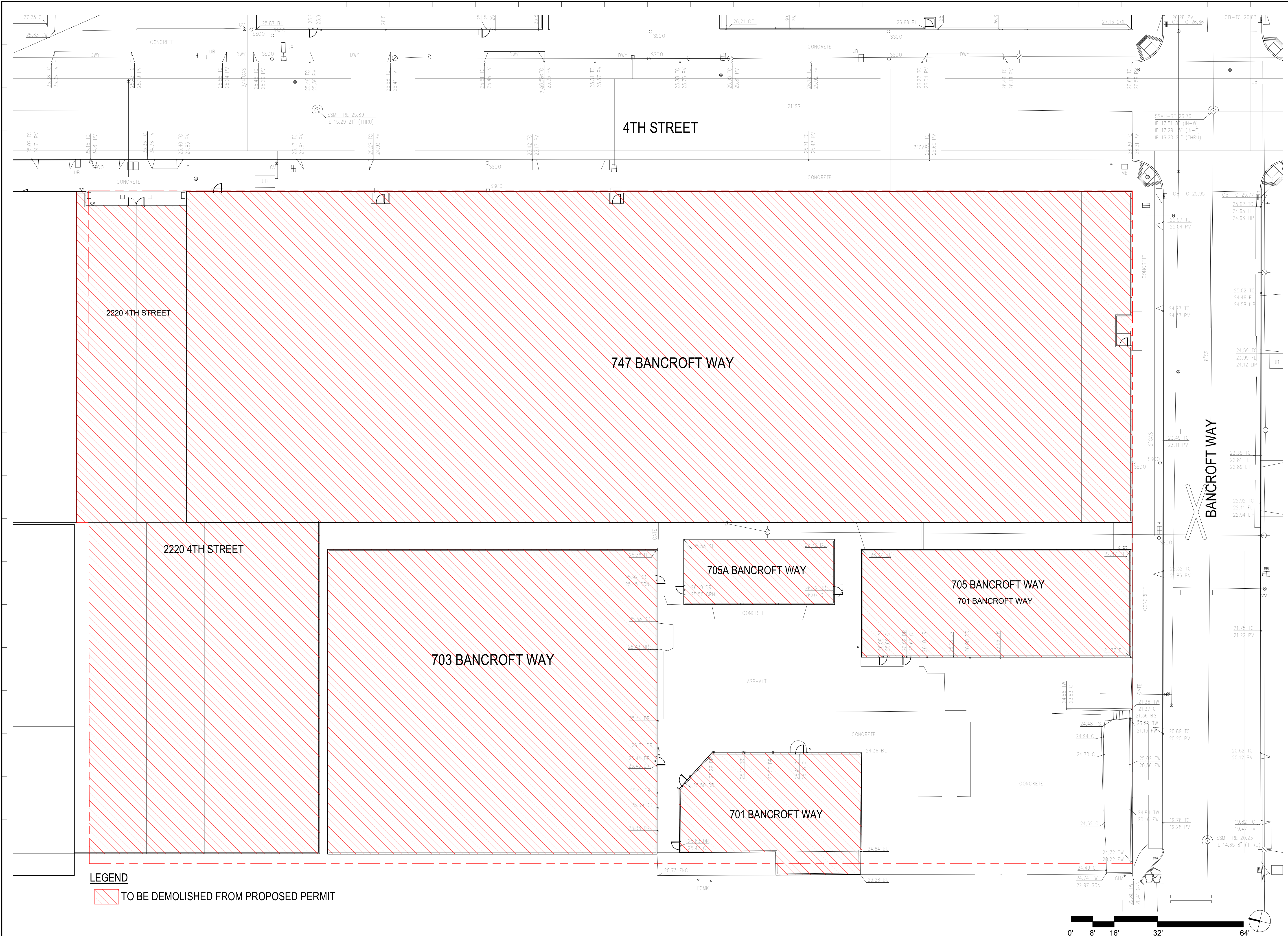
Key Plan:

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Sheet Name:
EXISTING PARCEL DEMOLITION PLAN

Project No.:	220175	Sheet No.:	GP0.02.01
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Scale:	1/16" = 1'-0"		



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SITE PHOTOGRAPHS OF BUILDINGS TO BE DEMOLISHED

Project No.: 220175	Sheet No.:
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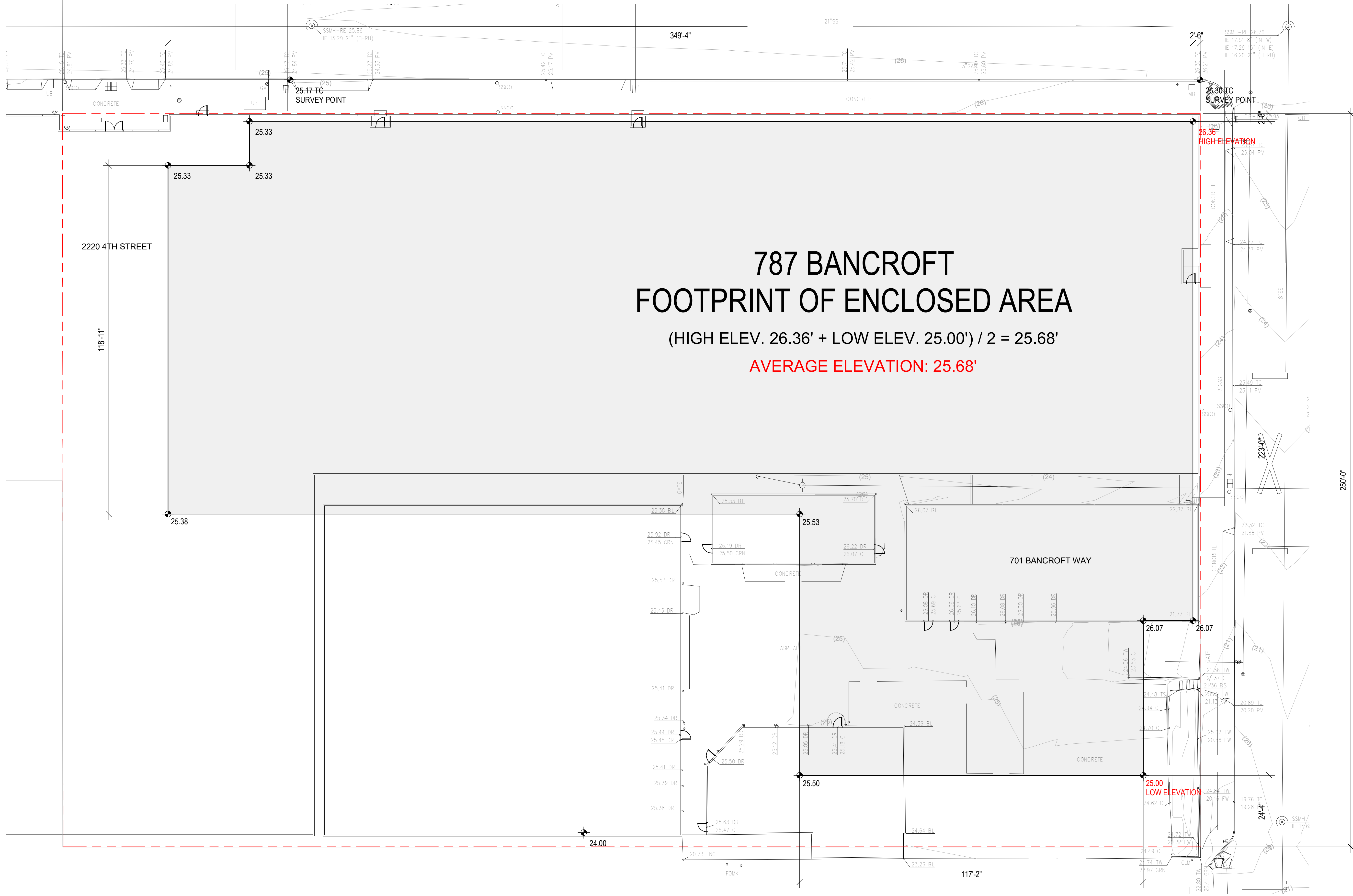
**AVERAGE
 ELEVATION
 CALCULATION**

Project No.:	220175	Sheet No.:	GP0.03.00
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Scale:	1/16" = 1'-0"		

787 BANCROFT FOOTPRINT OF ENCLOSED AREA

(HIGH ELEV. 26.36' + LOW ELEV. 25.00') / 2 = 25.68'

AVERAGE ELEVATION: 25.68'

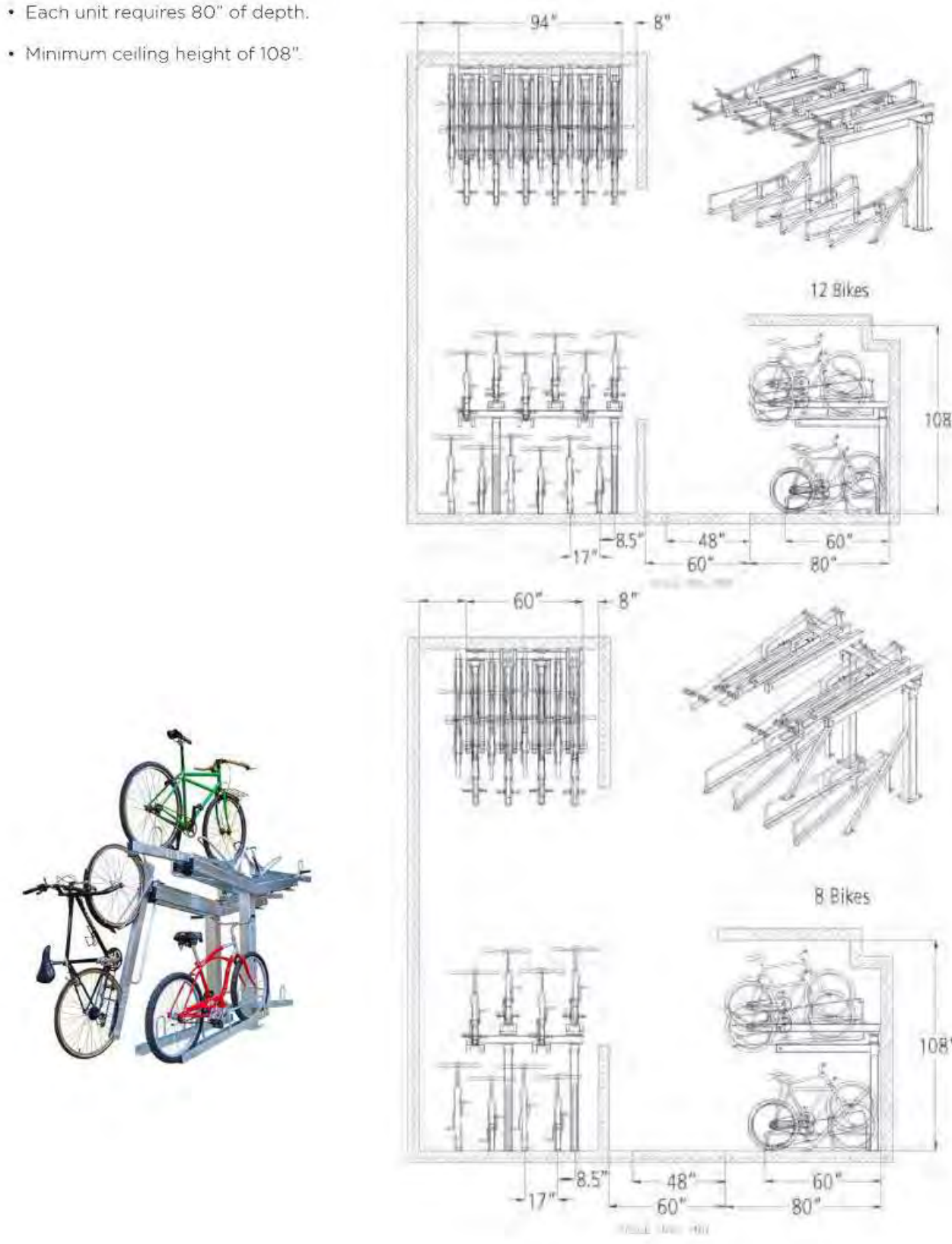


BUILDING FOOTPRINT 1
 SCALE: 1/16" = 1'-0"

HORIZONTAL, TWO-TIERED PARKING RACK

Lift-assist top tray, modular/stacking

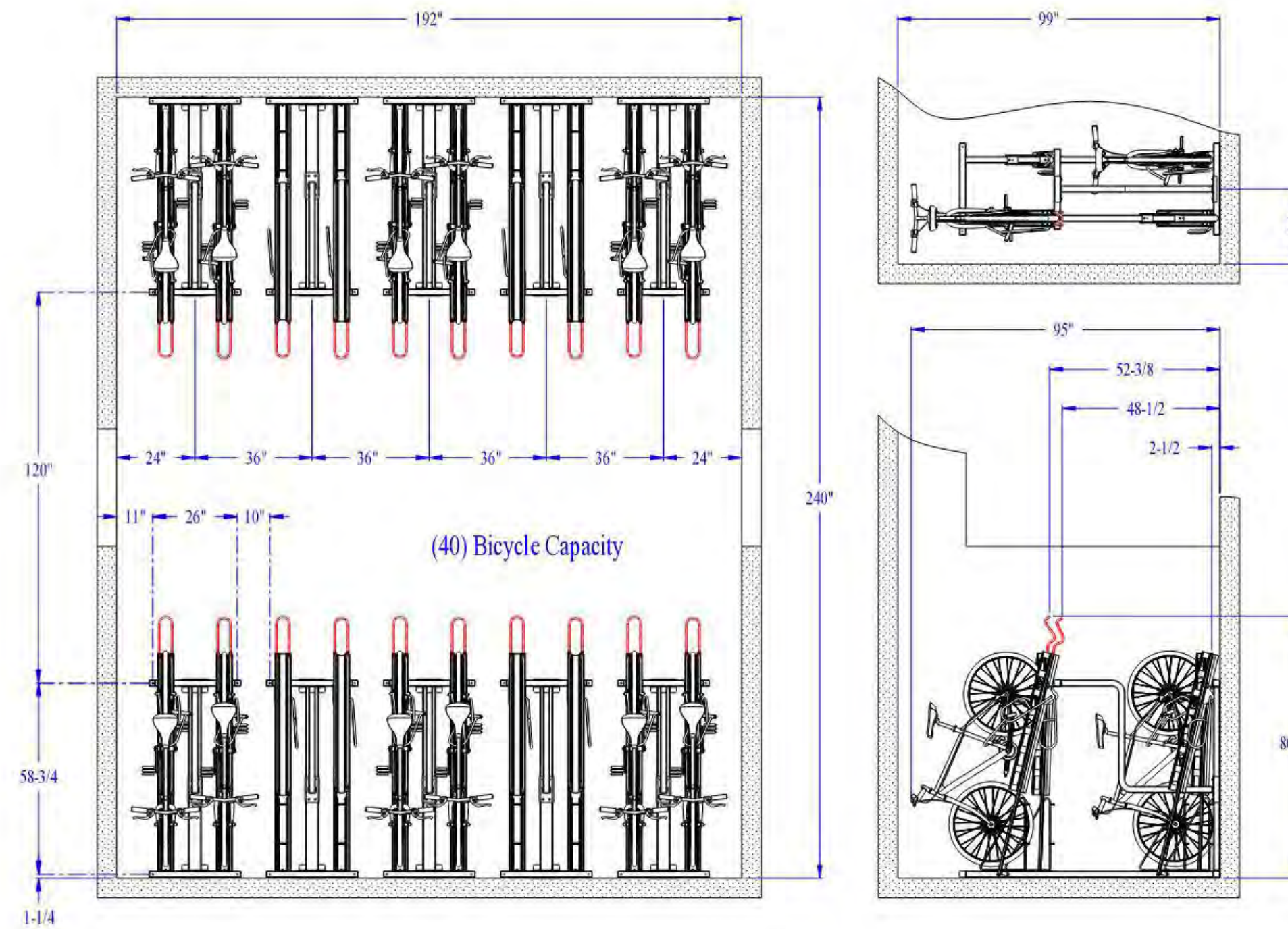
- Recommended access aisle of 60", minimum access aisle of 48"
- Each unit requires 80" of depth.
- Minimum ceiling height of 108"



BERKELEY BICYCLE FACILITY DESIGN TOOL BOX

01 BICYCLE LAYOUT
(EXCERPT FROM BERKELEY BICYCLE PLAN 2017)

NOTE: SPECIFICATION CONFORMS WITH LONG TERM BICYCLE PARKING STANDARDS FOUND IN BERKELEY BIKE PLAN 2017, PAGE 119



02 BICYCLE PARKING SPECIFICATION



Home | Secure Bike Parking | Bike Racks | Quad Hi-Density Bike Rack



Quad Hi-Density Bike Rack

Our Quad Hi-Density Bike Rack™ is a double-tier bike rack offering space-efficient, two-tier bike parking. Easy to load, simply place bike into the innovative wheel guide and roll along the channel to secure the wheel and frame in place. Bicycles can be locked with a U-lock compatible pivot locking bar for added security.

Each double-tier bike rack allows two-tier bike parking to securely store four bicycles. The modular design allows for one- or two-sided capacity with multiple configurations to customize for any location. Quad Hi-Density double-tier bike racks are easy to assemble, and constructed with zinc primer TGIC polyester powder coat finish steel tubing and UV plastic wheel gutters for lasting durability.

With minimal moving parts, our double-tier bike rack design also increase access aisles, with less maintenance or liability concerns associated with movable tray racks. This innovative

<https://cyclesafe.com/bike-parking/bike-racks/hi-density-bike-rack/>

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03 BICYCLE PARKING SPECIFICATION

FIXIT
Submittal Sheet

FIXIT



FINISH OPTIONS

Galvanized	Stainless	White	Black	Light Grey	Dark Red	Yellow
		Light Grey	Dark Grey	Dark Grey	Dark Green	Dark Green
		Dark Green	Dark Green	Dark Green	Dark Green	Dark Green
		Dark Green	Dark Green	Dark Green	Dark Green	Dark Green
		Dark Green	Dark Green	Dark Green	Dark Green	Dark Green

04 BICYCLE REPAIR STAND SPECIFICATION



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BICYCLE PARKING SPECIFICATIONS

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TOPOGRAPHY SURVEY

Project No.:

Sheet No.:

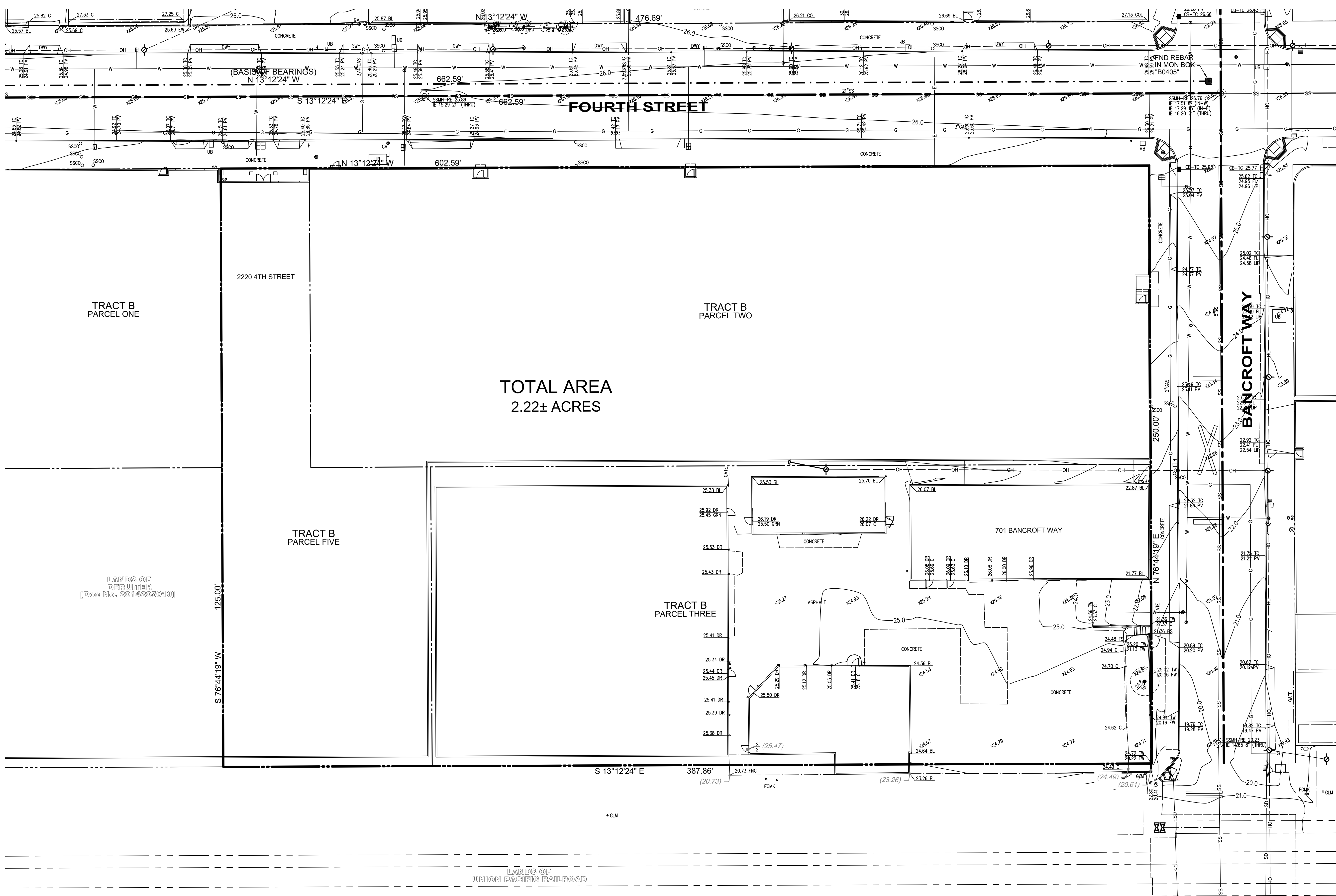
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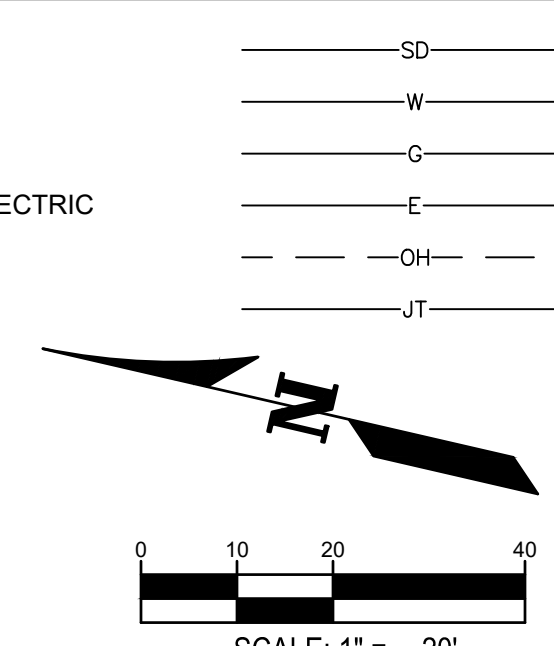


ABBREVIATIONS

AC	AIR CONDITION	GLM	GAS LINE MARKER
BL	BUILDING	GRN	GROUND
BR	BOTTOM OF RAMP	GV	GAS VALVE
BS	BOTTOM OF STEP	JB	JUNCTION BOX
CB	CATCH BASIN	LIP	LIP OF GUTTER
COL	COLUMN	MB	MAIL BOX
CTV	CABLE TELEVISION	MH	MANHOLE
DI	DROP INLET	PED	PEDESTAL
DR	DOOR	PV	PAVEMENT
DWY	DRIVEWAY	RE	RIM ELEVATION
IE	INVERT ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TS	TOP OF STEP
EW	EDGE OF WALK	UB	UTILITY BOX
FF	FINISH FLOOR	VG	VALLEY GUTTER
FNC	FENCE	WB	WATER BOX

LEGEND

PROPERTY LINE	--- ---	STORM DRAIN MANHOLE	⊙
ADJACENT PROPERTY LINE	--- ---	SANITARY SEWER MANHOLE	⊙
CENTERLINE	--- ---	CLEAN OUT	○
MONUMENT LINE	--- ---	GAS METER	⊙
BUILDING LINE W/ DOOR	--- ---	UTILITY POLE W/ GUY WIRE	⊙
BUILDING OVERHANG	--- ---	VALVE	⊙
FOUND MONUMENT AS NOTED	⊙	CATCH BASIN / DROP INLET	⊙
BOLLARD LIGHT	⊙	WATER METER	⊙
LIGHT	⊙	FIRE DEPARTMENT CONNECTION	⊙
STREET LIGHT	⊙	BACK FLOW PREVENTER	⊙
TRANSFORMER	⊙	UTILITY BOX (SIZE VARIES)	⊙
FIRE HYDRANT	⊙	MONITORING WELL	⊙
		SIGN	⊙
		TREE W/ SIZE AND ELEVATION	⊙
		SPOT ELEVATION	⊙
		CONTOUR	--- ---
		INDEX CONTOUR	--- ---
		CURB	--- ---
		CURB & GUTTER	--- ---
		CONCRETE	--- ---
		FENCE	--- ---
		RETAINING WALL	--- ---
		EDGE OF PAVEMENT	--- ---
		SANITARY SEWER	--- ---
		STORM DRAIN	--- ---
		WATER	--- ---
		GAS	--- ---
		UNDERGROUND ELECTRIC	--- ---
		OVERHEAD	--- ---
		JOINT TRENCH	--- ---



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Sheet Name:

CONCEPTUAL DEMOLITION PLAN

Project No.:

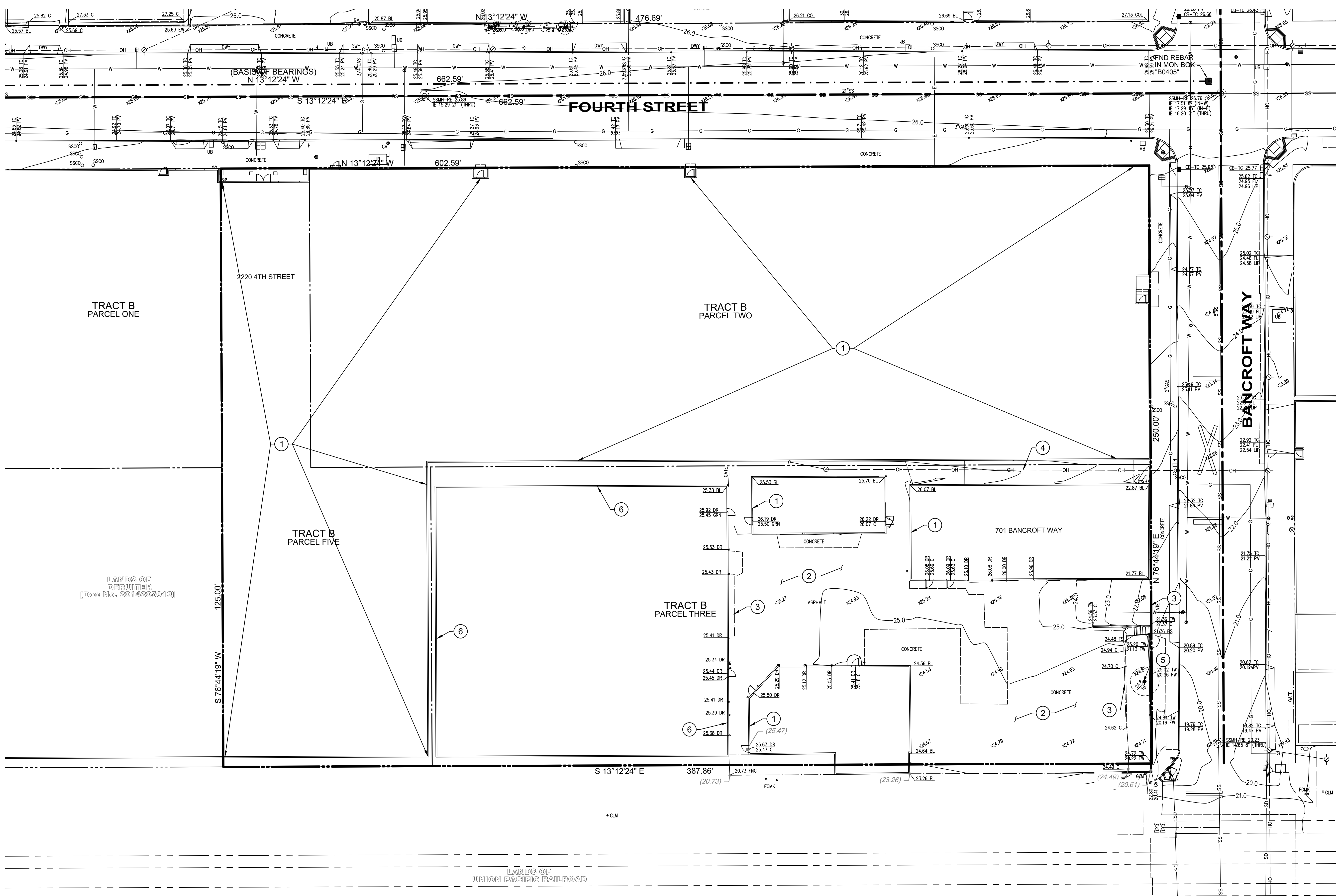
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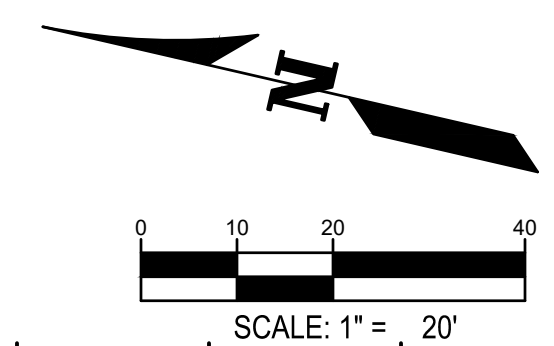


KEYNOTES

- ① REMOVE EXISTING BUILDING
- ② REMOVE EXISTING CONCRETE AND/OR ASPHALT
- ③ REMOVE EXISTING FENCE AND/OR GATE
- ④ REMOVE EXISTING OVERHEAD UTILITIES
- ⑤ REMOVE EXISTING TREE
- ⑥ RELOCATE EXISTING STRUCTURE

LEGEND

PROPERTY LINE		STORM DRAIN MANHOLE		SIGN		STORM DRAIN	
ADJACENT PROPERTY LINE		SANITARY SEWER MANHOLE		TREE W/ SIZE AND ELEVATION		WATER	
CENTERLINE		CLEAN OUT		SPOT ELEVATION		GAS	
MONUMENT LINE		GAS METER		CONTOUR		UNDERGROUND ELECTRIC	
BUILDING LINE W/ DOOR		UTILITY POLE W/ GUY WIRE		INDEX CONTOUR		OVERHEAD	
BUILDING OVERHANG		VALVE		CURB		JOINT TRENCH	
FOUND MONUMENT AS NOTED		CATCH BASIN / DROP INLET		CURB & GUTTER			
BOLLARD LIGHT		WATER METER		CONCRETE			
LIGHT		FIRE DEPARTMENT CONNECTION		FENCE			
STREET LIGHT		BACK FLOW PREVENTER		RETAINING WALL			
TRANSFORMER		UTILITY BOX (SIZE VARIES)		EDGE OF PAVEMENT			
FIRE HYDRANT		MONITORING WELL		SANITARY SEWER			



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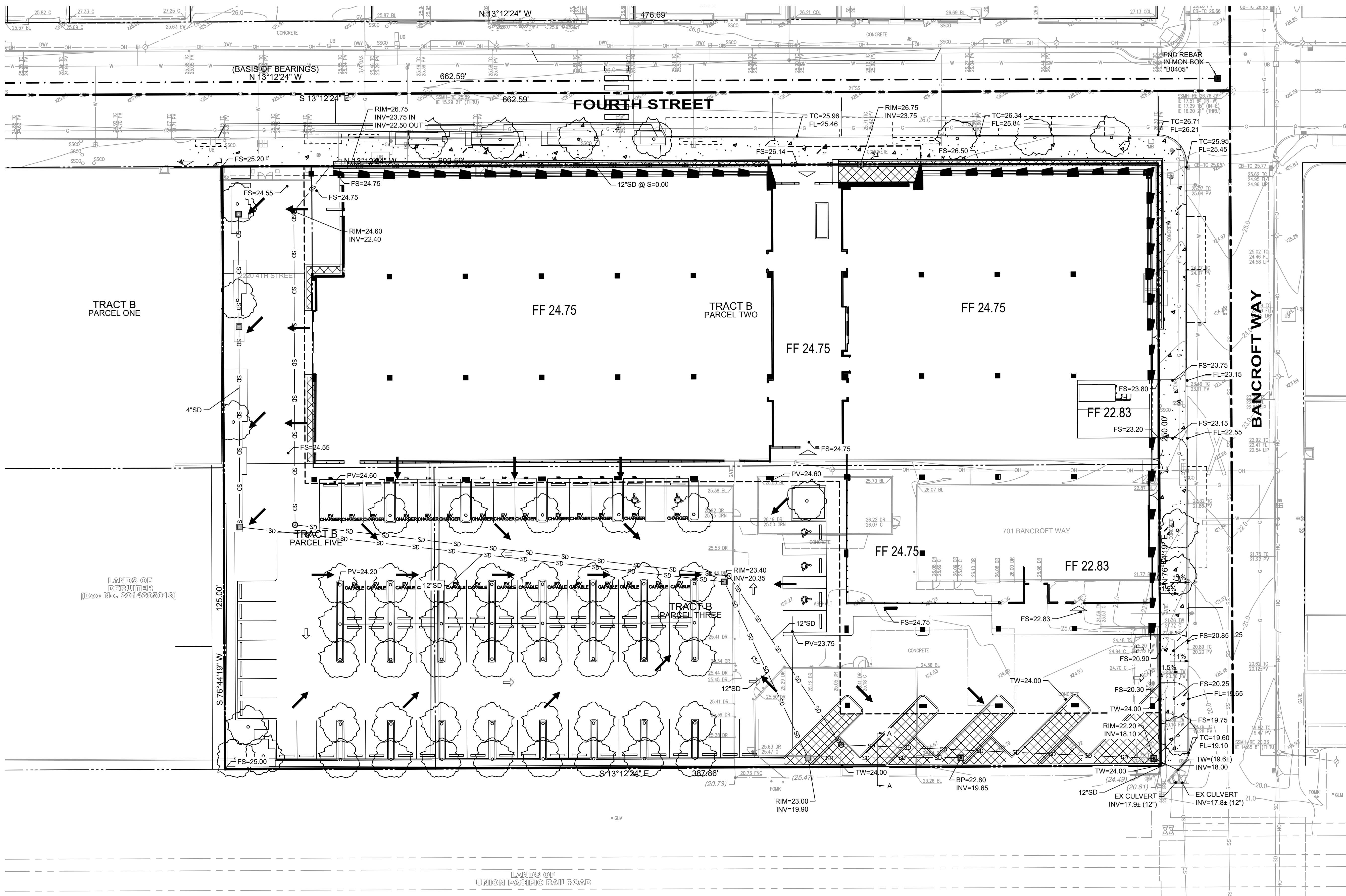
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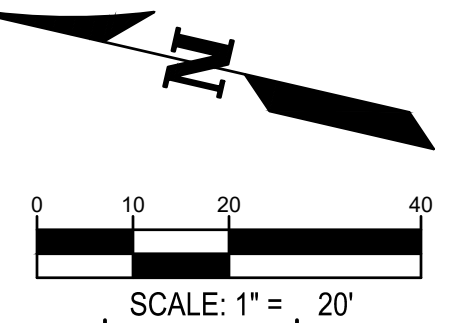
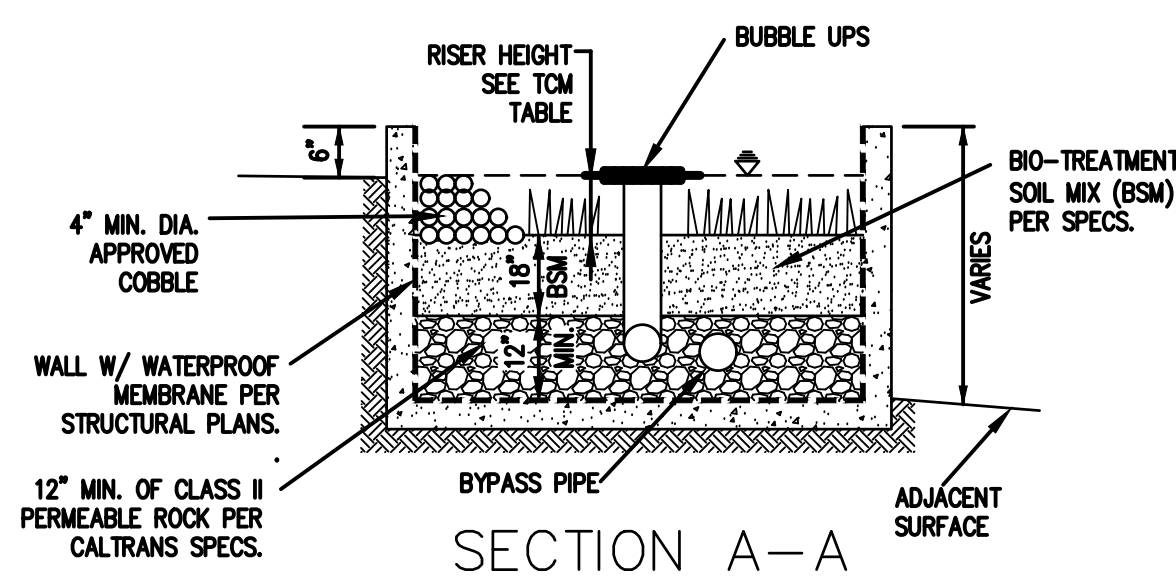
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LEGEND:

	PROPERTY LINE		PROPOSED SWALE		FLOW DIRECTION
	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING
	EXISTING 1' CONTOUR		EXISTING NATURAL GAS LINE		GRADE BREAK
	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL
	PROPOSED STORM INLET		EXISTING STORM LINE		REMOVE AND REPLACE CURB, GUTTER AND SIDEWALK
	EXISTING STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)		PROPOSED STORMWATER TREATMENT AREA
			PROPOSED SLOPE AND DIRECTION		



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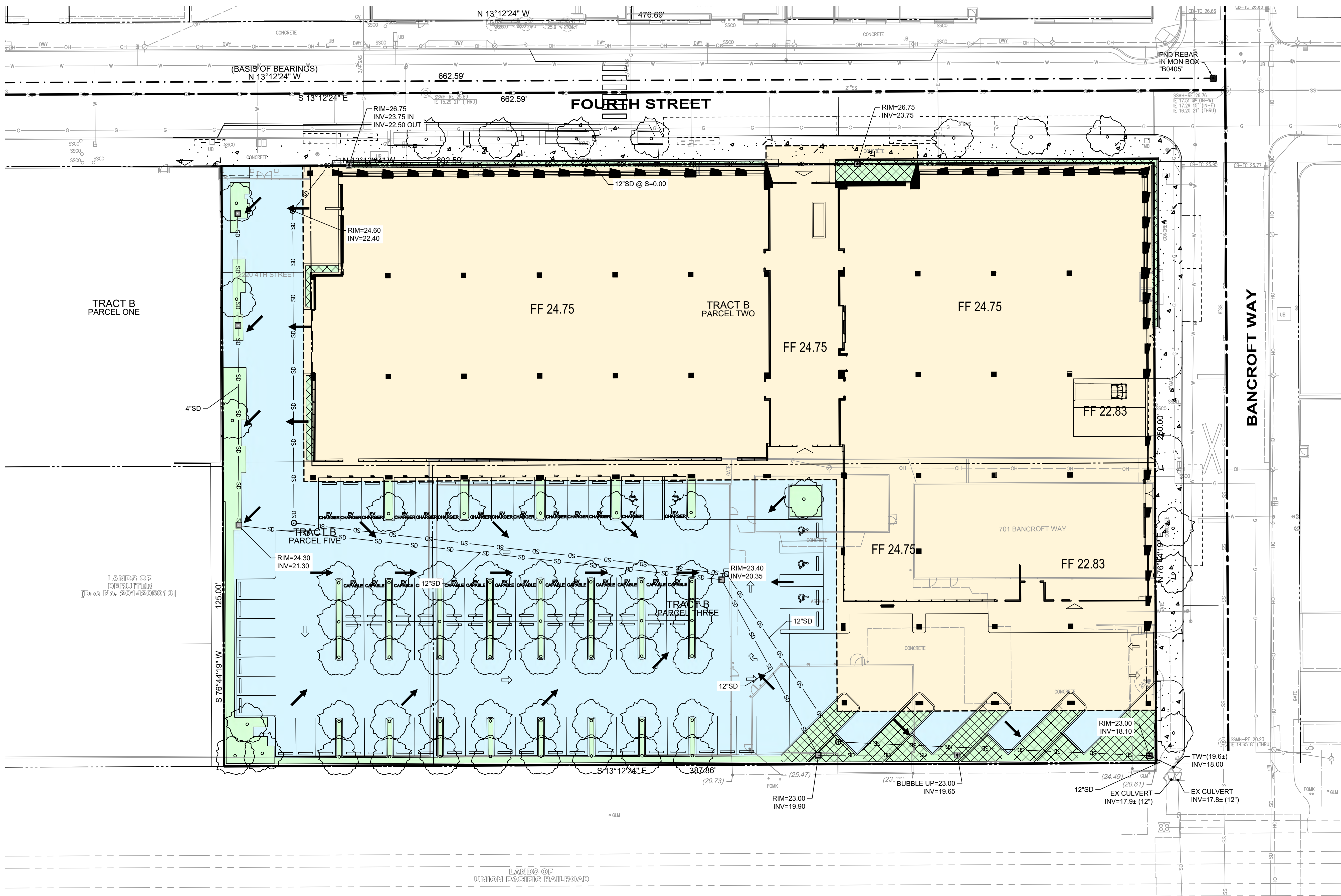
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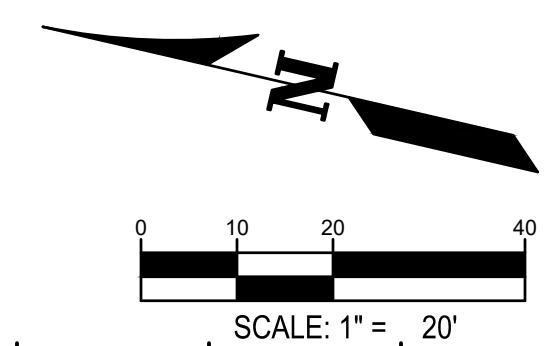
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**CONCEPTUAL
 STORMWATER
 MANAGEMENT
 PLAN**

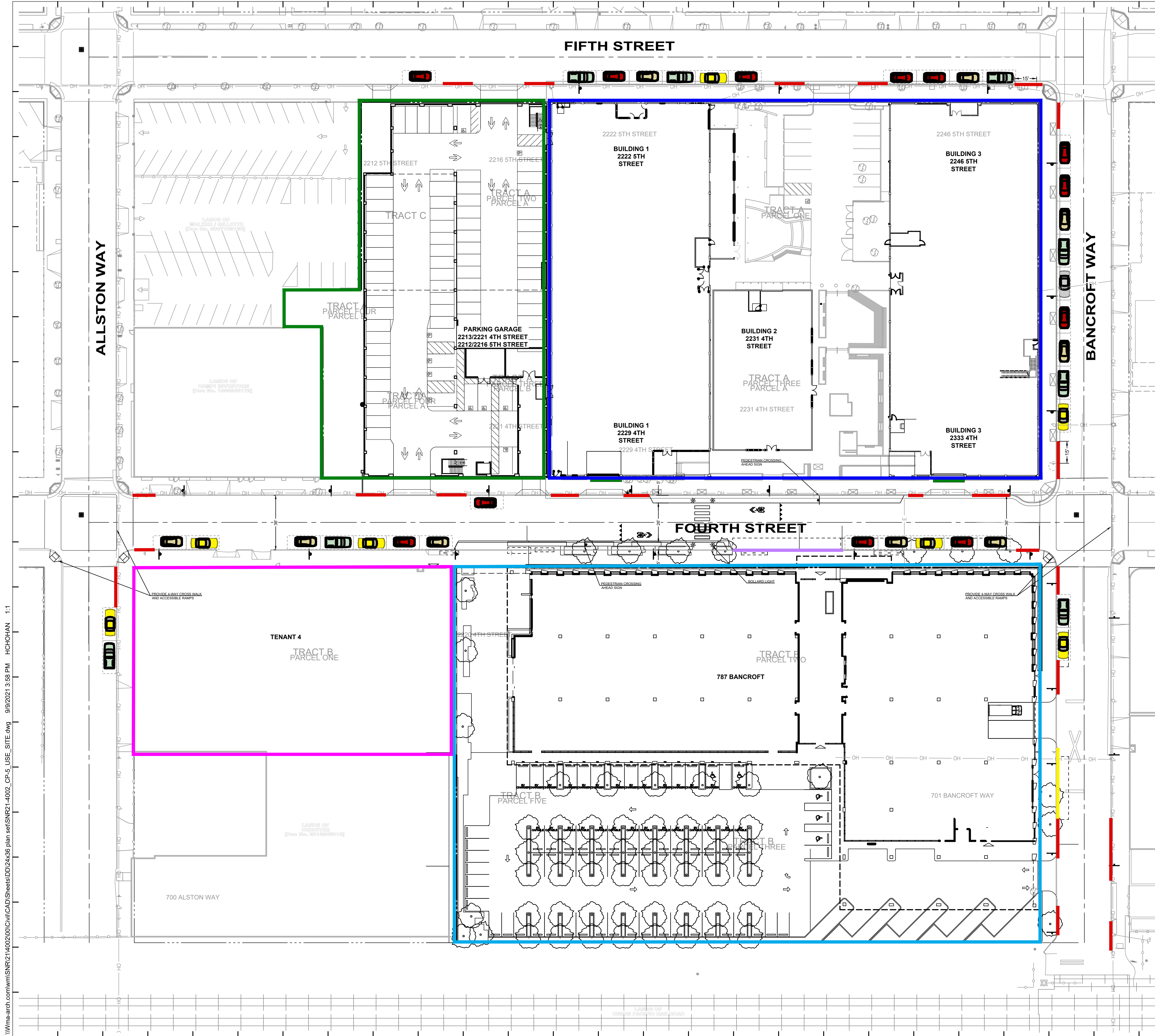
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LEGEND:

	PROPERTY LINE		PROPOSED SWALE		FLOW DIRECTION		NEW ROOF = 1.36± AC (59,040 SF)
	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT		NEW PAVEMENT = 0.73± AC (31,805 SF)
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT		SELF TREATING AREA = 0.08± AC (3,360 SF)
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING		BIO-TREATMENT AREA = 0.07± AC (3,240 SF)
	EXISTING 1' CONTOUR		EXISTING NATURAL GAS LINE		GRADE BREAK		PUBLIC IMPROVEMENTS (SEPARATE PERMIT)
	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL		
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL		
	PROPOSED STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)				
	EXISTING STORM INLET		PROPOSED SLOPE AND DIRECTION				





- LEGEND**
- NO PARKING - RED CURB
 - LOADING ZONE - YELLOW CURB
 - PASSENGER LOADING ZONE - WHITE CURB
 - PARKING STALL
 - PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4
 - EXISTING FH WITH 3' RADIUS CLEARANCE
 - PROPOSED 'NO OVERNIGHT PARKING' SIGN - SEE DETAIL ON THIS SHEET



NO OVERNIGHT PARKING SIGN

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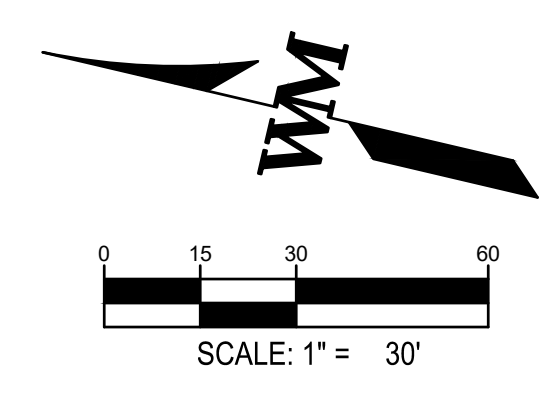
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OVERALL SITE PLAN



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DUBLIN, CA 94568

CIVIL ENGINEER

WARE MALCOMB
4683 CHABOT DRIVE #300
PLEASANTON, CA 94588

MEP ENGINEER

MEYERS+ ENGINEERS
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SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
270 GRAND AVE
OAKLAND, CA 94610

SUSTAINABILITY

ATELIER TEN
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1	USE PERMIT APPLICATION	2021.03.25
2	100% SCHEMATIC DESIGN	2021.06.11
3	USE PERMIT RESUBMITTAL	2021.09.13
4	USE PERMIT RESUBMITTAL	2021.12.17

Key Plan:

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Sheet Name:

LAB MASTERPLAN

Project No.:

Sheet No.:

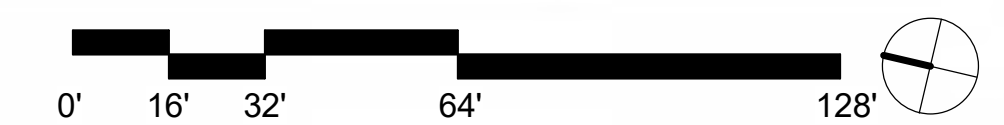
220175

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Scale: 1/32" = 1'-0"

AP1.01.00



PROPOSED ROOF LEVEL SITE PLAN 01

SCALE: 1/32" = 1'-0"

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	USE PERMIT RESUBMITTAL	2021.12.17

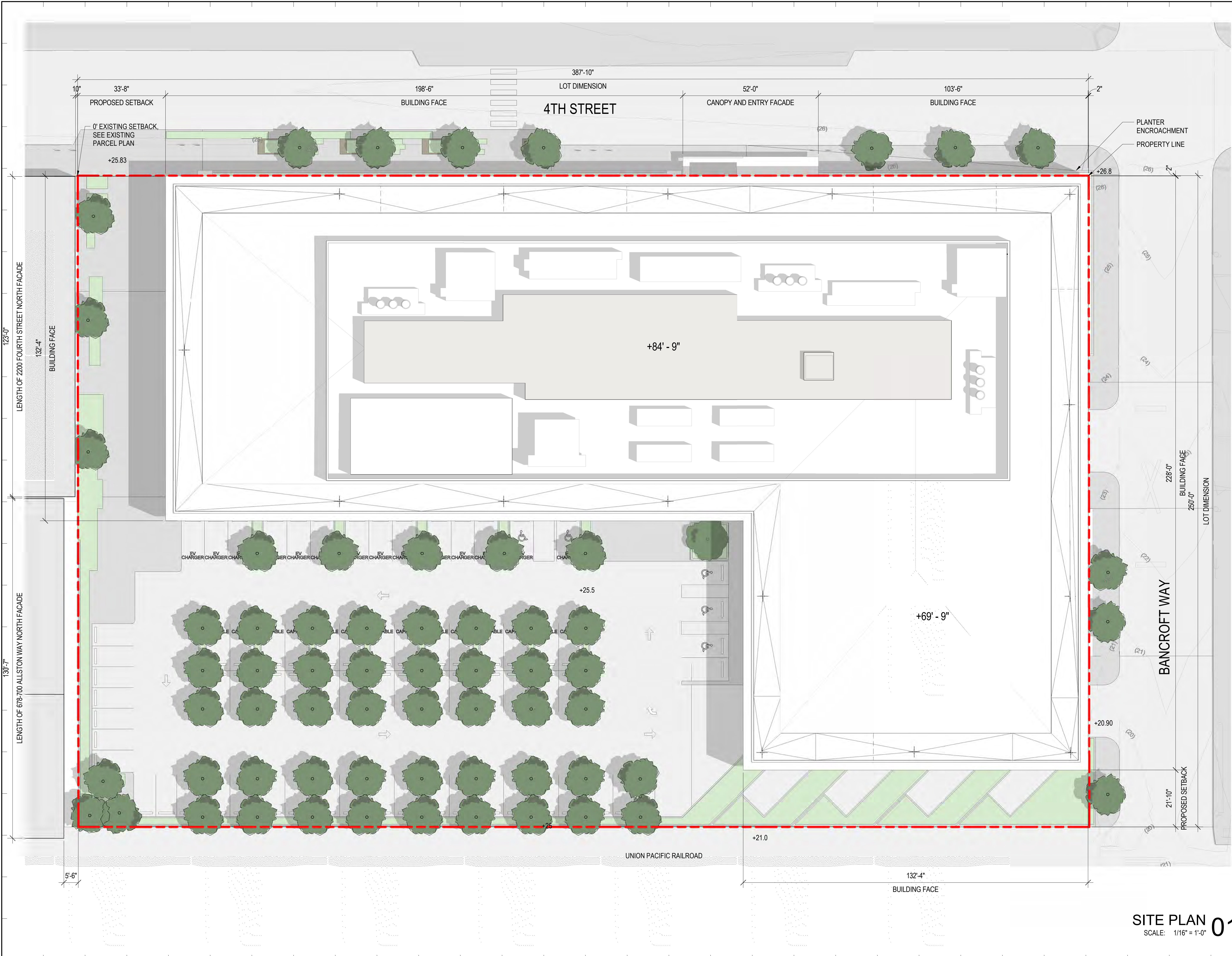
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Sheet Name:
OVERALL SITE PLAN

Project No.:	220175	Sheet No.:	AP1.01.01
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Scale:	1/16" = 1'-0"		



SITE PLAN 01
 SCALE: 1/16" = 1'-0"

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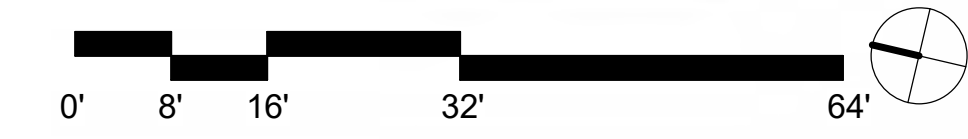
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OVERALL FLOOR PLAN - LEVEL 01

Project No.:	220175	Sheet No.:	AP2.01.00
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- GENERAL NOTES:
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINT'S RELATIONSHIP TO BERKELEY CITY DATUM
 - "NO PARKING" DESIGNATED BY RED CURB
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO SU-30 OR SMALLER SIZE TRUCKS
 - SPACES LABELED AS "EV CAPABLE" WILL BE EQUIPPED WITH EV RACEWAYS UPON COMPLETION



LEVEL 01 FLOORPLAN 01

SCALE: 1/16" = 1'-0"

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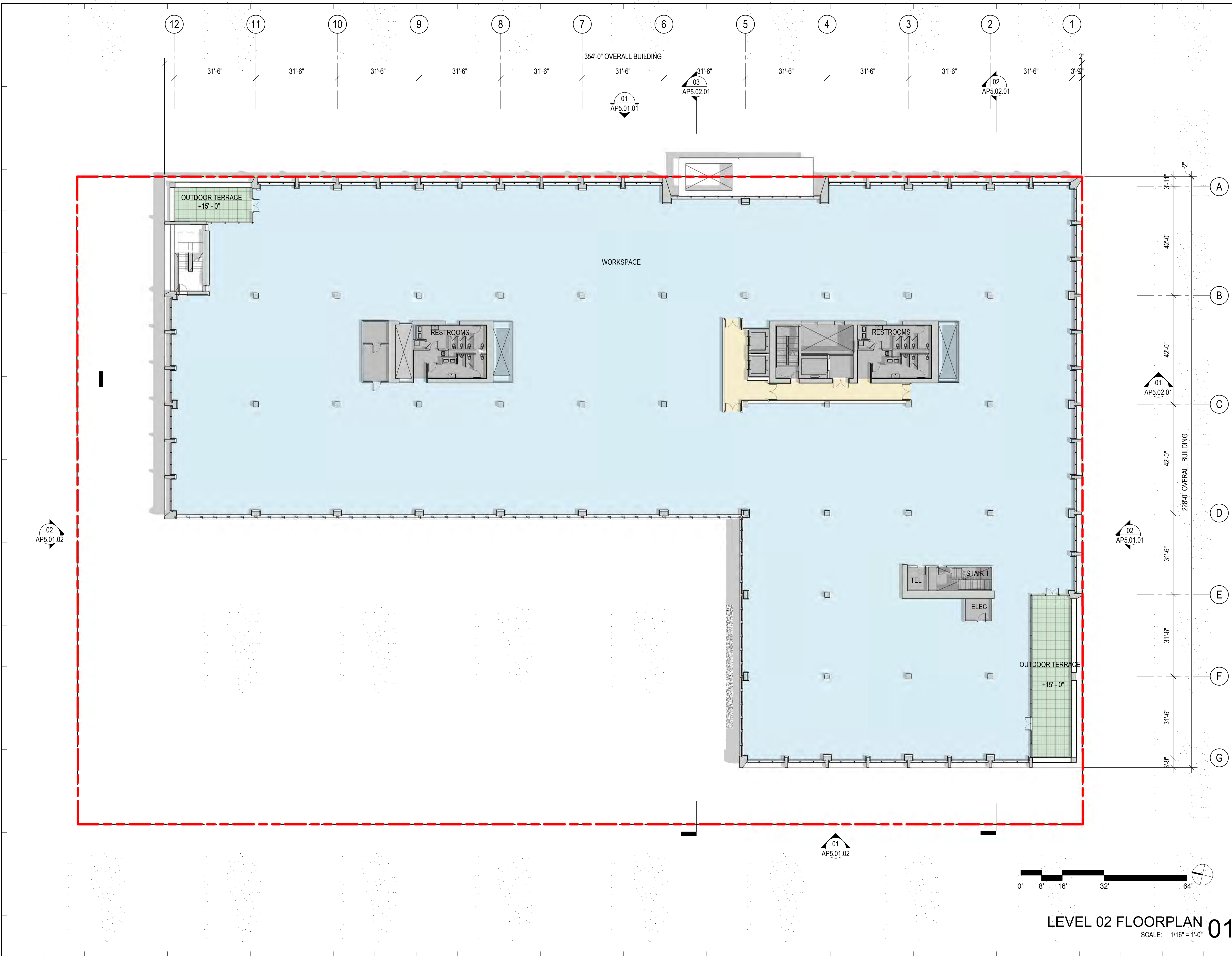
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OVERALL FLOOR PLAN - LEVEL 02

Project No.:	220175	Sheet No.:	AP2.02.00
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Key Plan:

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Sheet Name:

OVERALL FLOOR PLAN - LEVEL 03

Project No.:

220175

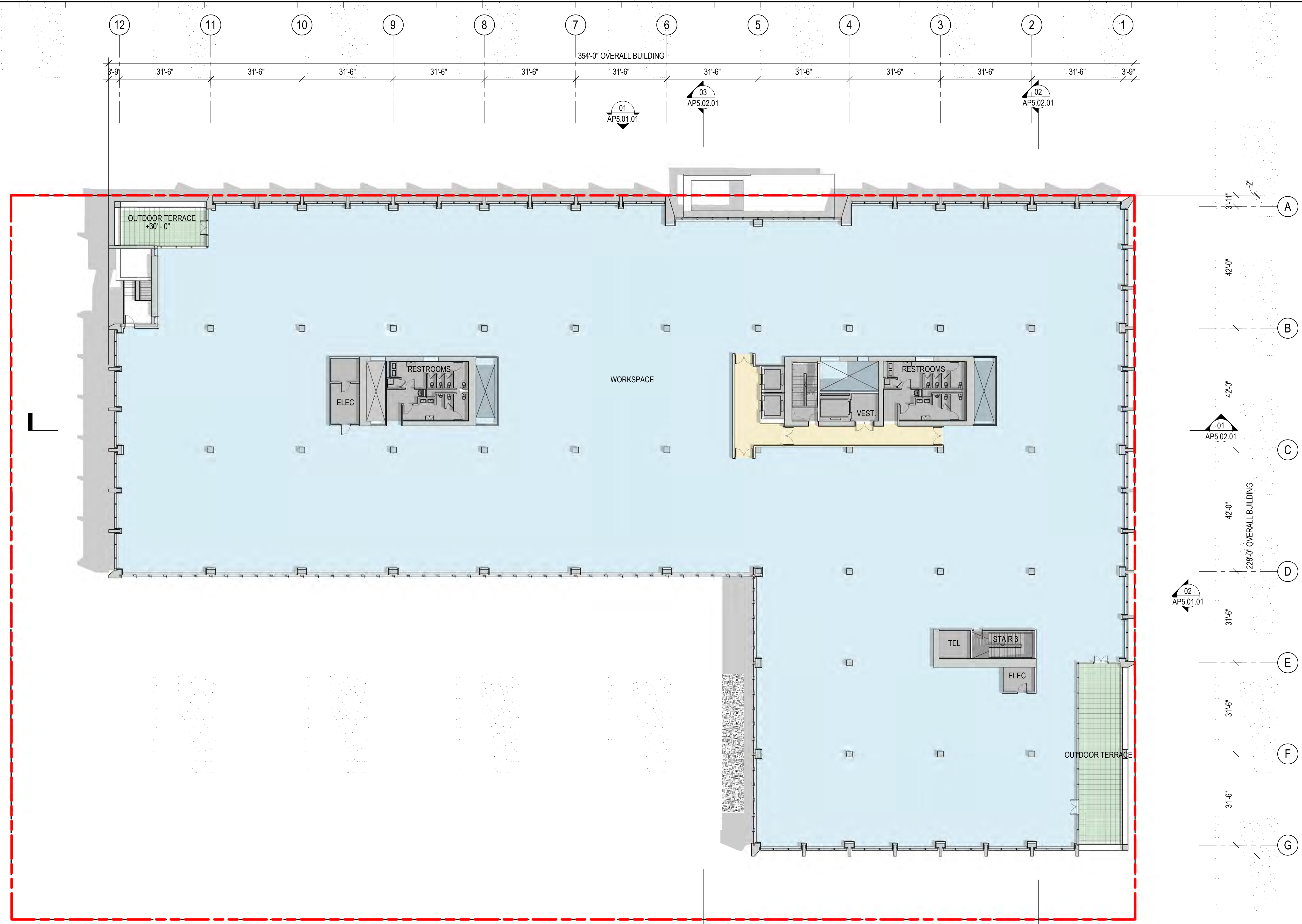
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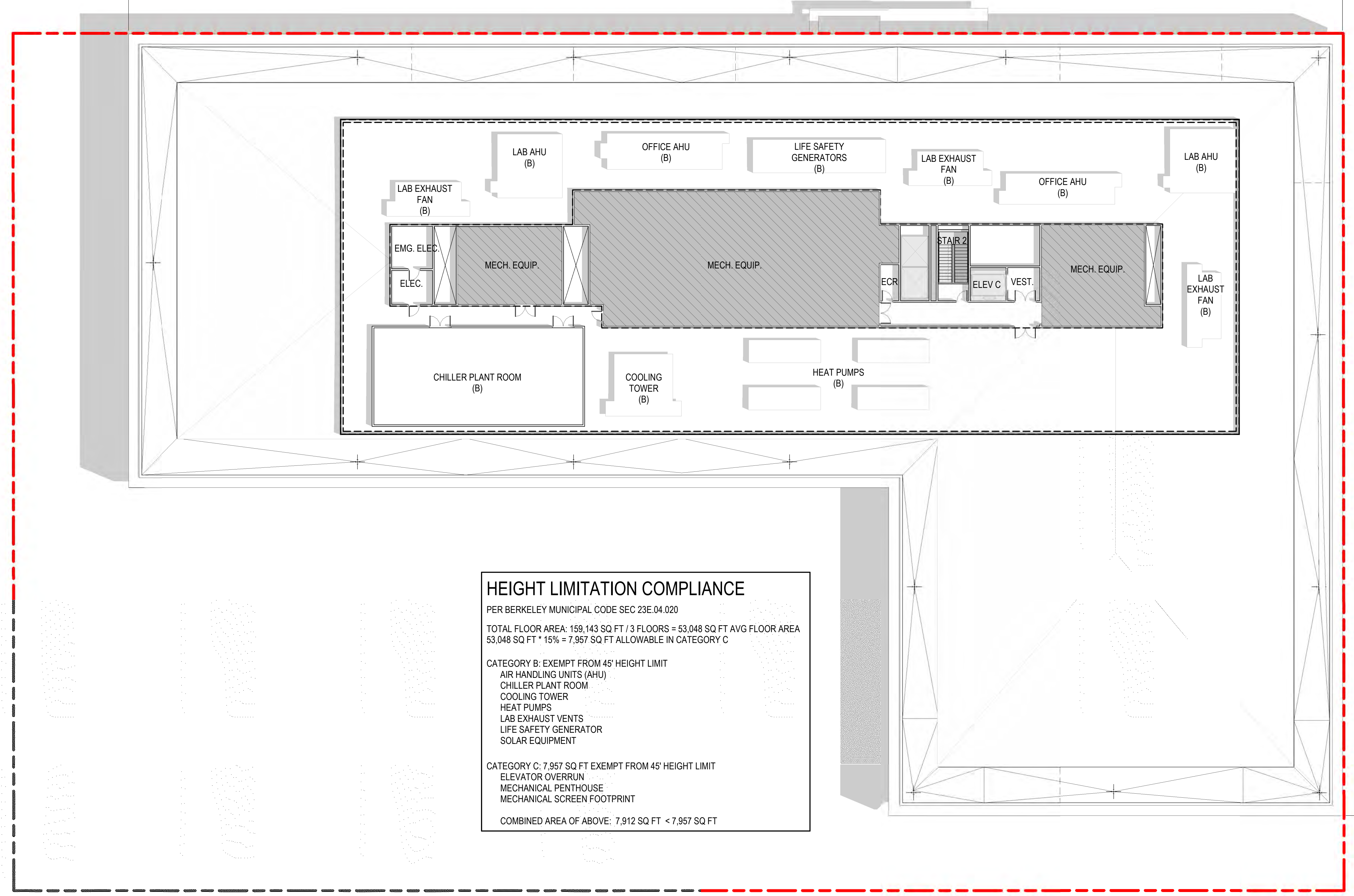
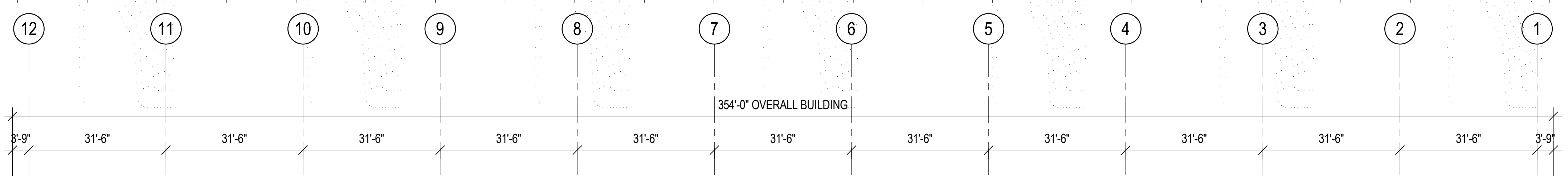
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LEVEL 03 FLOORPLAN 01
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HEIGHT LIMITATION COMPLIANCE

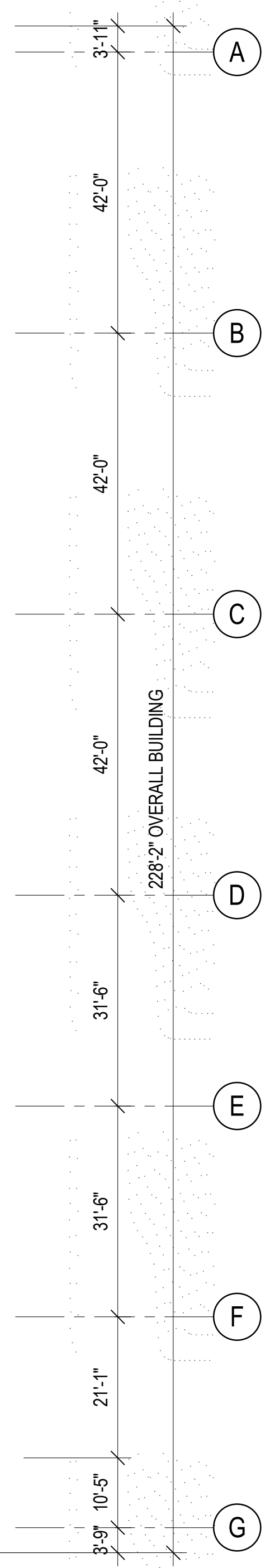
PER BERKELEY MUNICIPAL CODE SEC 23E.04.020

TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C

CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,912 SQ FT < 7,957 SQ FT



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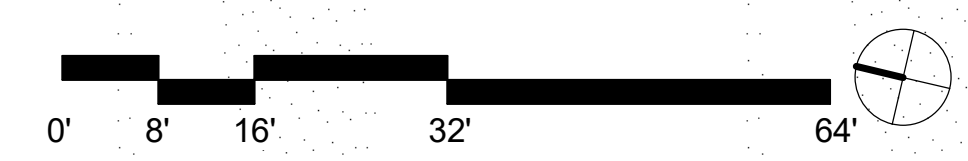
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Sheet Name:
OVERALL FLOOR PLAN - MECHANICAL PENTHOUSE

Project No.:	220175	Sheet No.:	AP2.04.00
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LEVEL 04 MECHANICAL PENTHOUSE PLAN 01
 SCALE: 1/16" = 1'-0"

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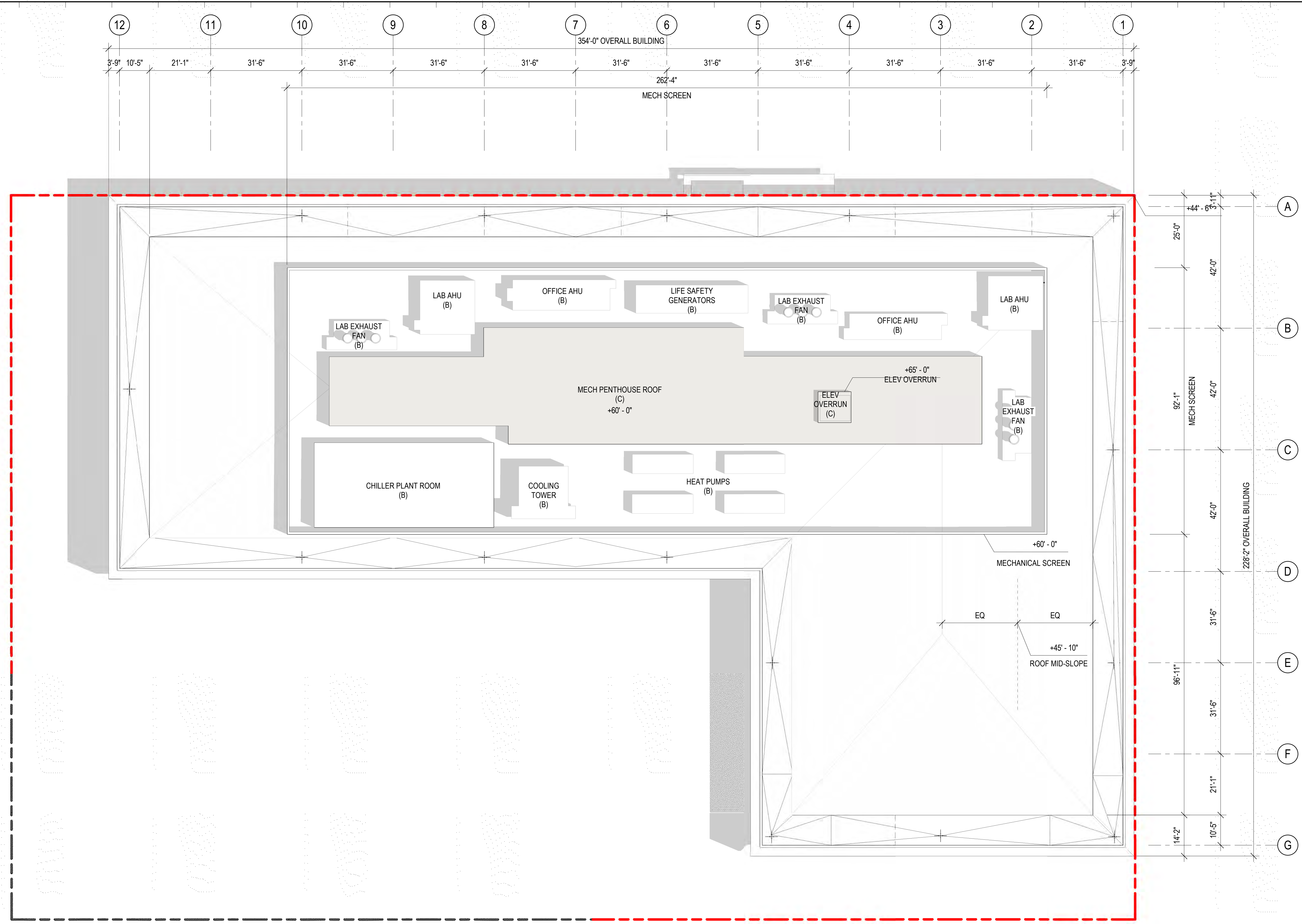
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Sheet Name:
**OVERALL FLOOR
 PLAN - ROOF**

Project No.:	220175	Sheet No.:	AP2.05.00
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Scale:	1/16" = 1'-0"		



ROOF PLAN 01
 SCALE: 1/16" = 1'-0"

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Key Plan:

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Sheet Name:

EXISTING ELEVATIONS

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Scale:

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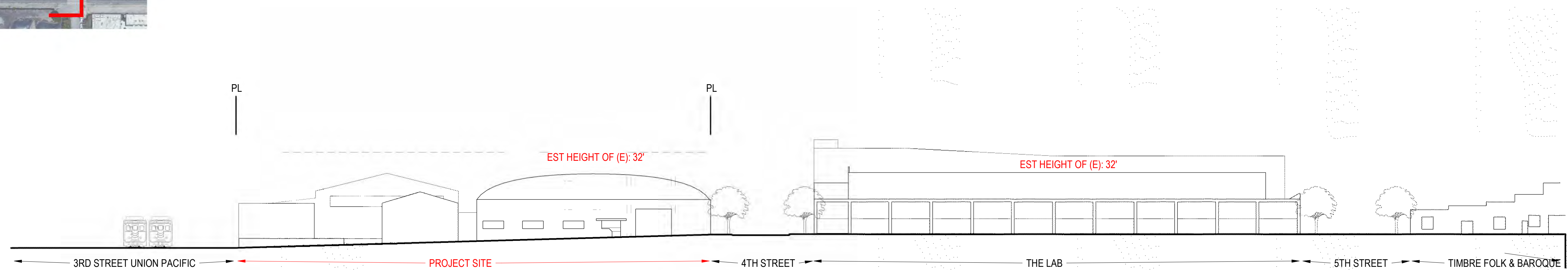
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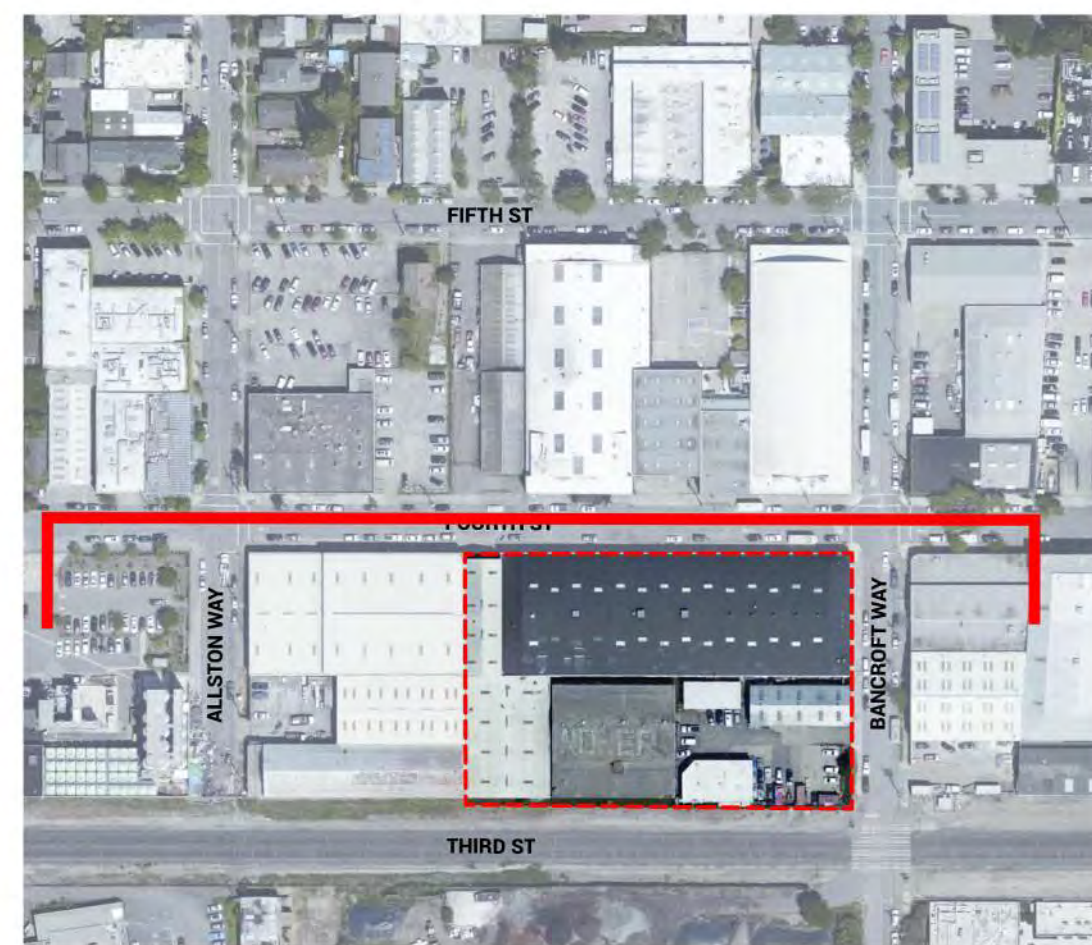
02 WINE.COM



03 WINE.COM



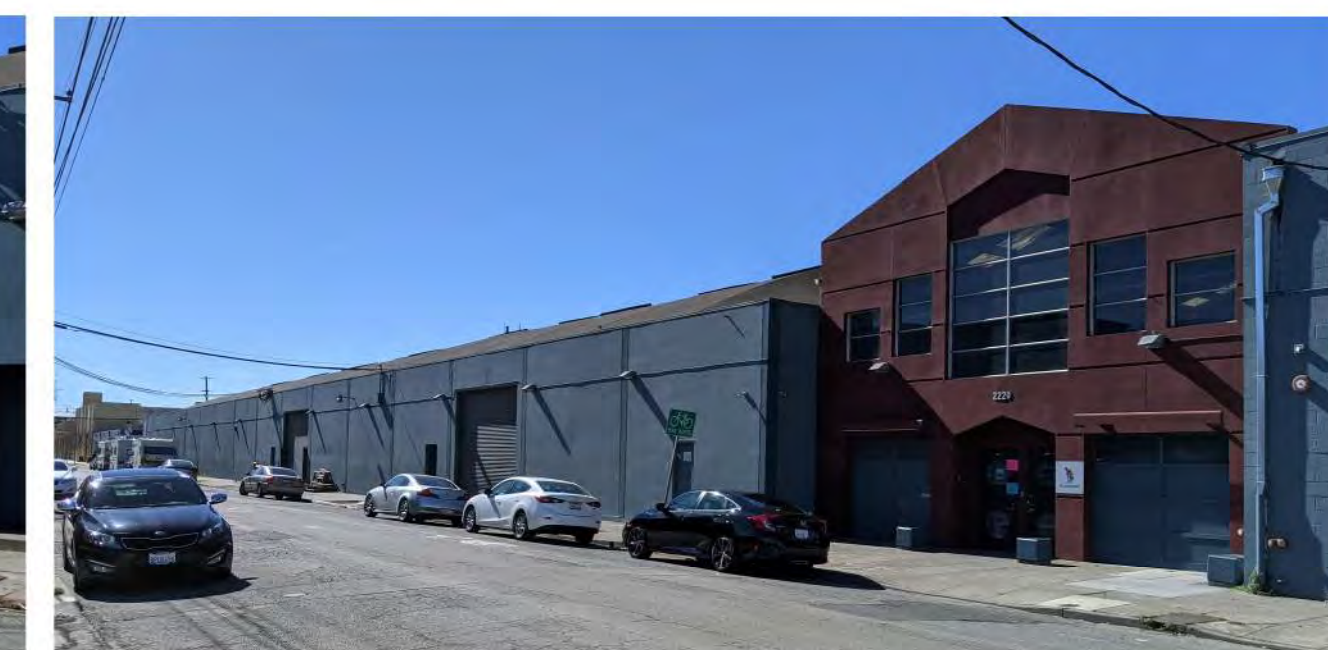
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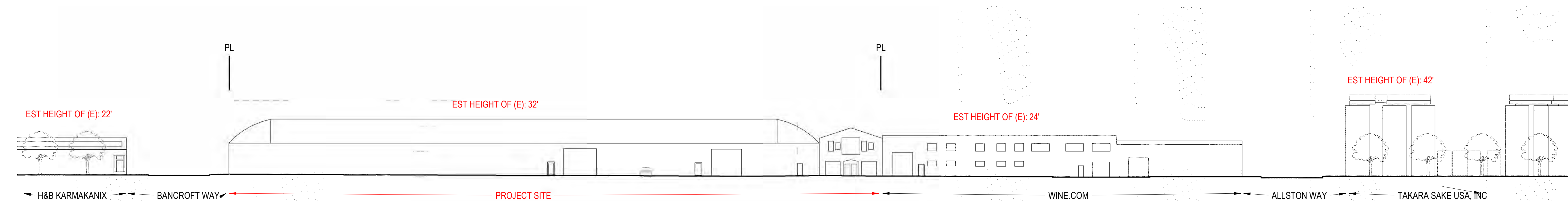
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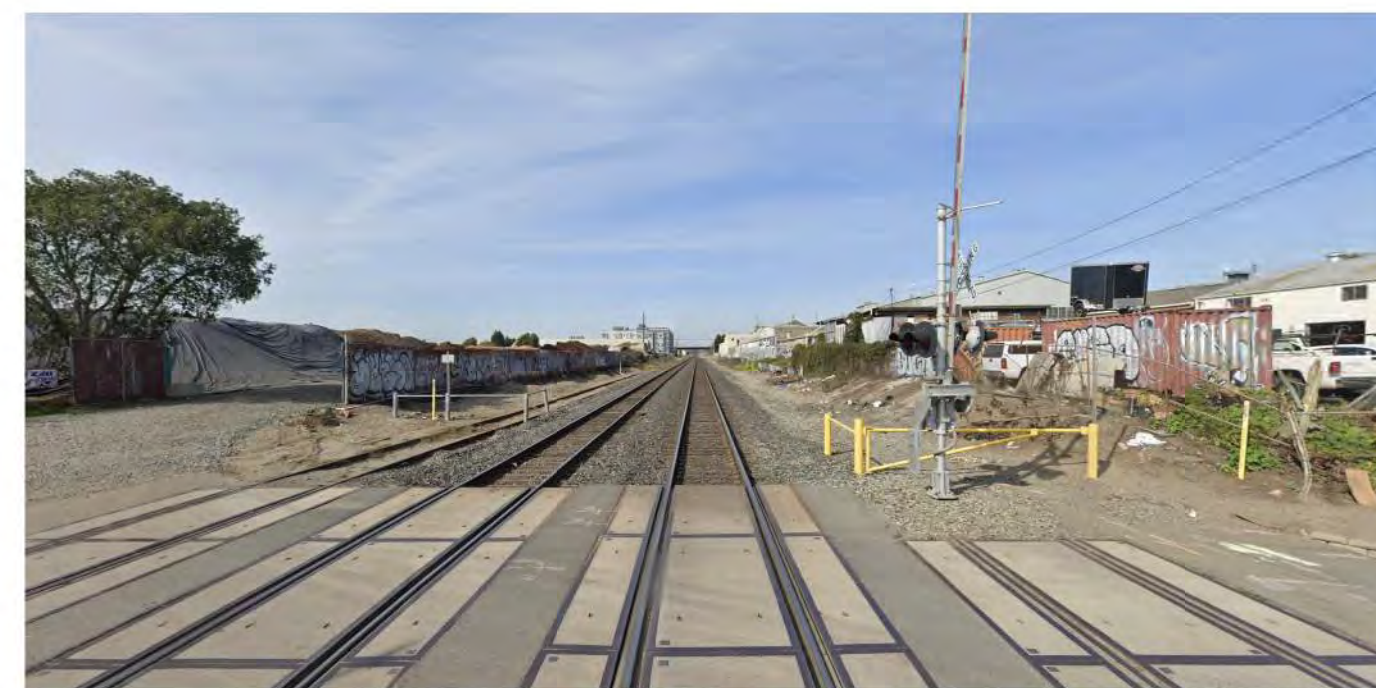
02 WINE.COM



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EAST SITE ELEVATION EXISTING 01
SCALE: 1/32" = 1'-0"



01 3RD STREET UNION PACIFIC



02 TIMBRE FOLK & BAROQUE

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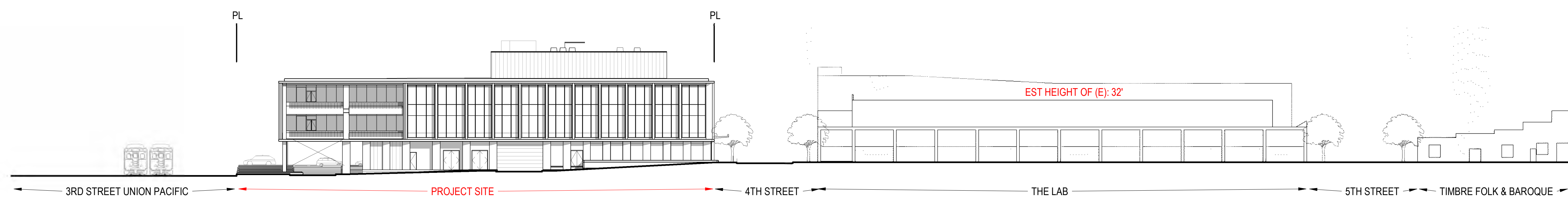
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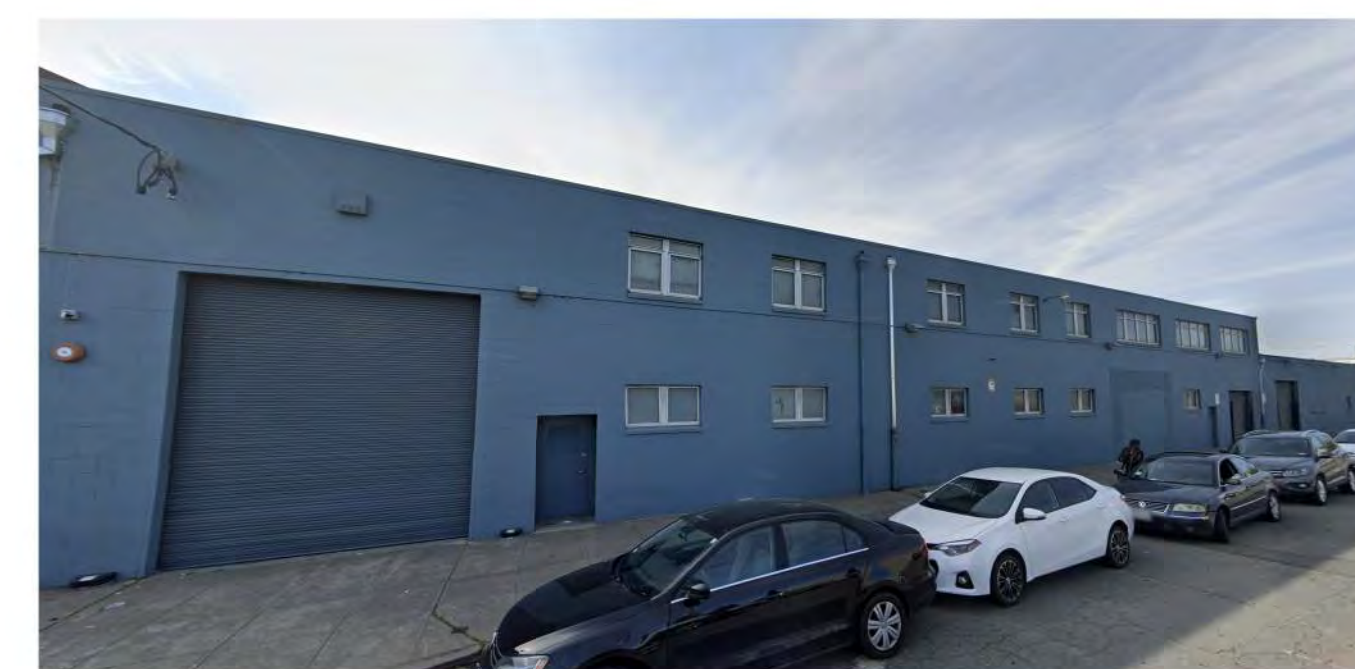
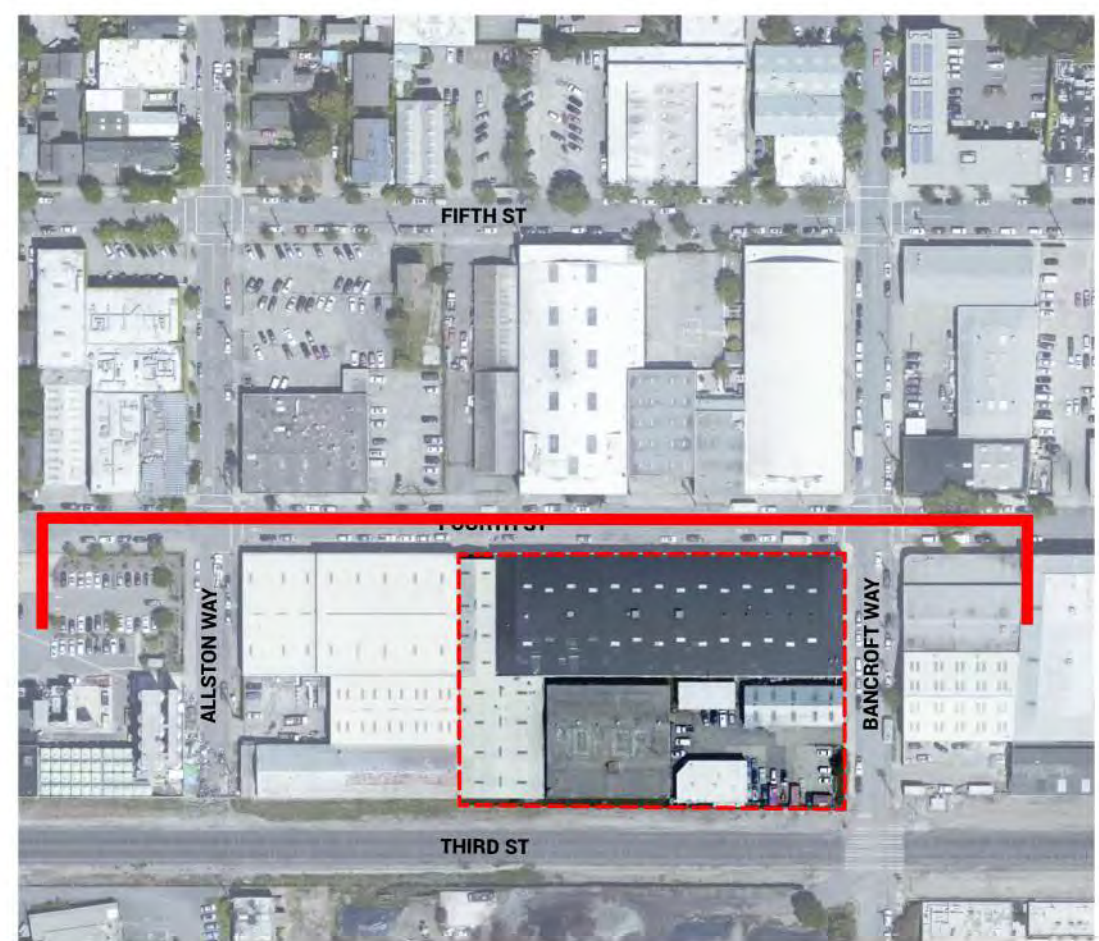
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SITE ELEVATIONS

Project No.:	220175	Sheet No.:	AP5.00.02
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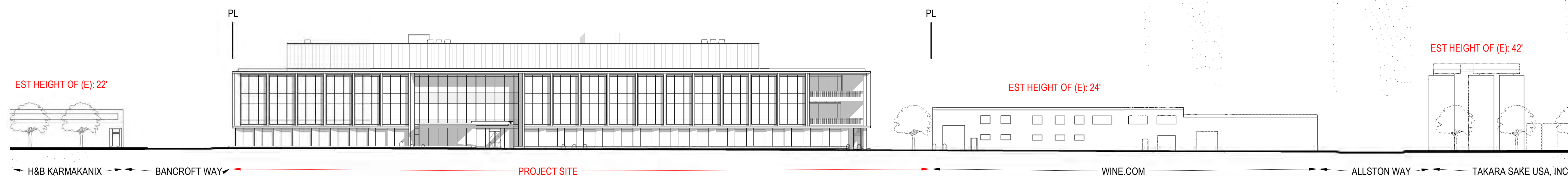
SOUTH SITE ELEVATION 02
 SCALE: 1/32" = 1'-0"



01 WINE.COM



02 TAKARA SAKE USA, INC



EAST SITE ELEVATION 01
 SCALE: 1/32" = 1'-0"

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STREET STRIP
ELEVATIONS

Project No.:

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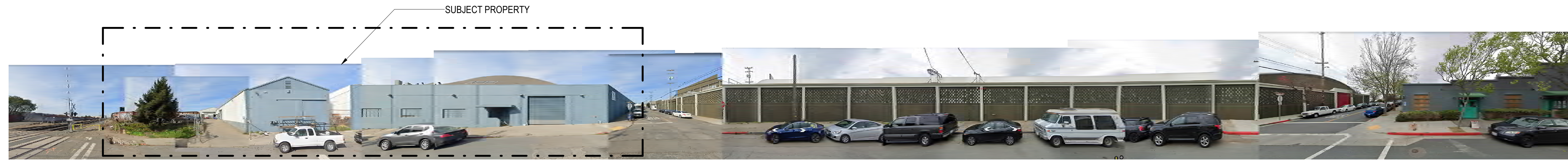
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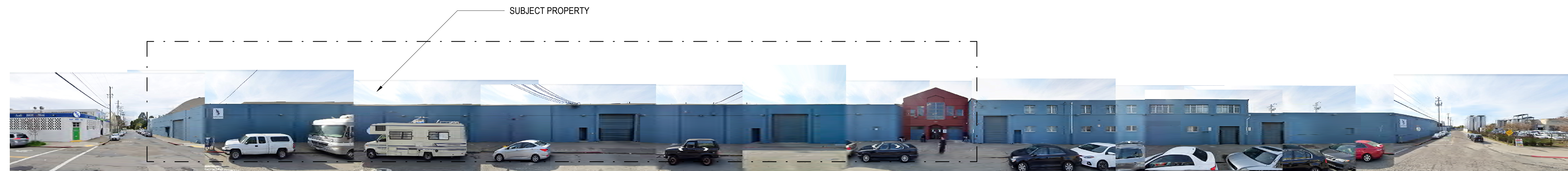
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STREET STRIP, BANCROFT WAY, LOOKING NORTH - EXISTING



STREET STRIP, BANCROFT WAY, LOOKING NORTH - PROPOSED



STREET STRIP, 4TH STREET, LOOKING WEST - EXISTING



STREET STRIP, 4TH STREET, LOOKING WEST - PROPOSED