



787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER

STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE

SOM
 SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER
 LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
 DUBLIN, CA 94568

CIVIL ENGINEER
 WARE MALCOMB
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588

MEP ENGINEER
 MEYERS+ ENGINEERS
 98 BATTERY STREET, SUITE 500
 SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER
 ROCKRIDGE GEOTECHNICAL
 270 GRAND AVE
 OAKLAND, CA 94610

SUSTAINABILITY
 ATELIER TEN
 443 TEHAMA ST, 1ST FLOOR
 SAN FRANCISCO, CA 94103

Issued For:

| No. | Description | Date |
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| 1 | USE PERMIT APPLICATION | 2021.03.25 |
| 2 | USE PERMIT RESUBMITTAL | 2021.09.13 |
| 3 | USE PERMIT RESUBMITTAL | 2021.12.17 |
| 4 | DESIGN REVIEW COMMITTEE MEETING 1 | 2022.02.07 |

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Sheet Name:

COVER SHEET

Project No.:

Sheet No.:

220175
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787 BANCROFT

787 BANCROFT WAY, BERKELEY, CA 94710

DESIGN REVIEW COMMITTEE MEETING
 FEBRUARY 17, 2022

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| | 100% DESIGN DEVELOPMENT | 2021.11.05 |
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LAND USE AREAS

Project No.:

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Drawn By:

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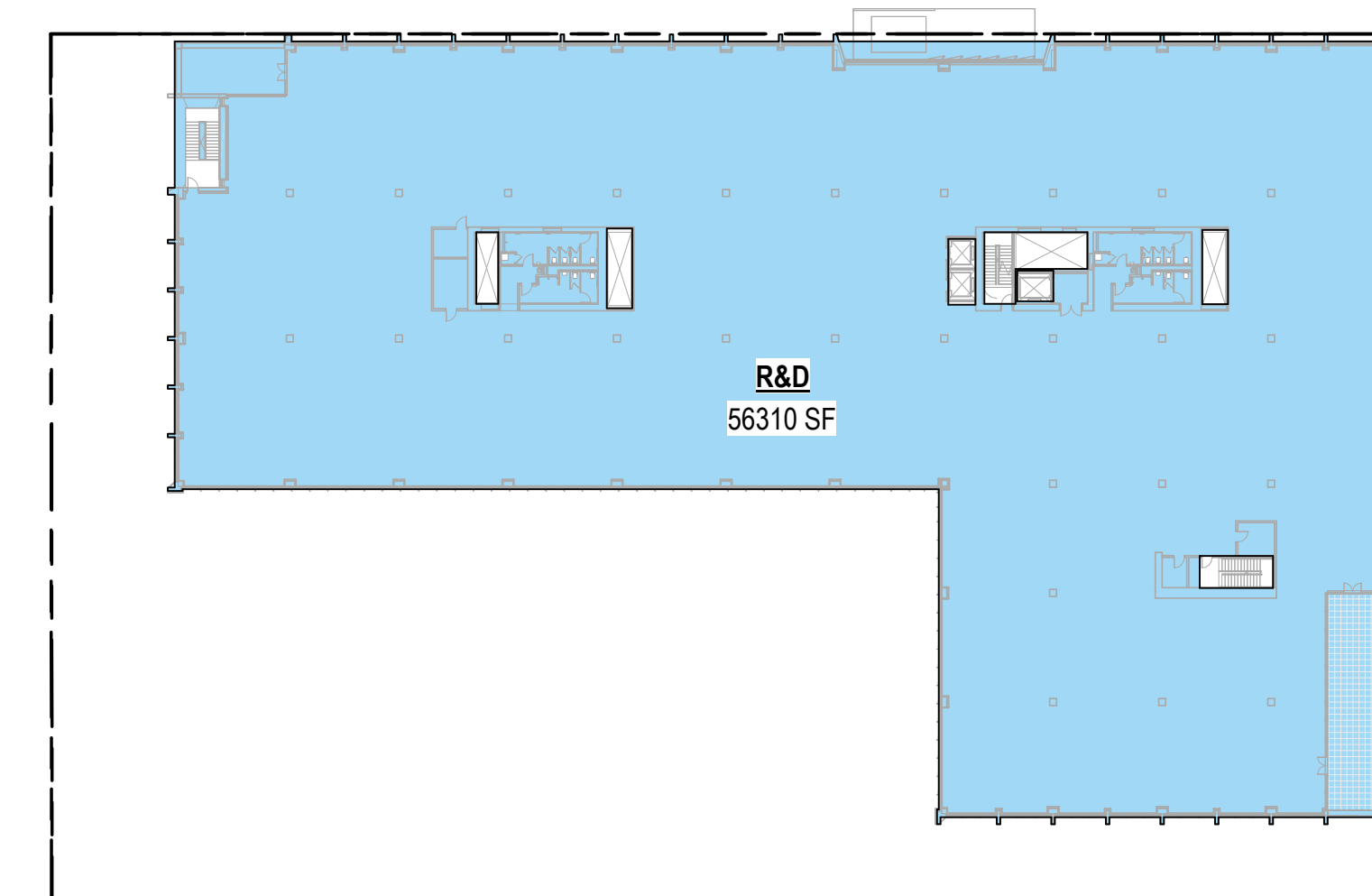
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Checker

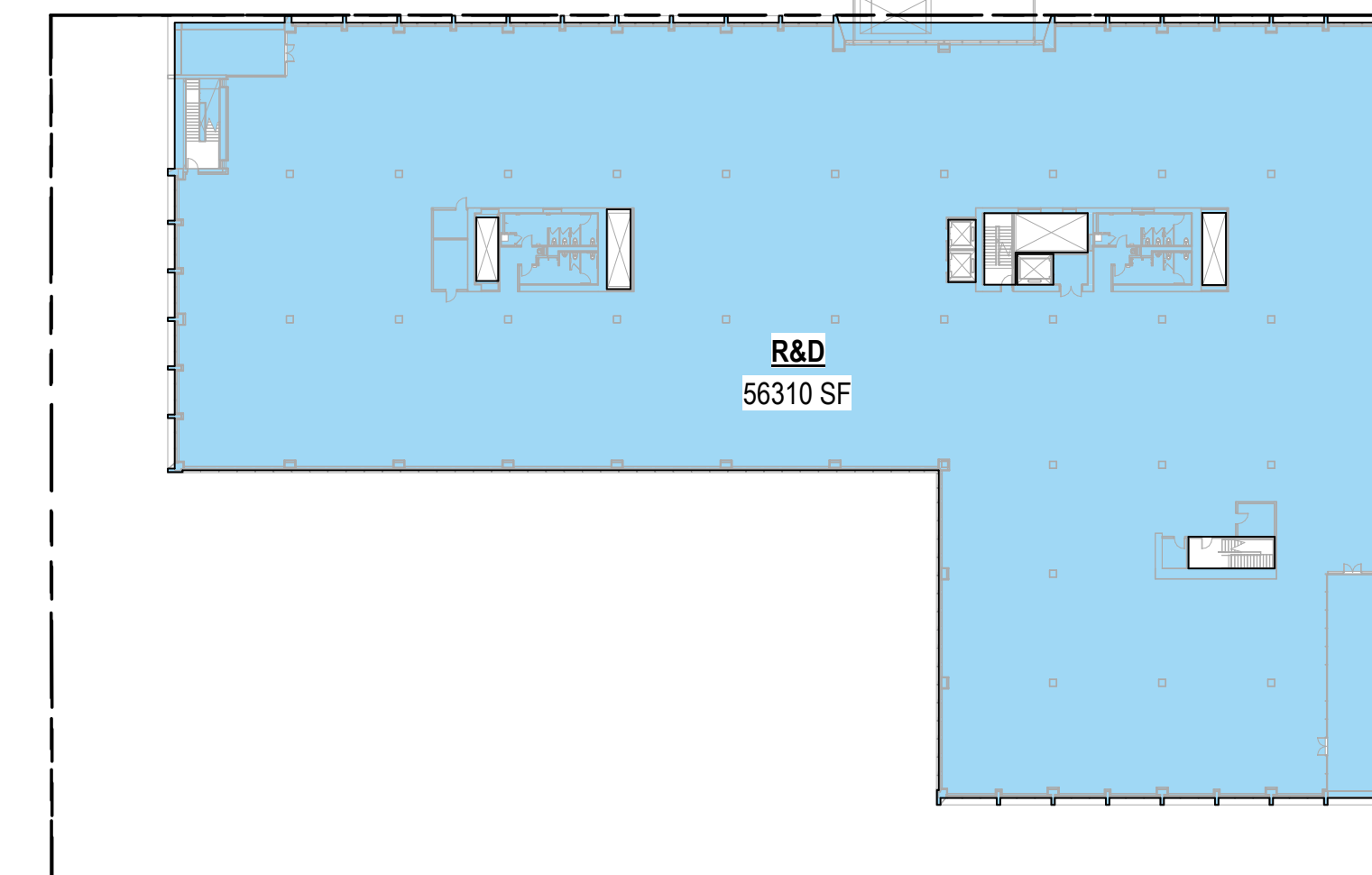
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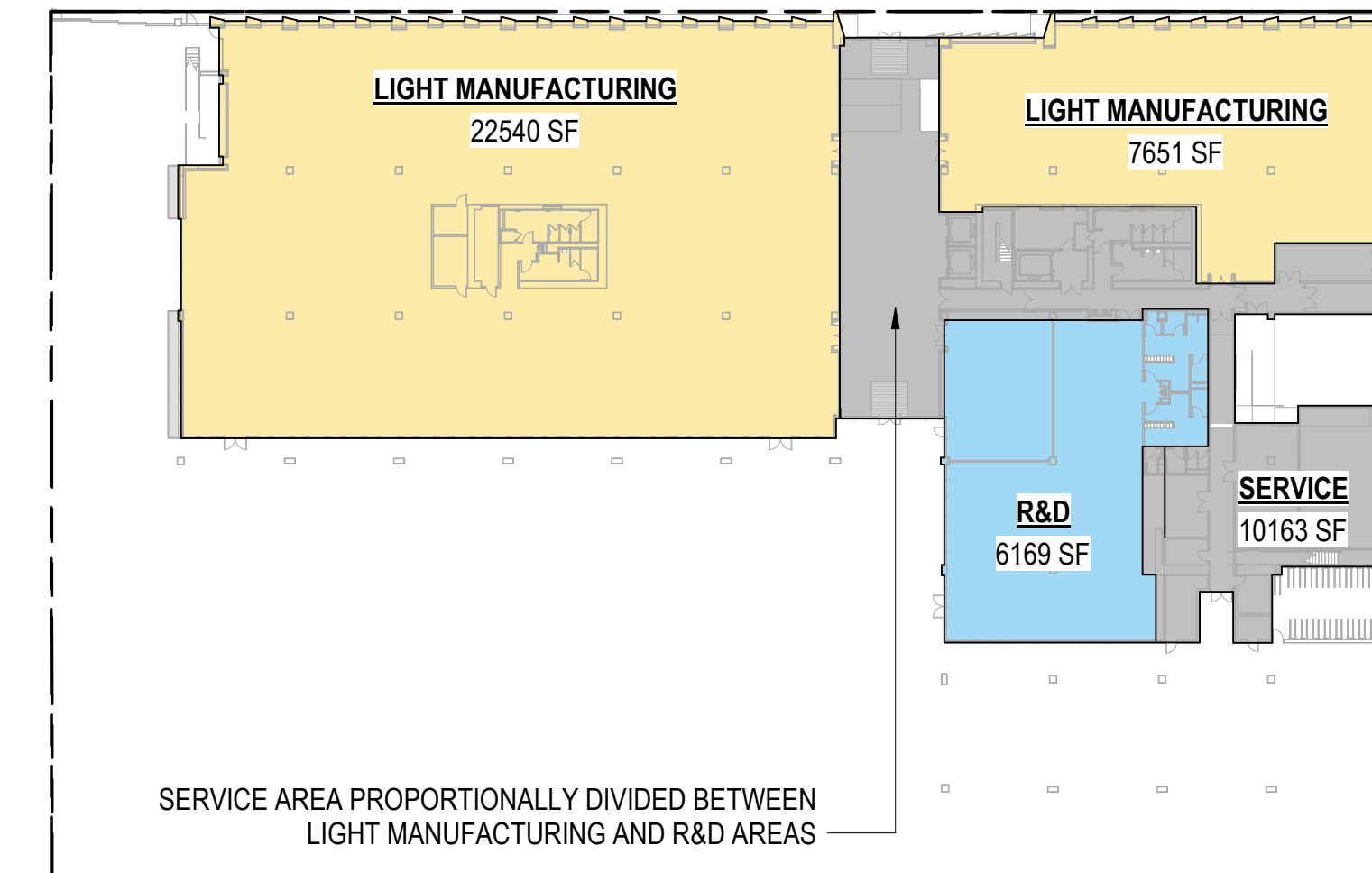
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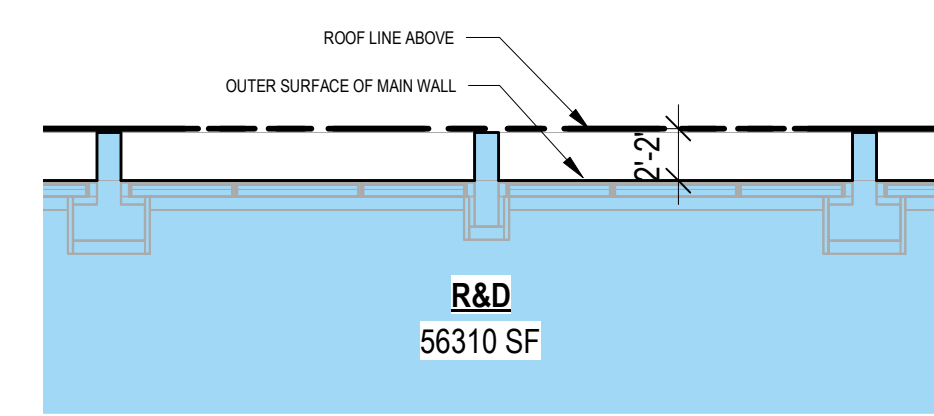
LEVEL 03 LAND USE 3
SCALE: 1" = 50'-0"



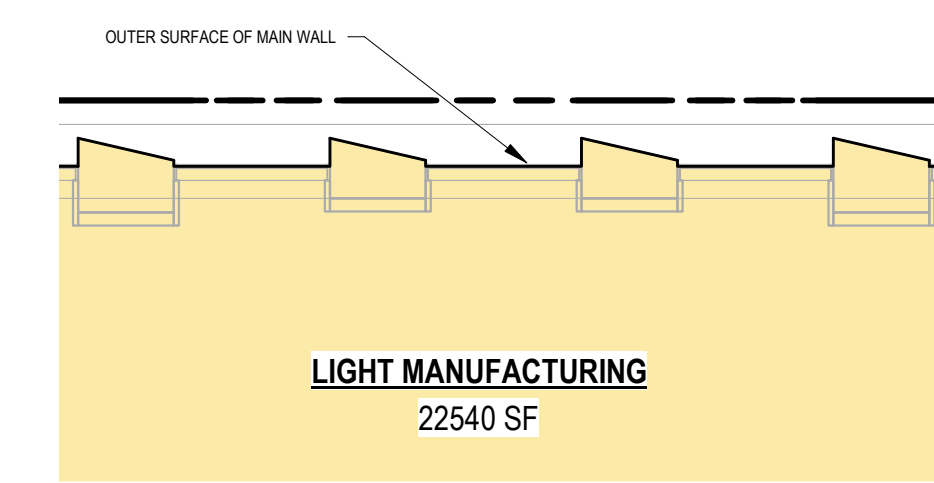
LEVEL 02 LAND USE 2
SCALE: 1" = 50'-0"



LEVEL 01 LAND USE 1
SCALE: 1" = 50'-0"



LEVEL 02-03 AREA BOUNDARY DETAIL 5
SCALE: 1/8" = 1'-0"



LEVEL 01 AREA BOUNDARY DETAIL 4
SCALE: 1/8" = 1'-0"

Land Use Area Summary

ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010

| Level | R&D | LM | Service Towards LM | Service Towards R&D | Total Service | Total |
|---------------------------------|---------|--------|--------------------|---------------------|---------------|----------------|
| Roof | | | | | | 0 |
| Level 03 | 56,310 | | | | | 56,310 |
| Level 02 | 56,310 | | | | | 56,310 |
| Level 01 | 6,169 | 30,191 | 3,156 | 7,007 | 10,163 | 46,523 |
| Subtotal | 125,796 | 33,347 | | | | |
| Area Counted Toward FAR: | | | | | | 159,143 |

GENERAL NOTE:

- LOCATION OF LIGHT MANUFACTURING AREA WILL BE PLACED AS NEEDED FOR INITIAL LEASE-UP
- REQUIRED PROTECTED AREA WILL BE MAINTAINED
- ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010
- SEE AREA CALCULATION METHODOLOGY DIAGRAMS FOR CALCULATION METHOD



VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM WEST: PROPOSED



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VIEW FROM BANCROFT WAY: EXISTING



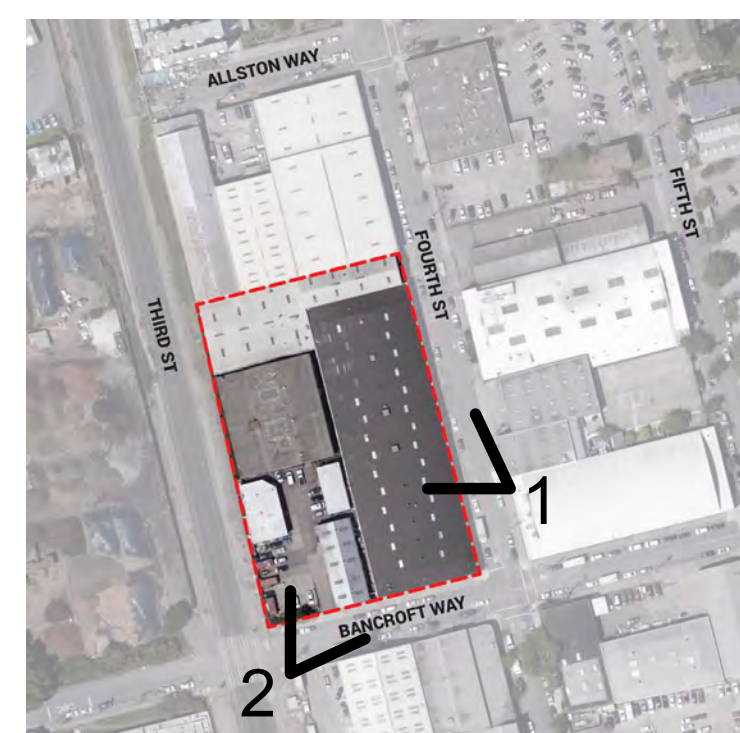
VIEW FROM BANCROFT WAY: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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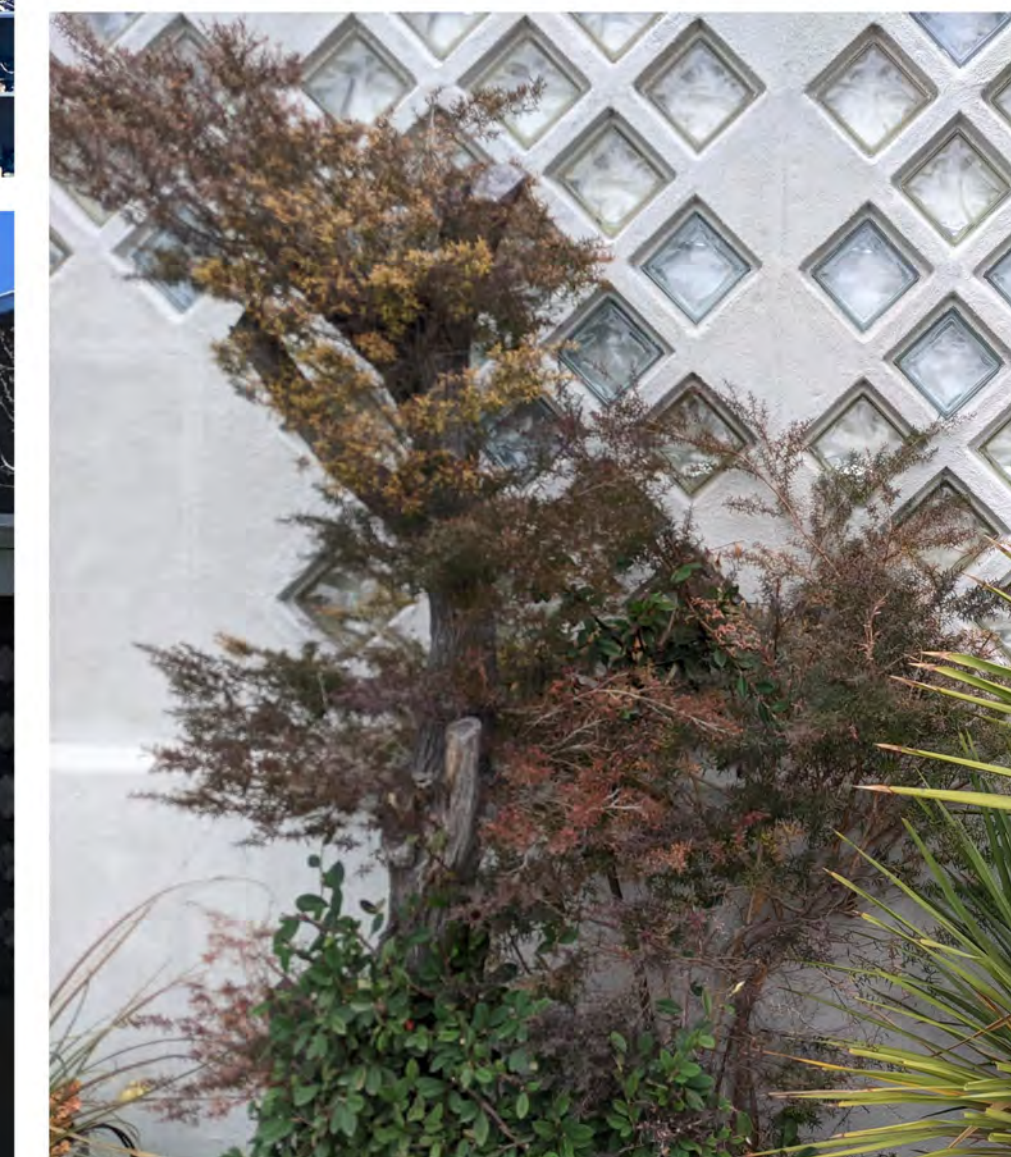
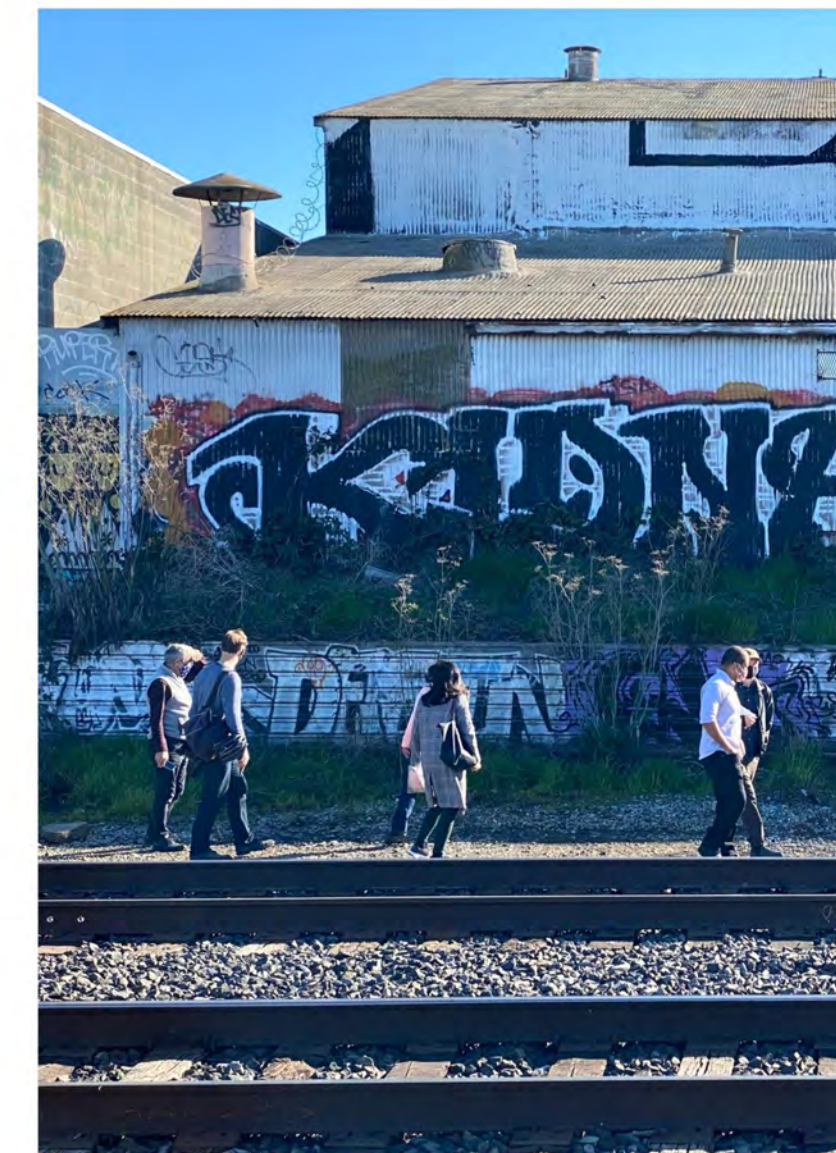
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MATERIALITY AND CHARACTER

The construction and materiality building is inspired by the functionality and playfulness of the industrial buildings in the neighborhood. There is a clear expression of the structural frame and a play in rhythm of the cast in place concrete that is also the primary building facade.



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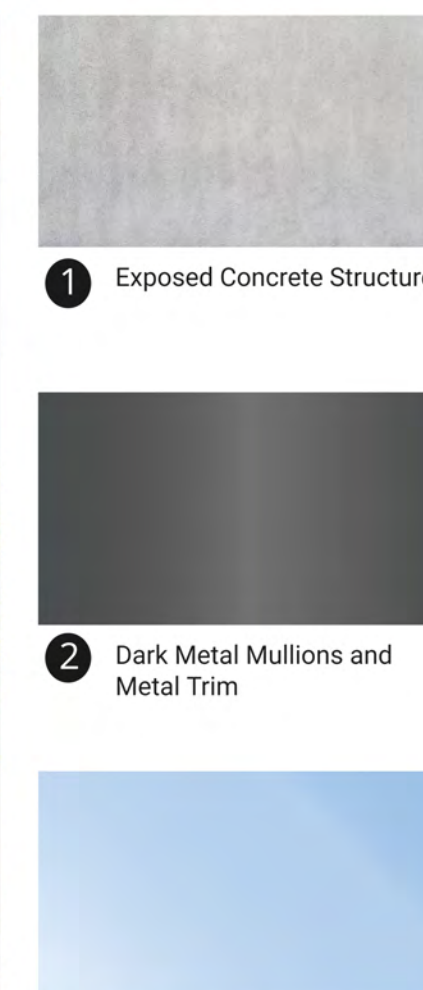
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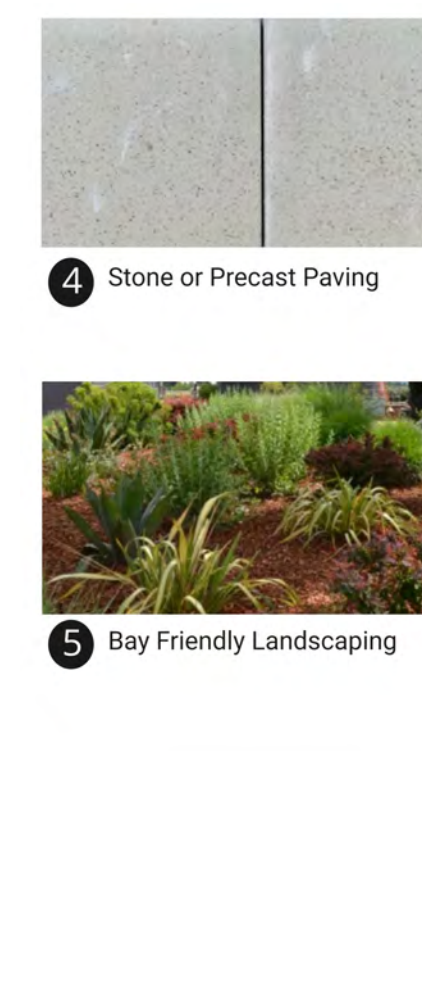
MATERIAL
PALETTE



VIEW OF 4TH STREET ENTRANCE



- 1 Exposed Concrete Structure
- 2 Dark Metal Mullions and Metal Trim
- 3 Glass



- 4 Stone or Precast Paving
- 5 Bay Friendly Landscaping



VIEW OF 4TH STREET PLAZA

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Sheet No.:

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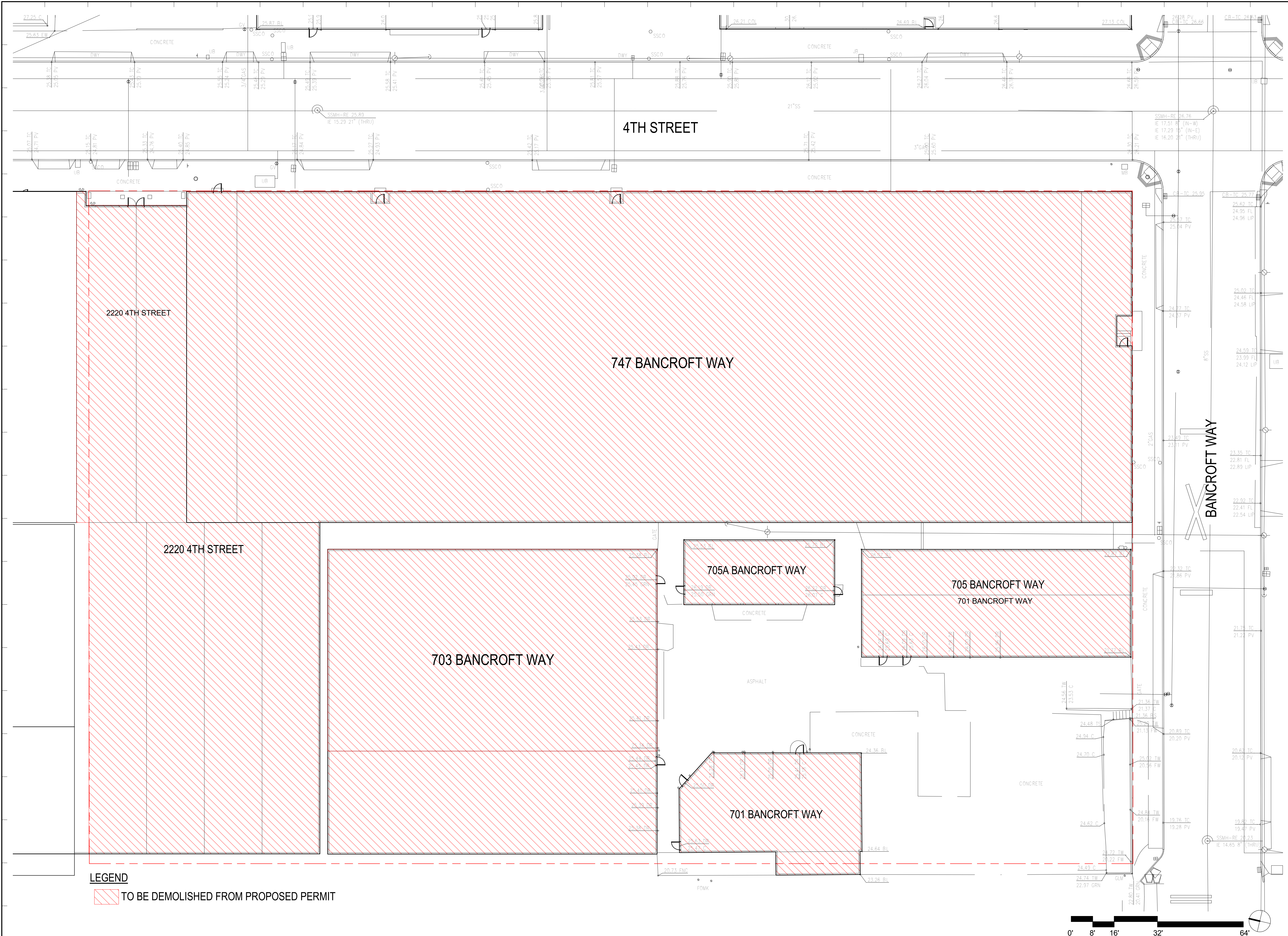
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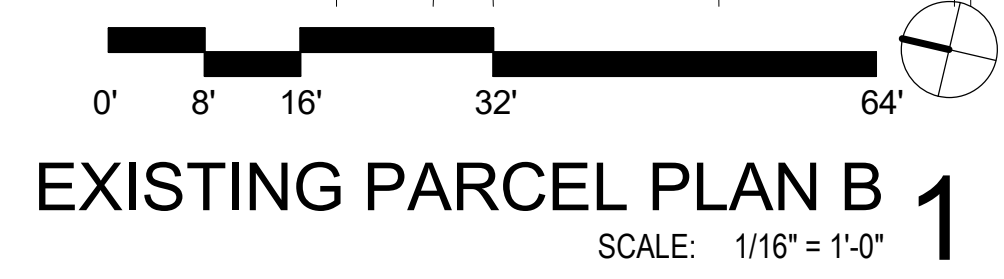
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Sheet Name:
EXISTING PARCEL DEMOLITION PLAN

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| Scale: | 1/16" = 1'-0" | | |



LEGEND
 TO BE DEMOLISHED FROM PROPOSED PERMIT



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SITE
PHOTOGRAPHS OF
BUILDINGS TO BE
DEMOLISHED

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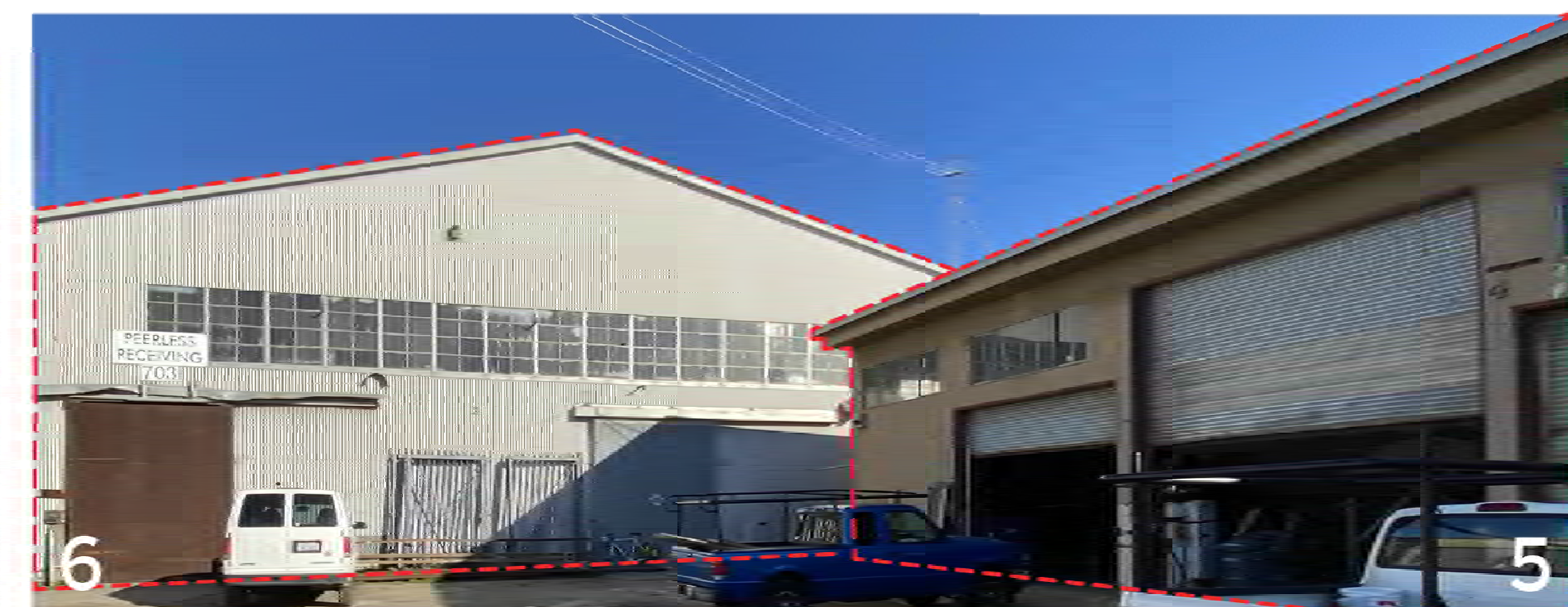
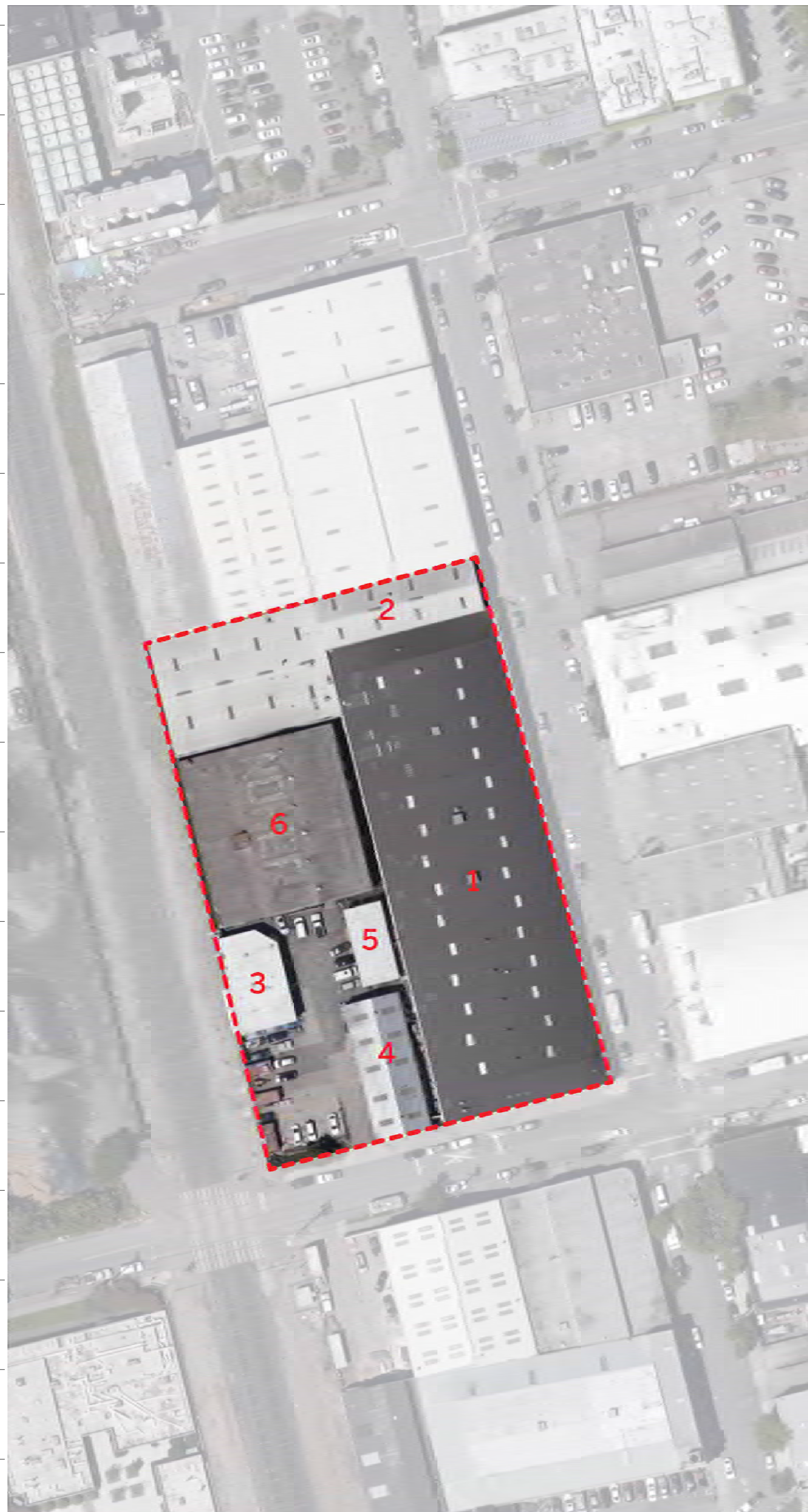
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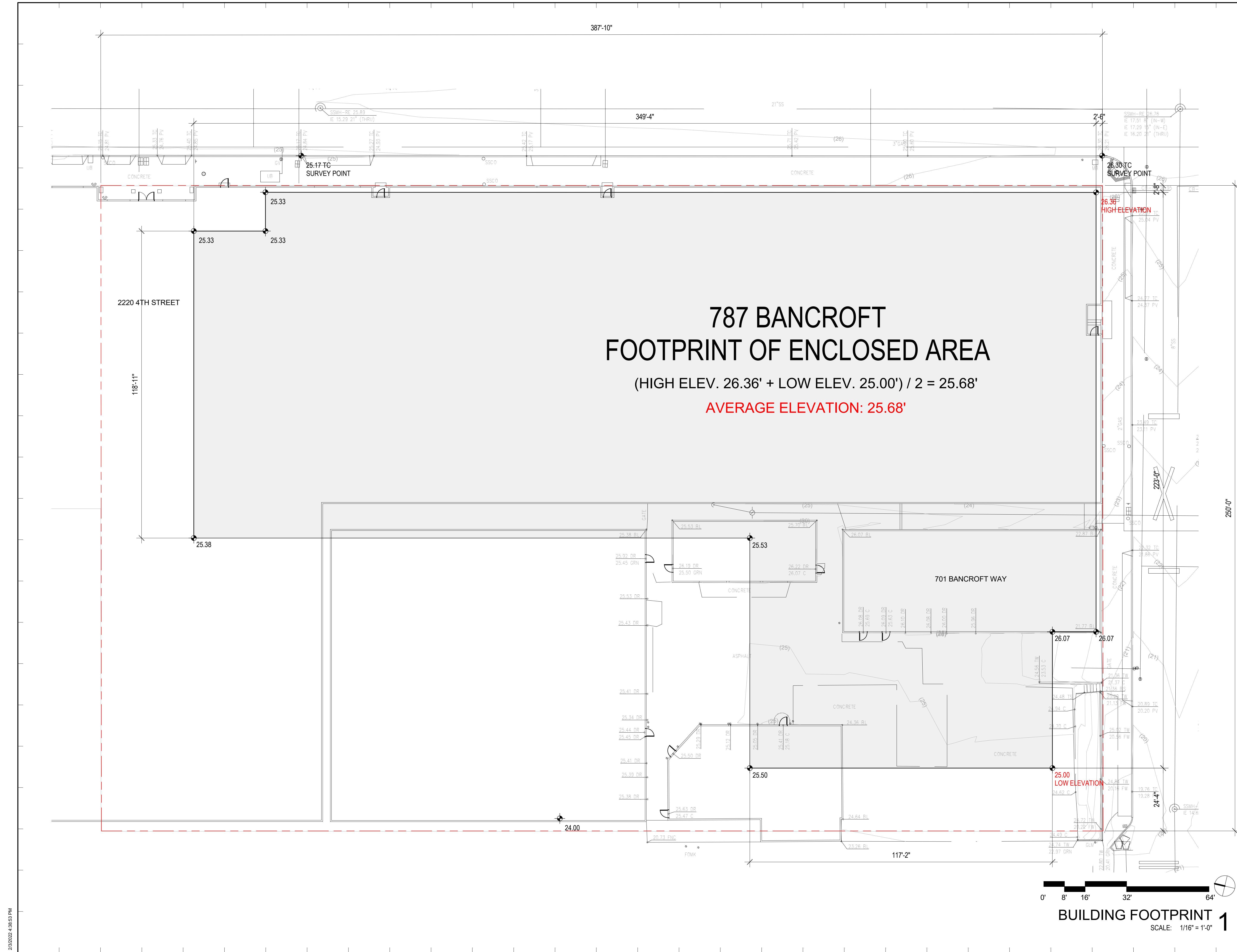
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AVERAGE ELEVATION CALCULATION

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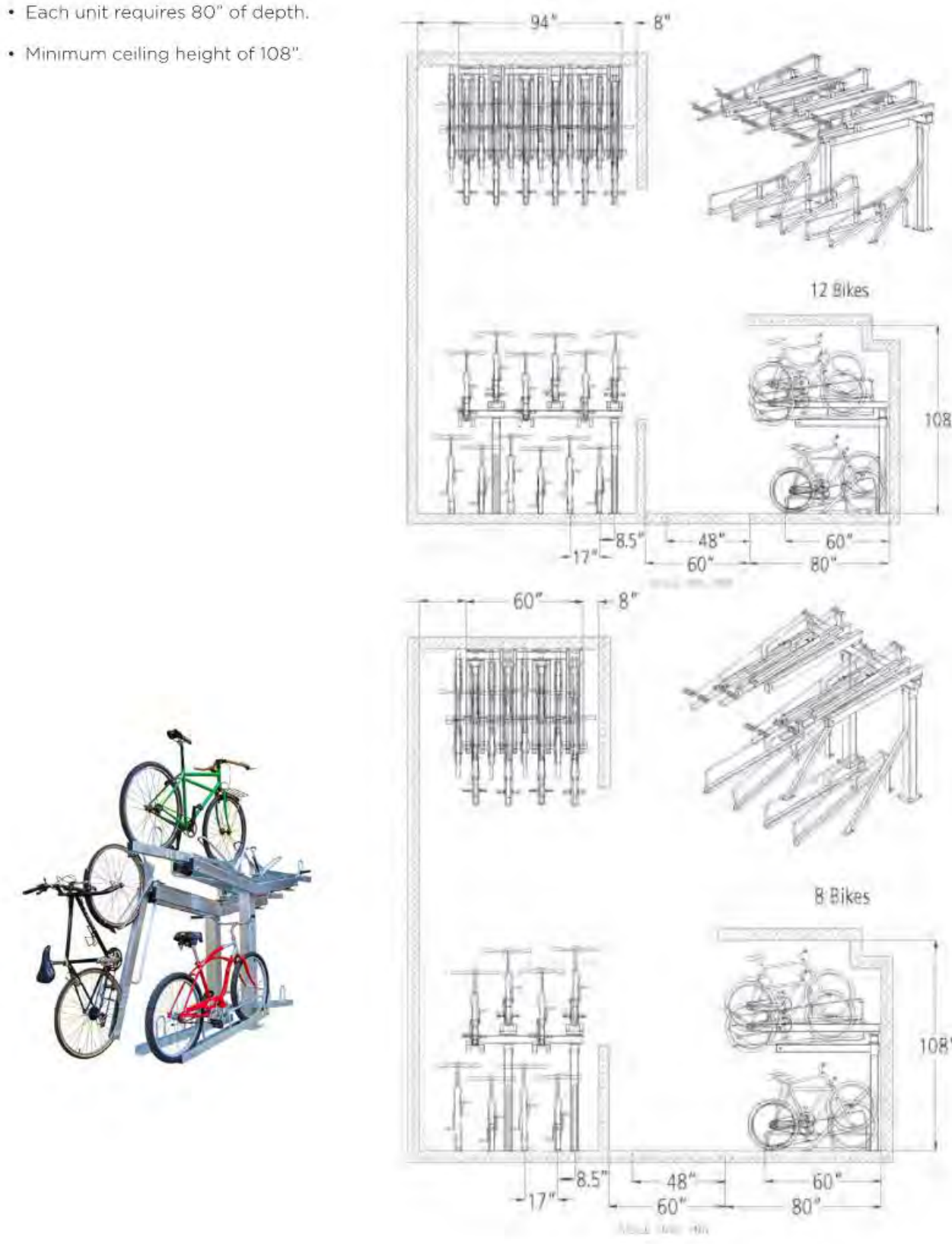
**787 BANCROFT
 FOOTPRINT OF ENCLOSED AREA**
 (HIGH ELEV. 26.36' + LOW ELEV. 25.00') / 2 = 25.68'
AVERAGE ELEVATION: 25.68'

BUILDING FOOTPRINT 1
 SCALE: 1/16" = 1'-0"

HORIZONTAL, TWO-TIERED PARKING RACK

Lift-assist top tray, modular/stacking

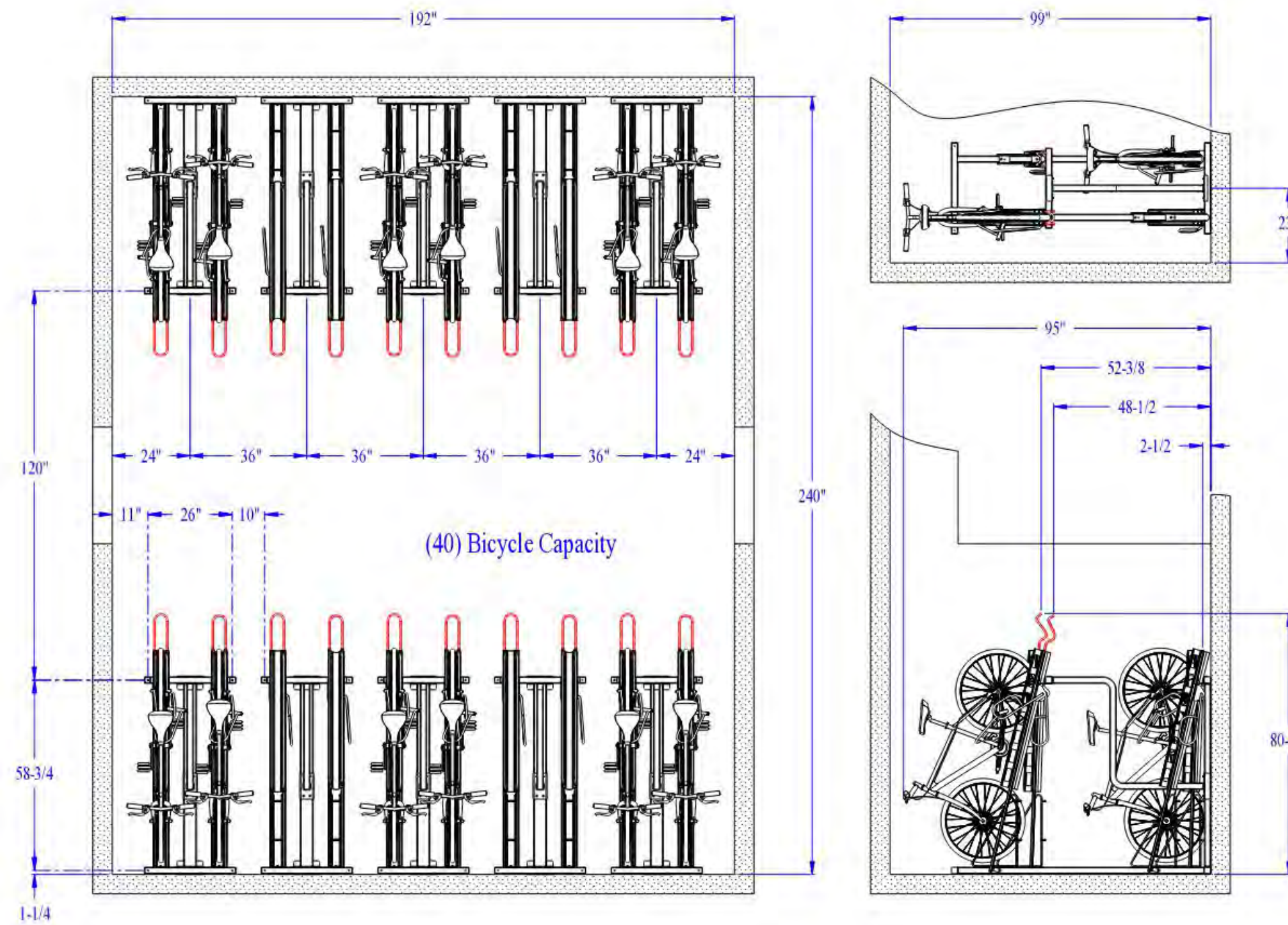
- Recommended access aisle of 60", minimum access aisle of 48"
- Each unit requires 80" of depth.
- Minimum ceiling height of 108"



BERKELEY BICYCLE FACILITY DESIGN TOOL BOX

01 BICYCLE LAYOUT
(EXCERPT FROM BERKELEY BICYCLE PLAN 2017)

NOTE: SPECIFICATION CONFORMS WITH LONG TERM BICYCLE PARKING STANDARDS FOUND IN BERKELEY BIKE PLAN 2017, PAGE 119



02 BICYCLE PARKING SPECIFICATION



Home | Secure Bike Parking | Bike Racks | Quad Hi-Density Bike Rack



Quad Hi-Density Bike Rack

Our Quad Hi-Density Bike Rack™ is a double-tier bike rack offering space-efficient, two-tier bike parking. Easy to load, simply place bike into the innovative wheel guide and roll along the channel to secure the wheel and frame in place. Bicycles can be locked with a U-lock compatible pivot locking bar for added security.

Each double-tier bike rack allows two-tier bike parking to securely store four bicycles. The modular design allows for one- or two-sided capacity with multiple configurations to customize for any location. Quad Hi-Density double-tier bike racks are easy to assemble, and constructed with zinc primer TGIC polyester powder coat finish steel tubing and UV plastic wheel gutters for lasting durability.

With minimal moving parts, our double-tier bike rack design also increase access aisles, with less maintenance or liability concerns associated with movable tray racks. This innovative

<https://cyclesafe.com/bike-parking/bike-racks/hi-density-bike-rack/>

14

03 BICYCLE PARKING SPECIFICATION

FIXIT
Submittal Sheet



FINISH OPTIONS

| | | |
|----------------------|--------------------|---------------------|
| Galvanized | Stainless | Powder Coat |
| White | Black | Light Gray RAL 9012 |
| Yellow RAL 1018 | Orange RAL 2003 | Dark Red RAL 3001 |
| Light Green RAL 6018 | Green RAL 6002 | Dark Green RAL 6003 |
| Dark Green RAL 6004 | Dark Blue RAL 5005 | Blue RAL 5007 |
| Dark Purple RAL 5008 | Dark Red RAL 3001 | White RAL 9006 |

04 BICYCLE REPAIR STAND SPECIFICATION



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BICYCLE PARKING SPECIFICATIONS

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 MEYERS+ ENGINEERS
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 ROCKRIDGE GEOTECHNICAL
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 SAN FRANCISCO, CA 94103

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Key Plan:

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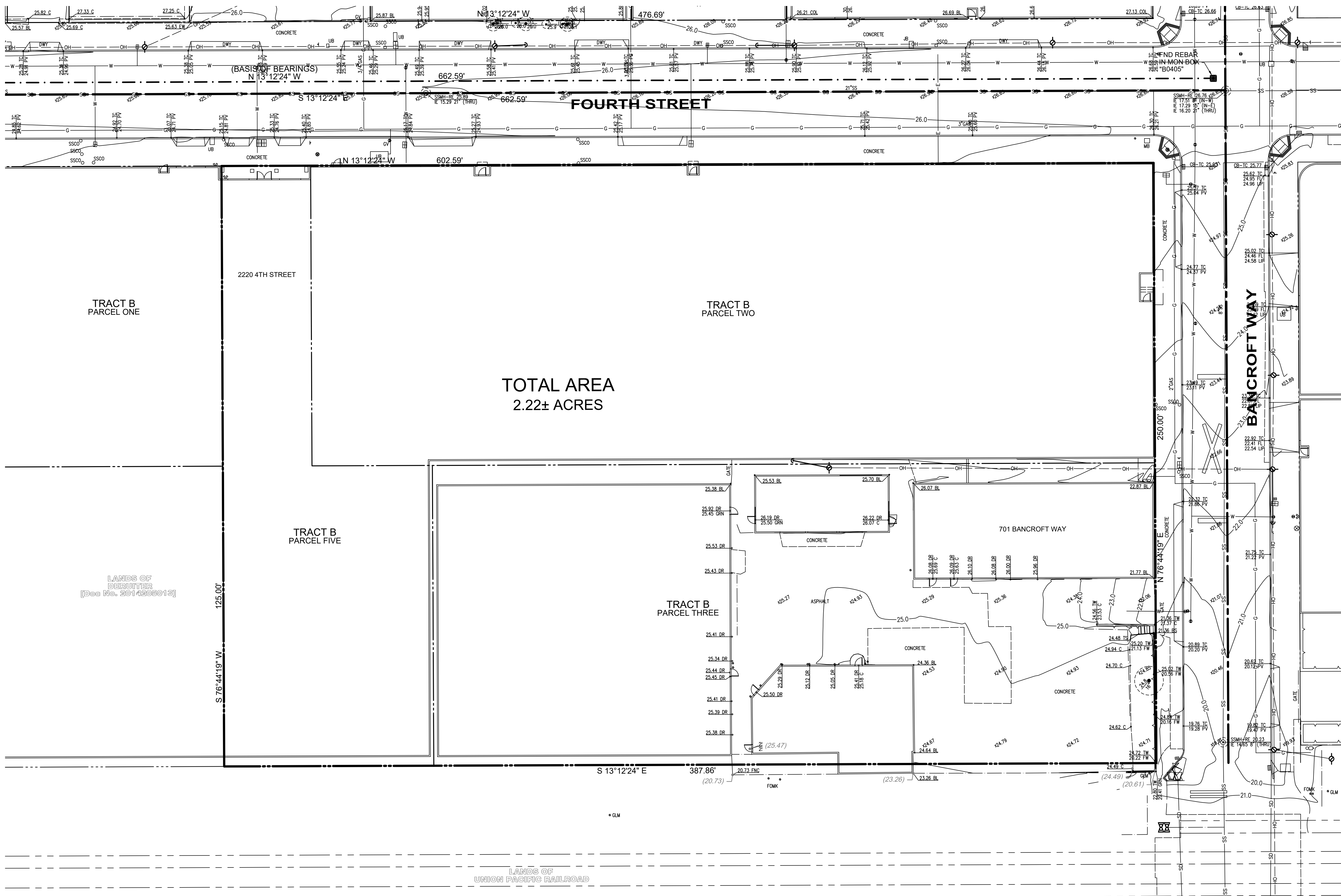
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Sheet Name:

TOPOGRAPHY SURVEY

Project No.: 220175
 Drawn By: HSC
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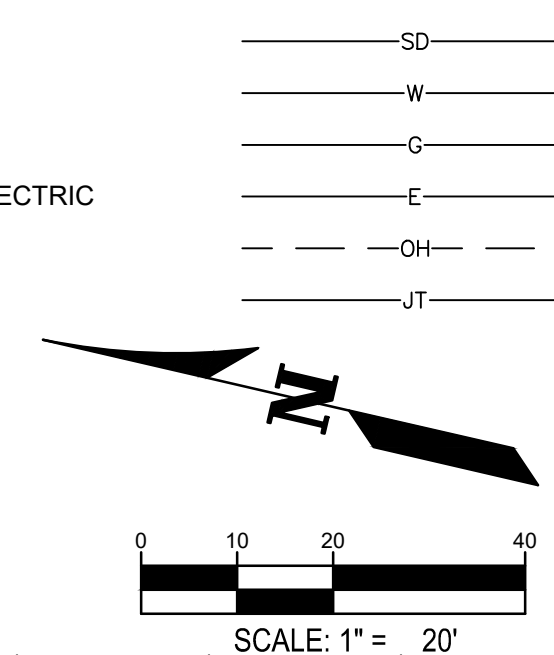
TOTAL AREA
2.22± ACRES

ABBREVIATIONS

| | | | |
|-----|------------------|------|--------------------------|
| AC | AIR CONDITION | GLM | GAS LINE MARKER |
| BL | BUILDING | GRN | GROUND |
| BR | BOTTOM OF RAMP | GV | GAS VALVE |
| BS | BOTTOM OF STEP | JB | JUNCTION BOX |
| CB | CATCH BASIN | LIP | LIP OF GUTTER |
| COL | COLUMN | MB | MAIL BOX |
| CTV | CABLE TELEVISION | MH | MANHOLE |
| DI | DROP INLET | PED | PEDESTAL |
| DR | DOOR | PV | PAVEMENT |
| DWY | DRIVEWAY | RE | RIM ELEVATION |
| IE | INVERT ELEVATION | SSCO | SANITARY SEWER CLEAN OUT |
| EB | ELECTRIC BOX | SSMH | SANITARY SEWER MANHOLE |
| EM | ELECTRIC METER | TC | TOP OF CURB |
| EP | EDGE OF PAVEMENT | TS | TOP OF STEP |
| EW | EDGE OF WALK | UB | UTILITY BOX |
| FF | FINISH FLOOR | VG | VALLEY GUTTER |
| FNC | FENCE | WB | WATER BOX |

LEGEND

| | | | |
|-------------------------|---------|----------------------------|---------|
| PROPERTY LINE | --- --- | STORM DRAIN MANHOLE | ⊙ |
| ADJACENT PROPERTY LINE | --- --- | SANITARY SEWER MANHOLE | ⊙ |
| CENTERLINE | --- --- | CLEAN OUT | ○ |
| MONUMENT LINE | --- --- | GAS METER | ⊙ |
| BUILDING LINE W/ DOOR | --- --- | UTILITY POLE W/ GUY WIRE | ⊙ |
| BUILDING OVERHANG | --- --- | VALVE | ⊙ |
| FOUND MONUMENT AS NOTED | ⊙ | CATCH BASIN / DROP INLET | ⊙ |
| BOLLARD LIGHT | • | WATER METER | ⊙ |
| LIGHT | ⊙ | FIRE DEPARTMENT CONNECTION | ⊙ |
| STREET LIGHT | ⊙ | BACK FLOW PREVENTER | ⊙ |
| TRANSFORMER | ⊙ | UTILITY BOX (SIZE VARIES) | ⊙ |
| FIRE HYDRANT | ⊙ | MONITORING WELL | ⊙ |
| | | SIGN | ⊙ |
| | | TREE W/ SIZE AND ELEVATION | ⊙ |
| | | SPOT ELEVATION | ⊙ |
| | | CONTOUR | --- --- |
| | | INDEX CONTOUR | --- --- |
| | | CURB | --- --- |
| | | CURB & GUTTER | --- --- |
| | | CONCRETE | --- --- |
| | | FENCE | --- --- |
| | | RETAINING WALL | --- --- |
| | | EDGE OF PAVEMENT | --- --- |
| | | SANITARY SEWER | --- --- |
| | | STORM DRAIN | --- --- |
| | | WATER | --- --- |
| | | GAS | --- --- |
| | | UNDERGROUND ELECTRIC | --- --- |
| | | OVERHEAD | --- --- |
| | | JOINT TRENCH | --- --- |



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 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

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 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

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 LUSARDI CONSTRUCTION COMPANY
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CONCEPTUAL DEMOLITION PLAN

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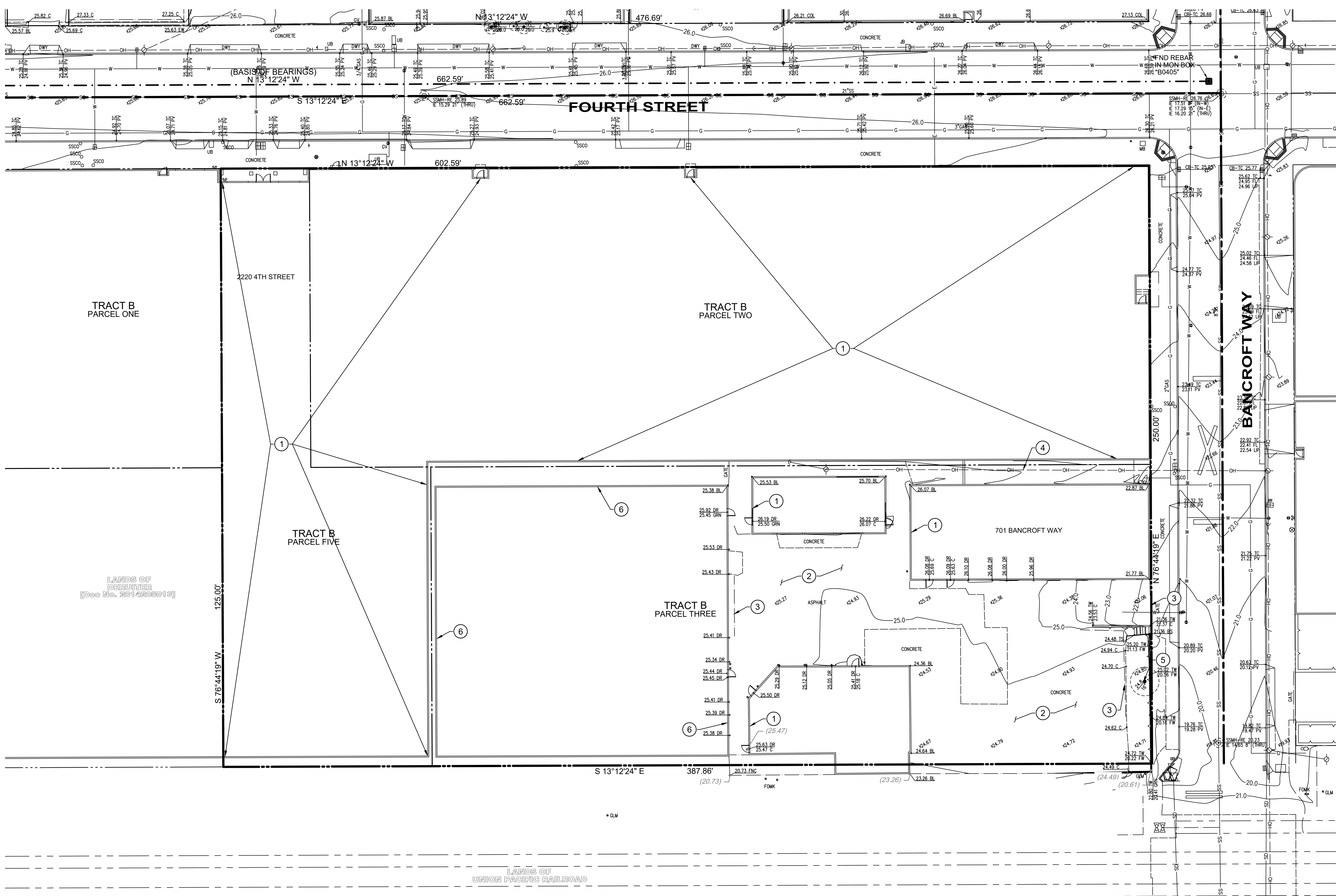
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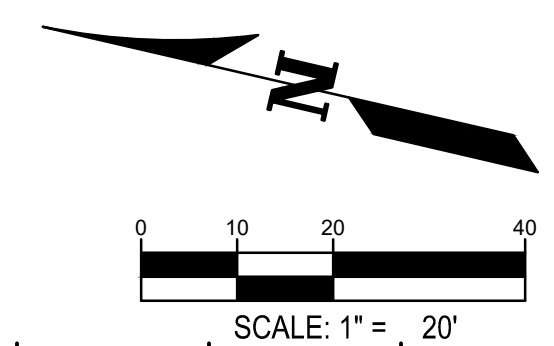


KEYNOTES

- ① REMOVE EXISTING BUILDING
- ② REMOVE EXISTING CONCRETE AND/OR ASPHALT
- ③ REMOVE EXISTING FENCE AND/OR GATE
- ④ REMOVE EXISTING OVERHEAD UTILITIES
- ⑤ REMOVE EXISTING TREE
- ⑥ RELOCATE EXISTING STRUCTURE

LEGEND

| | | | | | | | |
|-------------------------|--|----------------------------|--|----------------------------|--|----------------------|--|
| PROPERTY LINE | | STORM DRAIN MANHOLE | | SIGN | | STORM DRAIN | |
| ADJACENT PROPERTY LINE | | SANITARY SEWER MANHOLE | | TREE W/ SIZE AND ELEVATION | | WATER | |
| CENTERLINE | | CLEAN OUT | | SPOT ELEVATION | | GAS | |
| MONUMENT LINE | | GAS METER | | CONTOUR | | UNDERGROUND ELECTRIC | |
| BUILDING LINE W/ DOOR | | UTILITY POLE W/ GUY WIRE | | INDEX CONTOUR | | OVERHEAD | |
| BUILDING OVERHANG | | VALVE | | CURB | | JOINT TRENCH | |
| FOUND MONUMENT AS NOTED | | CATCH BASIN / DROP INLET | | CURB & GUTTER | | | |
| BOLLARD LIGHT | | WATER METER | | CONCRETE | | | |
| LIGHT | | FIRE DEPARTMENT CONNECTION | | FENCE | | | |
| STREET LIGHT | | BACK FLOW PREVENTER | | RETAINING WALL | | | |
| TRANSFORMER | | UTILITY BOX (SIZE VARIES) | | EDGE OF PAVEMENT | | | |
| FIRE HYDRANT | | MONITORING WELL | | SANITARY SEWER | | | |



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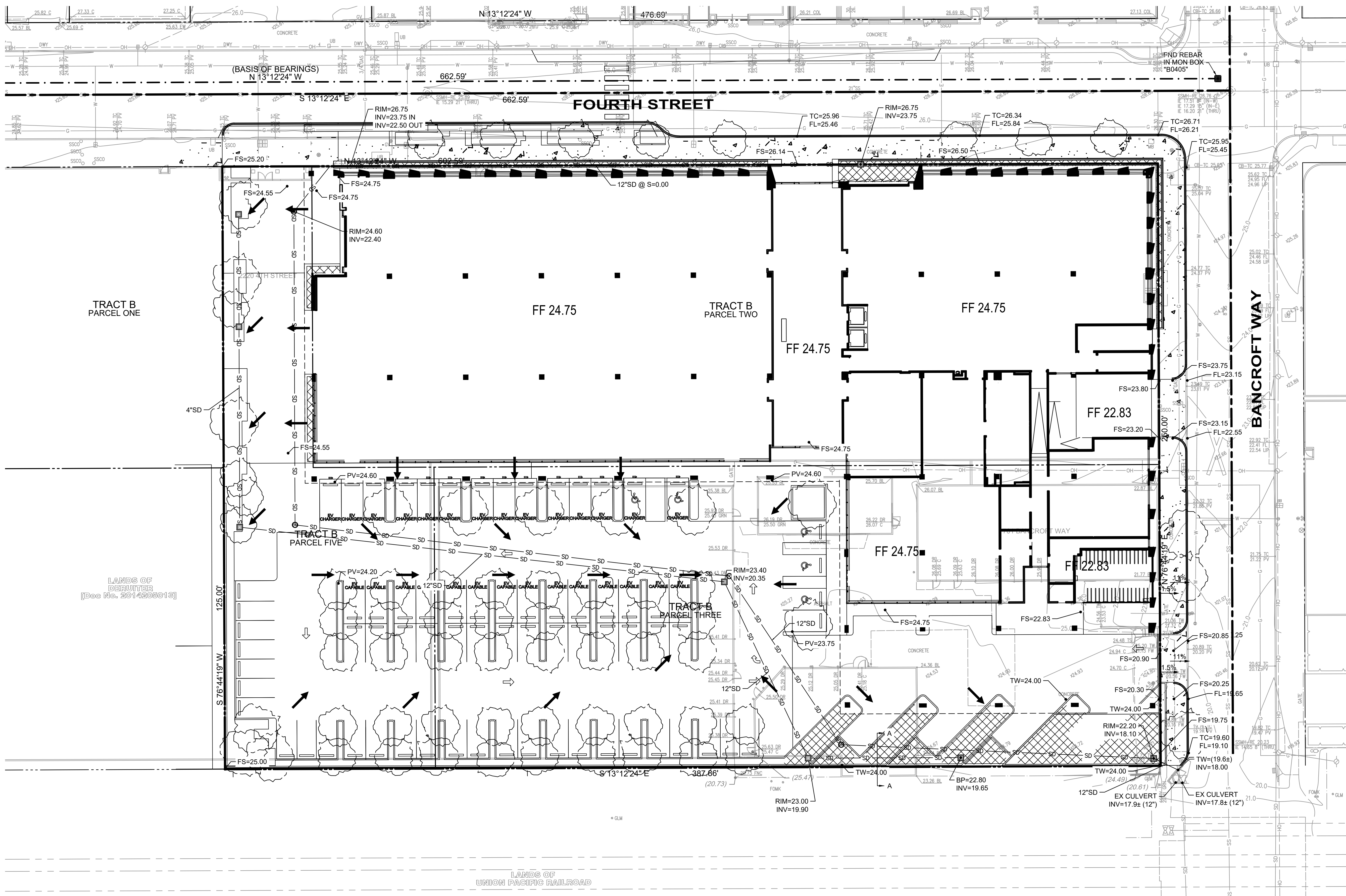
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CONCEPTUAL GRADING PLAN

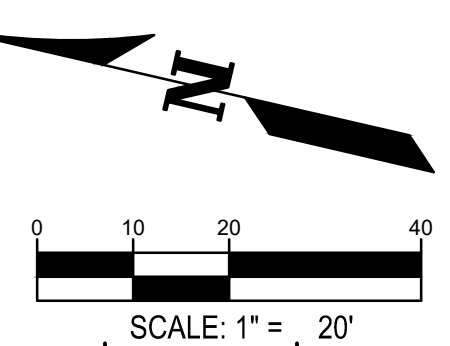
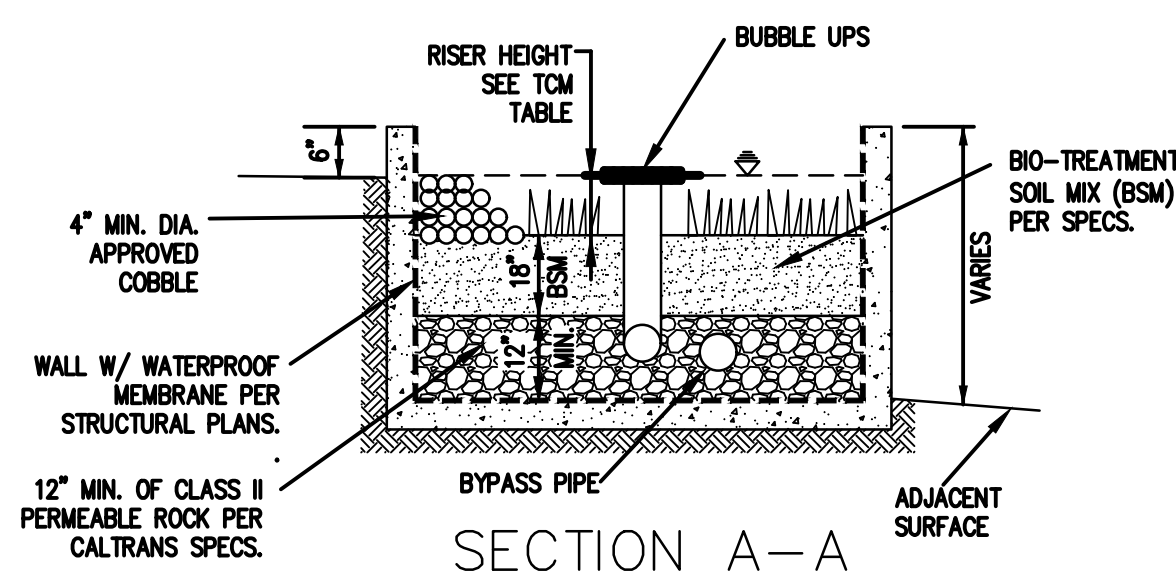
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| Checked By: | MM |
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LEGEND:

| | | | | | |
|--|----------------------|--|--|--|--|
| | PROPERTY LINE | | PROPOSED SWALE | | FLOW DIRECTION |
| | PROPOSED 5' CONTOUR | | PROPOSED CURB | | HIGH POINT |
| | PROPOSED 1' CONTOUR | | EXISTING CURB | | LOW POINT |
| | EXISTING 5' CONTOUR | | EXISTING OVERHEAD ELECTRIC LINE | | MATCH EXISTING |
| | EXISTING 1' CONTOUR | | EXISTING NATURAL GAS LINE | | GRADE BREAK |
| | PROPOSED STORM LINE | | EXISTING SANITARY LINE | | FINISH GRADE AT WALL |
| | EXISTING STORM LINE | | EXISTING WATER LINE | | REMOVE AND REPLACE CURB, GUTTER AND SIDEWALK |
| | PROPOSED STORM INLET | | PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED) | | PROPOSED STORMWATER TREATMENT AREA |
| | EXISTING STORM INLET | | PROPOSED SLOPE AND DIRECTION | | |



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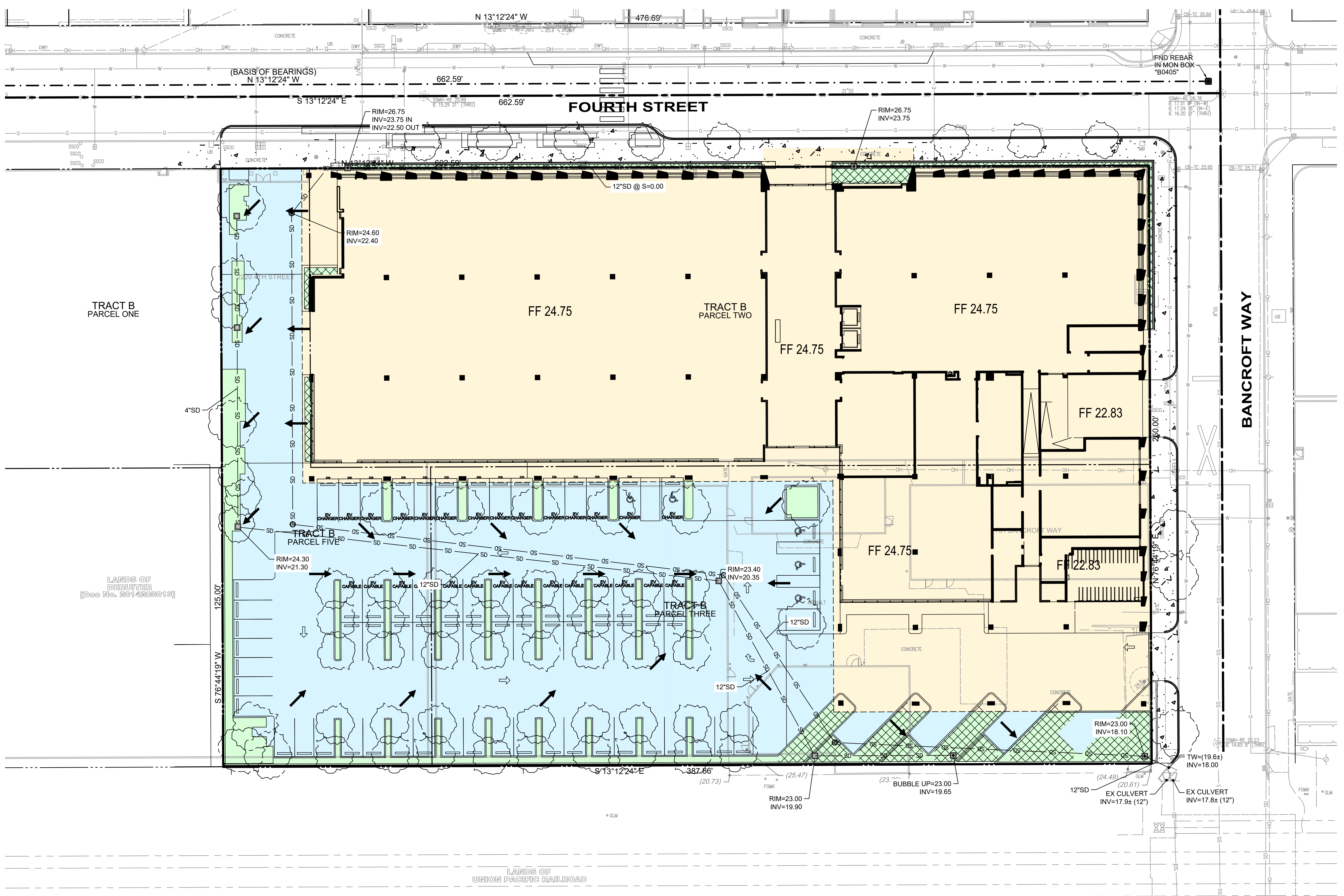
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CONCEPTUAL STORMWATER MANAGEMENT PLAN

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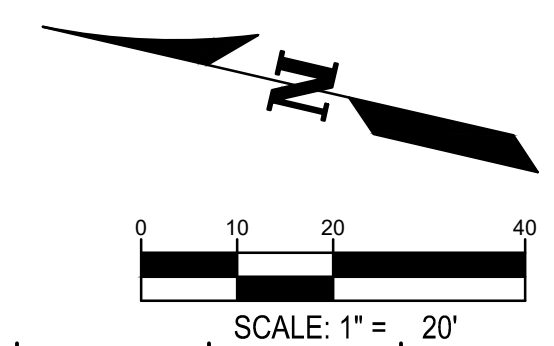
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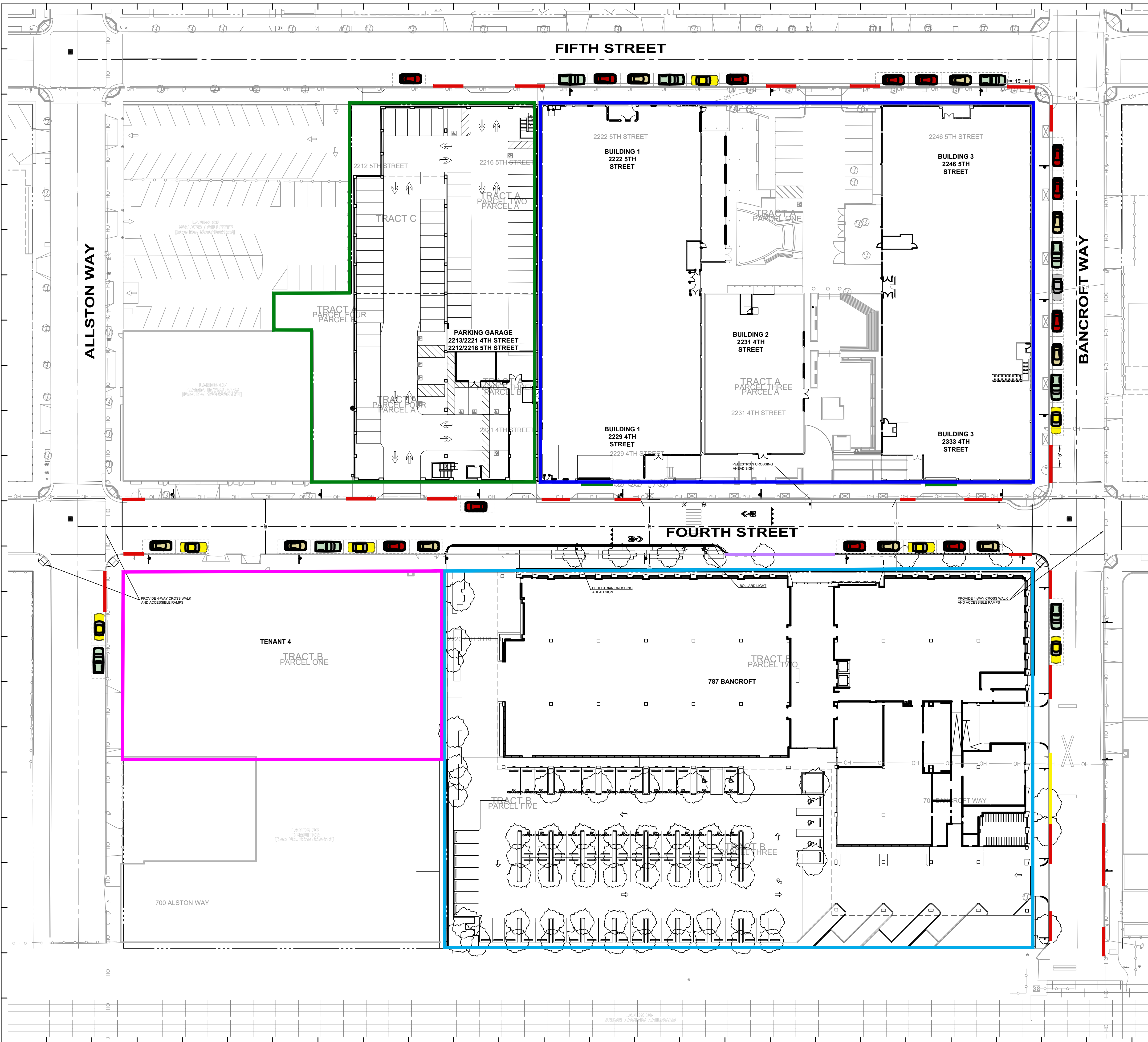
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| | PROPERTY LINE | | PROPOSED SWALE | | FLOW DIRECTION |
| | PROPOSED 5' CONTOUR | | PROPOSED CURB | | HIGH POINT |
| | PROPOSED 1' CONTOUR | | EXISTING CURB | | LOW POINT |
| | EXISTING 5' CONTOUR | | EXISTING OVERHEAD ELECTRIC LINE | | MATCH EXISTING |
| | EXISTING 1' CONTOUR | | EXISTING NATURAL GAS LINE | | GRADE BREAK |
| | PROPOSED STORM LINE | | EXISTING SANITARY LINE | | TOP OF WALL |
| | EXISTING STORM LINE | | EXISTING WATER LINE | | FINISH GRADE AT WALL |
| | PROPOSED STORM INLET | | PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED) | | |
| | EXISTING STORM INLET | | PROPOSED SLOPE AND DIRECTION | | |

| | |
|--|--|
| | NEW ROOF = 1.36± AC (59,040 SF) |
| | NEW PAVEMENT = 0.73± AC (31,805 SF) |
| | SELF TREATING AREA = 0.08± AC (3,360 SF) |
| | BIO-TREATMENT AREA = 0.07± AC (3,240 SF) |
| | PUBLIC IMPROVEMENTS (SEPARATE PERMIT) |



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- LEGEND**
- NO PARKING - RED CURB
 - LOADING ZONE - YELLOW CURB
 - PASSENGER LOADING ZONE - WHITE CURB
 - PARKING STALL
 - PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4
 - EXISTING FH WITH 3' RADIUS CLEARANCE
 - PROPOSED 'NO OVERNIGHT PARKING' SIGN - SEE DETAIL ON THIS SHEET



NO OVERNIGHT PARKING SIGN

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Sheet Name:
OVERALL SITE PLAN

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 ONE MARITIME PLAZA
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LAB MASTERPLAN

Project No.:

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Drawn By:

Author

Checked By:

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Sheet No.:

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PROPOSED ROOF LEVEL SITE PLAN 01
 SCALE: 1/32" = 1'-0"

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 SAN FRANCISCO, CA 94111

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 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

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WARE MALCOMB
 4683 CHABOT DRIVE #300
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OVERALL SITE PLAN

Project No.:

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Drawn By:

Author

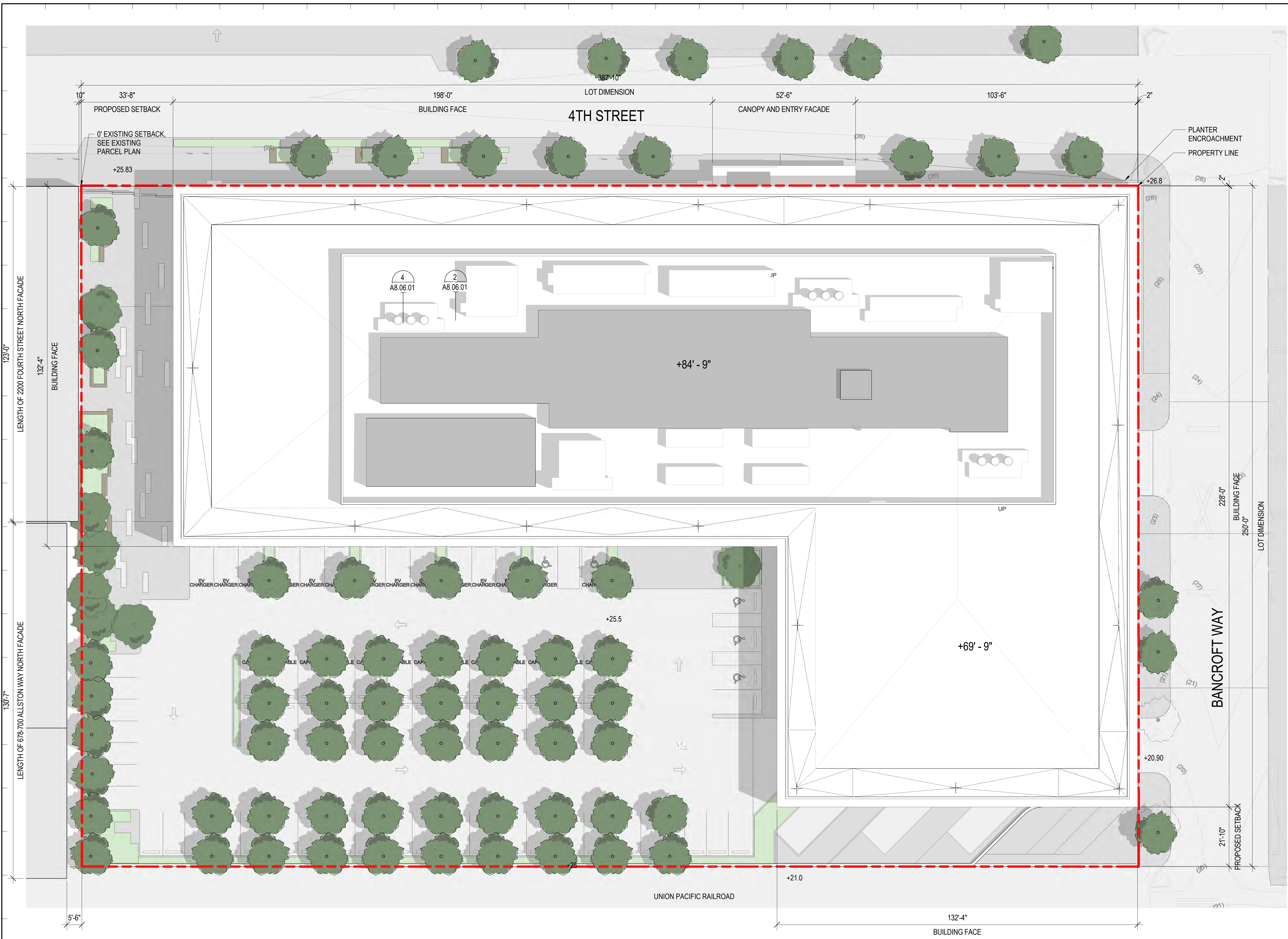
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1/16" = 1'-0"

AP1.01.01



SITE PLAN 01
 SCALE: 1/16" = 1'-0"

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SOM
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 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

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 LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
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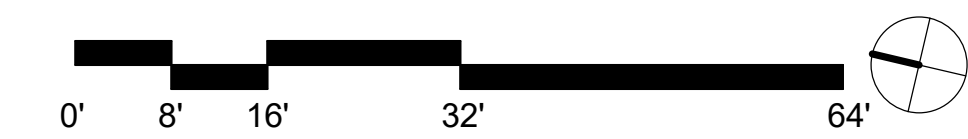
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OVERALL FLOOR PLAN - LEVEL 01

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| Checked By: Checker | |
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| Sheet No.: | AP2.01.00 |



- GENERAL NOTES:
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINT'S RELATIONSHIP TO BERKELEY CITY DATUM
 - "NO PARKING" DESIGNATED BY RED CURB
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO DL-23 OR SMALLER SIZE TRUCKS
 - SPACES LABELED AS "EV CHARGER" WILL HAVE LEVEL 2 ELECTRIC CHARGING STATIONS INSTALLED ON DAY ONE PER BERKELEY REACH CODE
 - SPACES LABELED AS "EV CAPABLE" WILL BE EQUIPPED WITH EV CONNECTING RACEWAYS



LEVEL 01 FLOORPLAN 01

SCALE: 1/16" = 1'-0"

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 ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE
SOM
 SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER
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Key Plan:

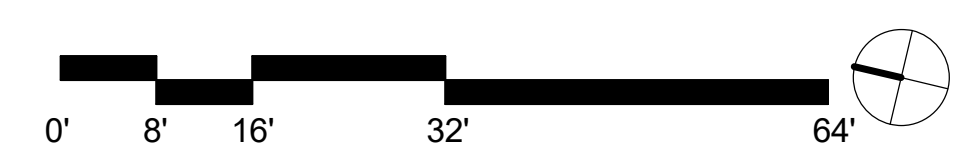
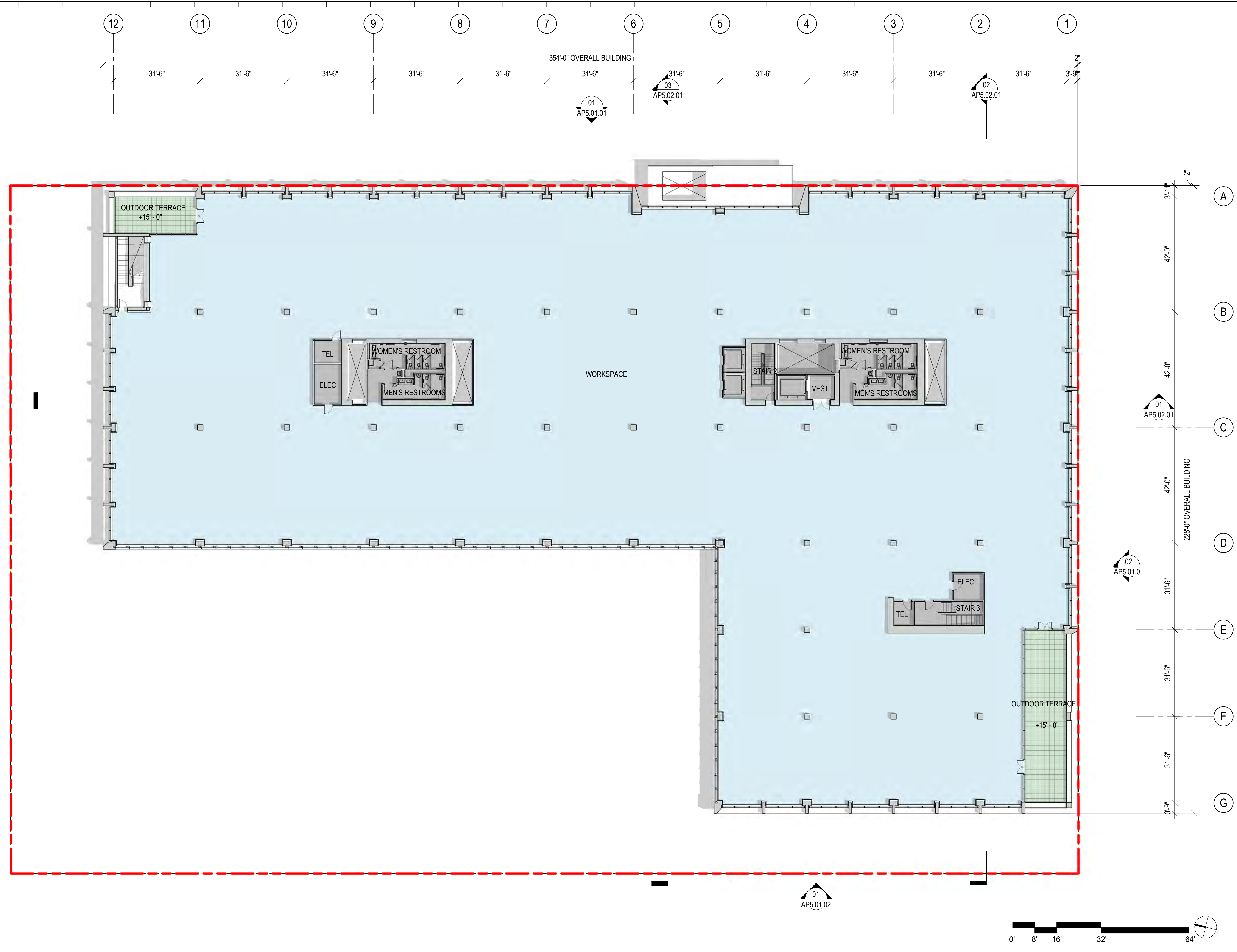
Seal & Signature:

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Sheet Name:

OVERALL FLOOR PLAN - LEVEL 02

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|--------------|---------------|-------------|-----------|
| Project No.: | 220175 | Sheet No.: | AP2.02.00 |
| Drawn By: | Author | Checked By: | Checker |
| Scale: | 1/16" = 1'-0" | | |



LEVEL 02 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER
STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM
 ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE
SOM
 SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER
 LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
 DUBLIN, CA 94568

CIVIL ENGINEER
 WARE MALCOMB
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588

MEP ENGINEER
 MEYERS+ ENGINEERS
 98 BATTERY STREET, SUITE 500
 SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER
 ROCKRIDGE GEOTECHNICAL
 270 GRAND AVE
 OAKLAND, CA 94610

SUSTAINABILITY
 ATELIER TEN
 443 TEHAMA ST, 1ST FLOOR
 SAN FRANCISCO, CA 94103

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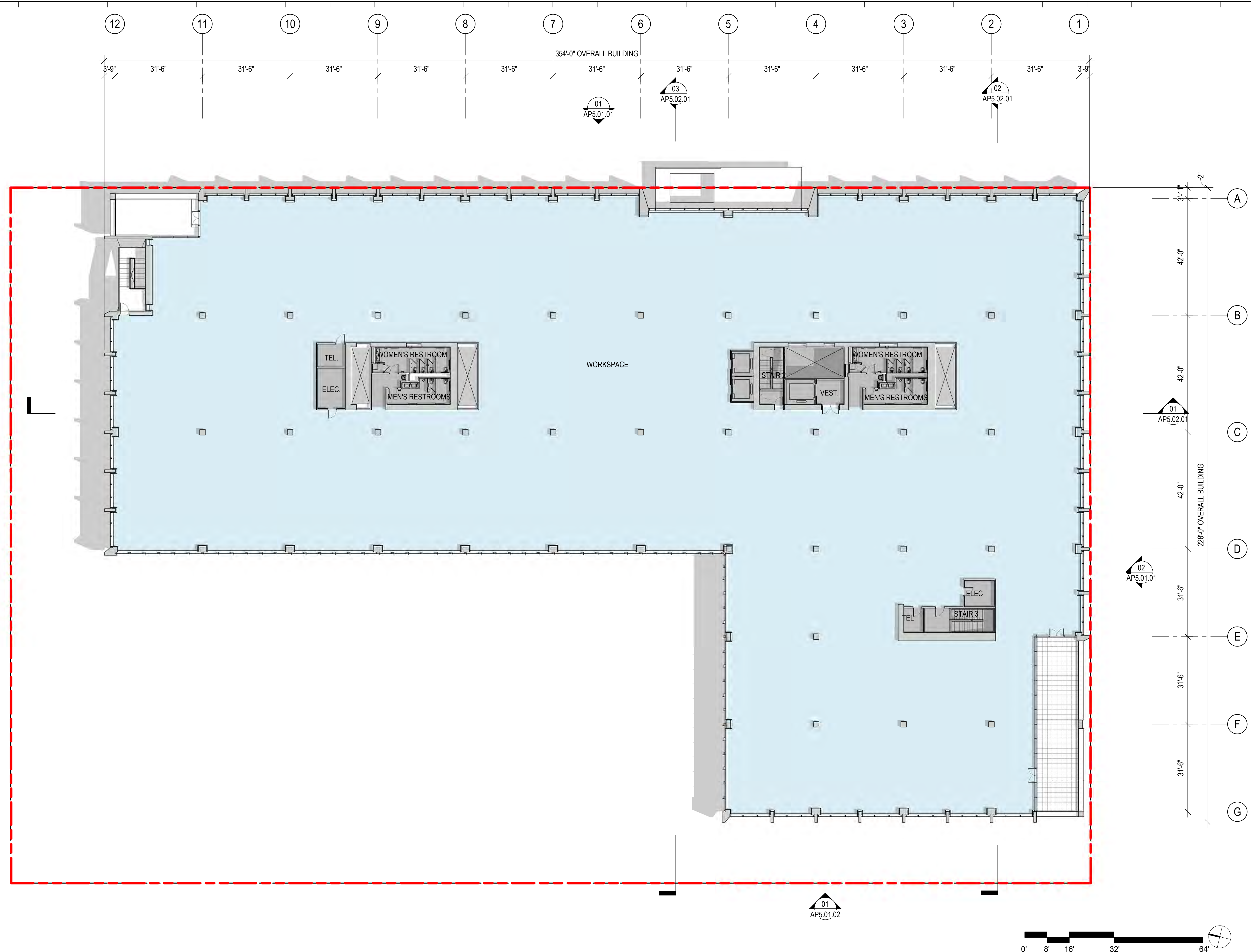
Key Plan:

Seal & Signature:

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Sheet Name:
OVERALL FLOOR PLAN - LEVEL 03

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|--------------|---------------|------------|------------------|
| Project No.: | 220175 | Sheet No.: | AP2.03.00 |
| Drawn By: | Author | | |
| Checked By: | Checker | | |
| Scale: | 1/16" = 1'-0" | | |



LEVEL 03 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER

STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE

SOM

SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER

LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
 DUBLIN, CA 94568

CIVIL ENGINEER

WARE MALCOMB
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588

MEP ENGINEER

MEYERS+ ENGINEERS
 98 BATTERY STREET, SUITE 500
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GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
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OVERALL FLOOR PLAN - MECHANICAL PENTHOUSE

Project No.:

220175

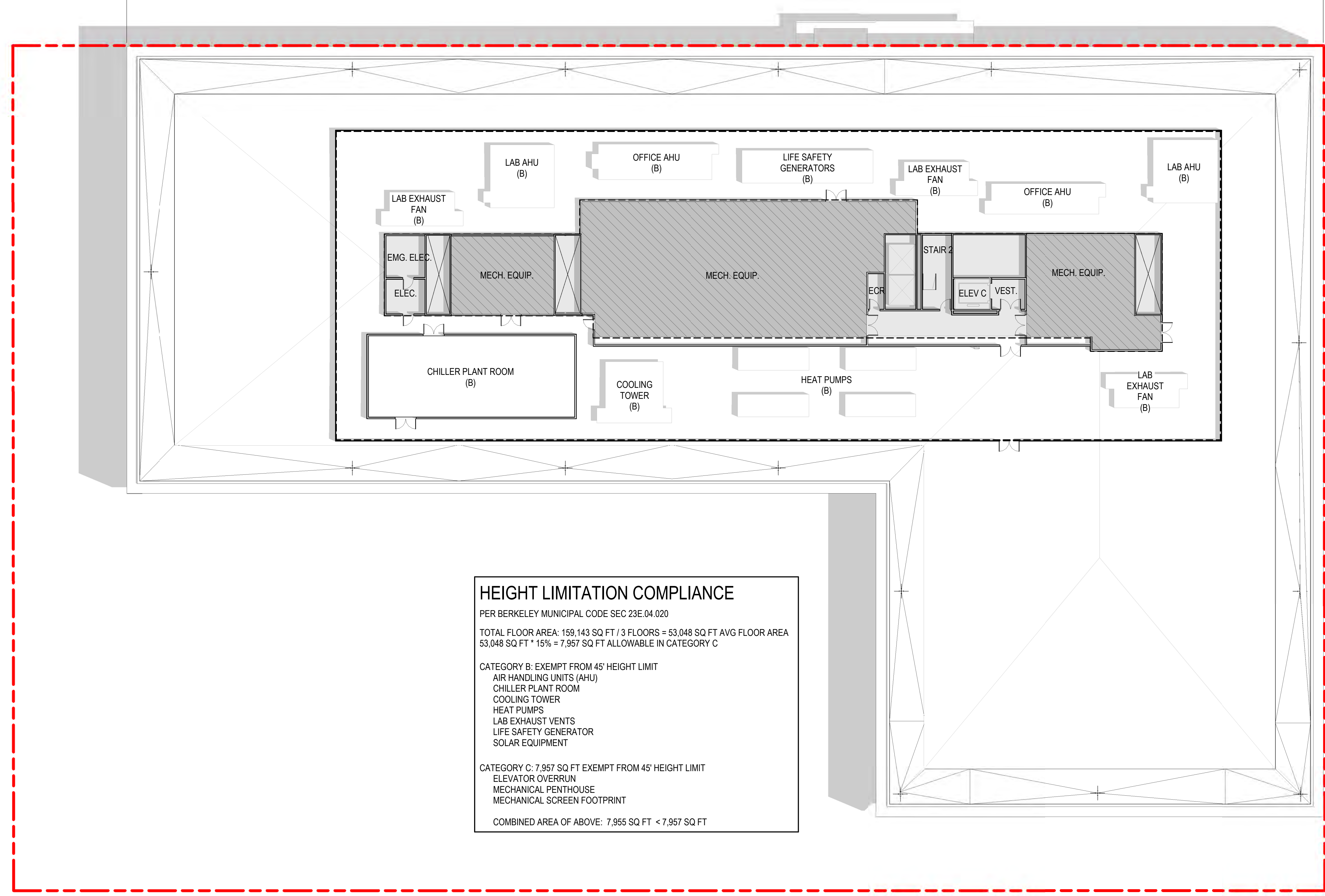
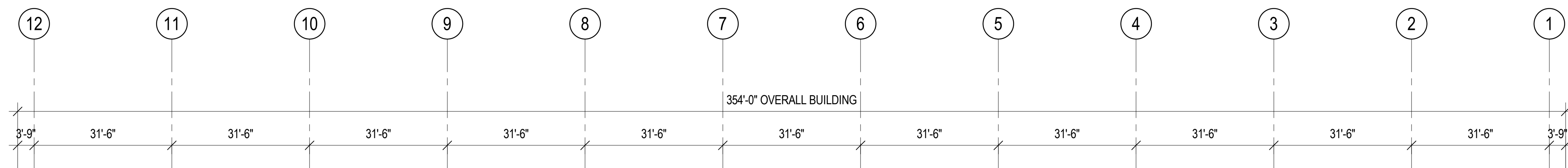
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Checked By: Checker

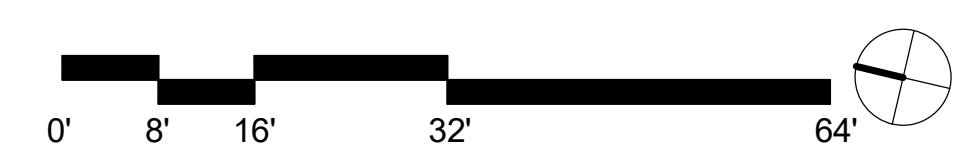
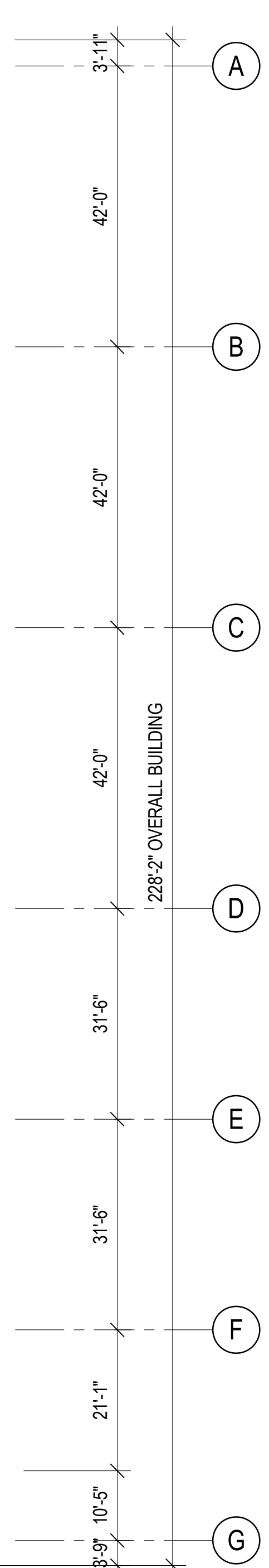
Scale:

1/16" = 1'-0"

AP2.04.00



HEIGHT LIMITATION COMPLIANCE
 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C
 CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT
 CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT
 COMBINED AREA OF ABOVE: 7,955 SQ FT < 7,957 SQ FT



LEVEL 04 MECHANICAL PENTHOUSE PLAN 01
 SCALE: 1/16" = 1'-0"

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER

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 STEELWAVE
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PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE

SOM

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 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER

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GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
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Sheet Name:

EXISTING ELEVATIONS

Project No.:

220175

Drawn By:

Author

Checked By:

Checker

Scale:

1/32" = 1'-0"

Sheet No.:

AP5.00.01



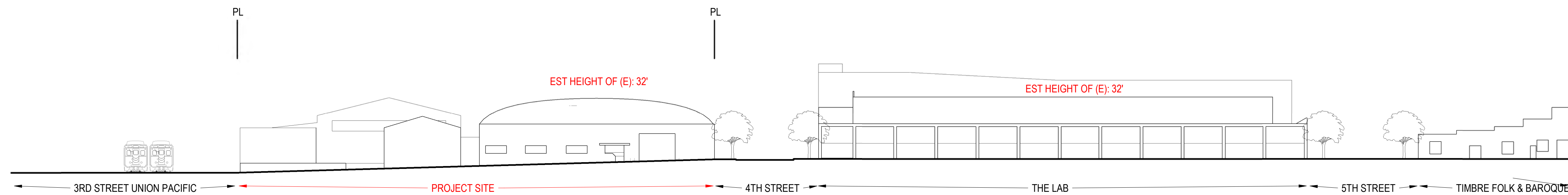
01 703-5 BANCROFT WAY



02 WINE.COM

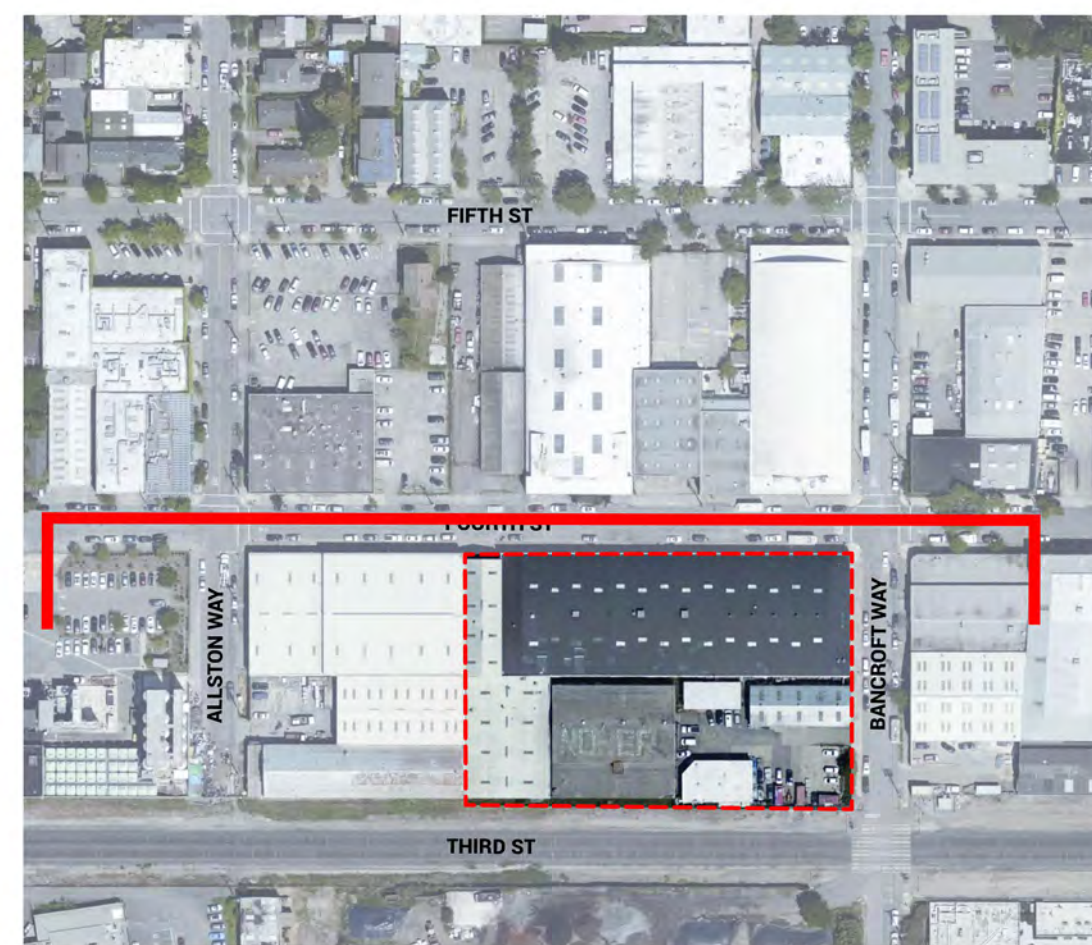


03 WINE.COM



SOUTH SITE ELEVATION EXISTING 02

SCALE: 1/32" = 1'-0"



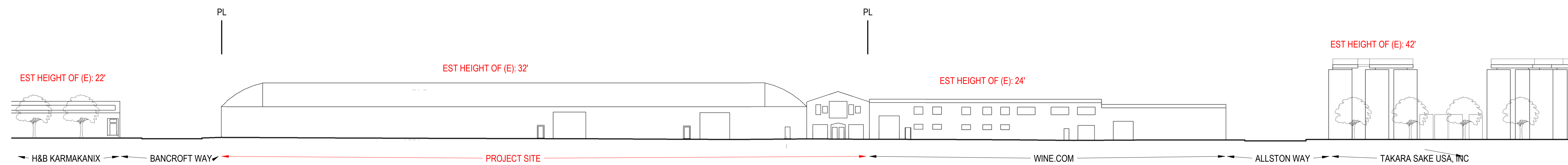
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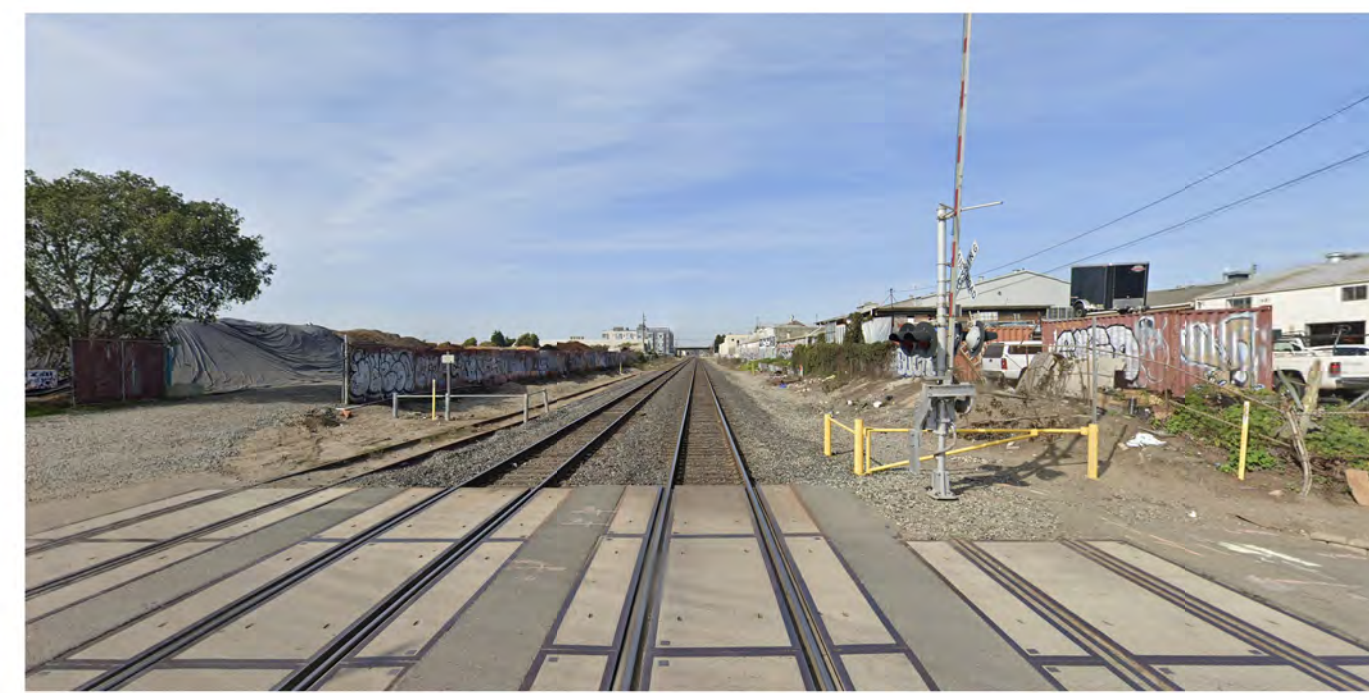


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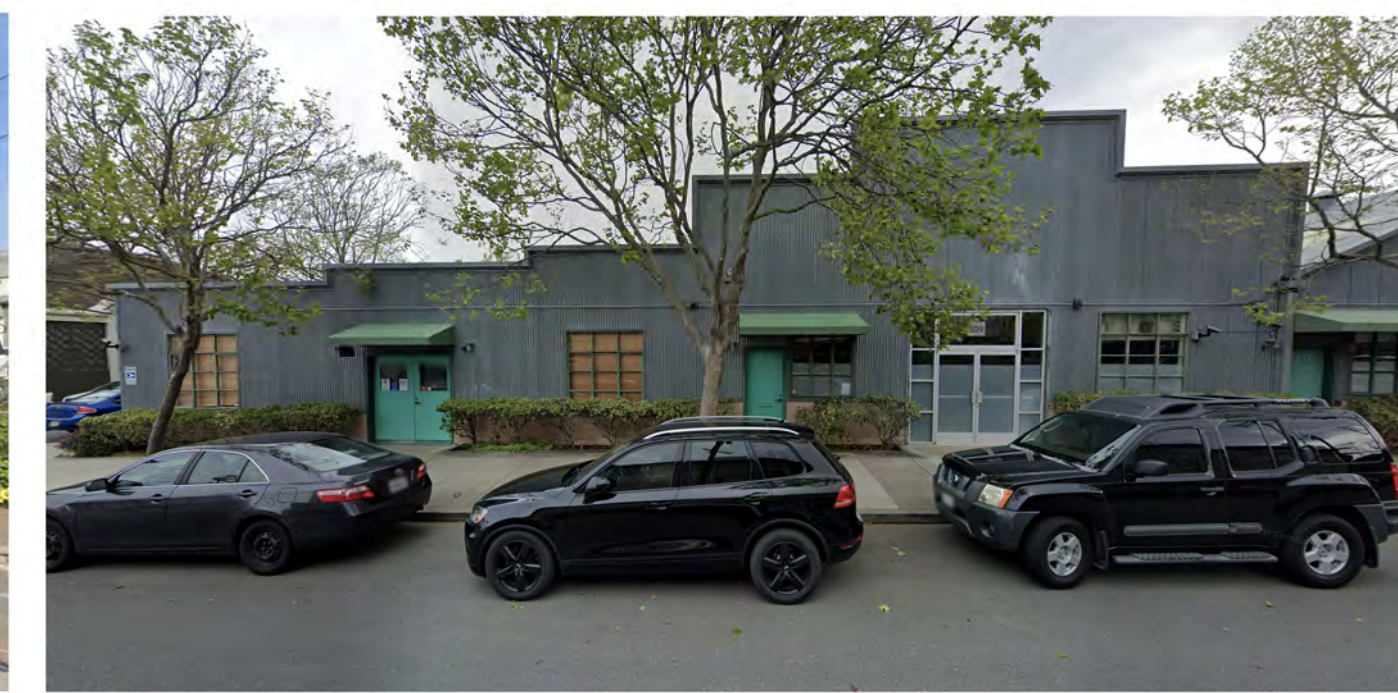


EAST SITE ELEVATION EXISTING 01

SCALE: 1/32" = 1'-0"



01 3RD STREET UNION PACIFIC



02 TIMBRE FOLK & BAROQUE

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER
STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM
 ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE

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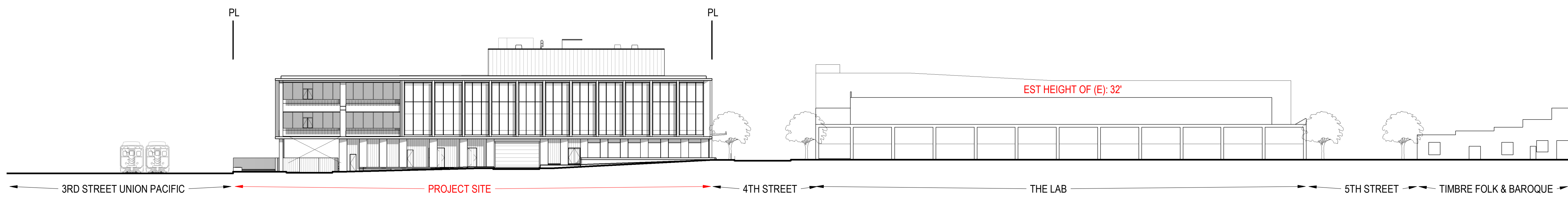
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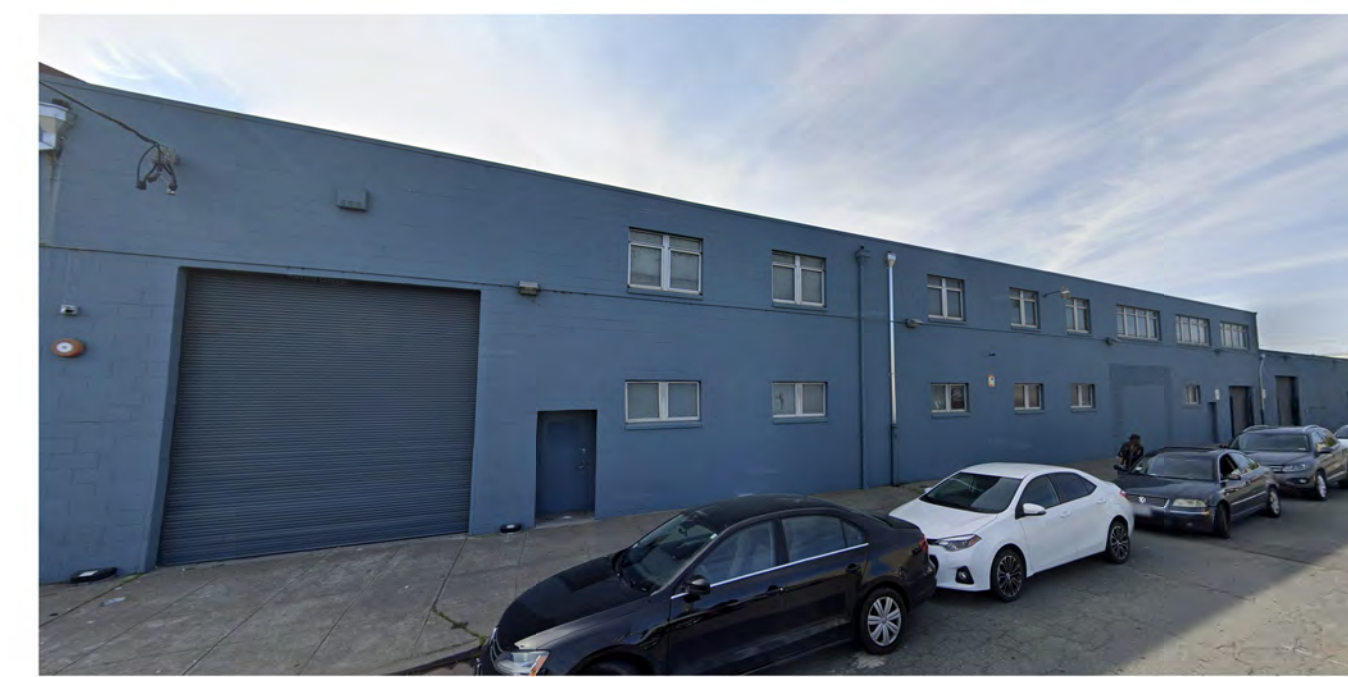
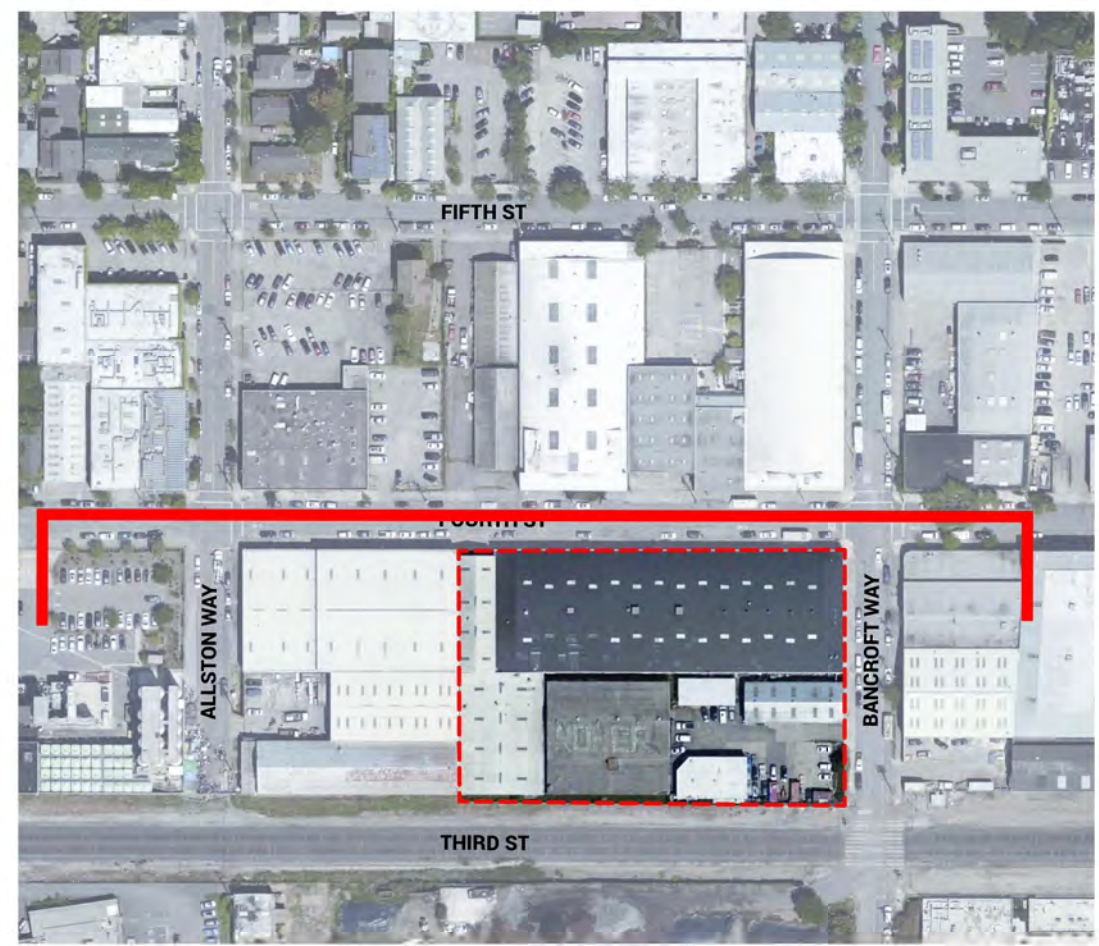
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SOUTH SITE ELEVATION 02

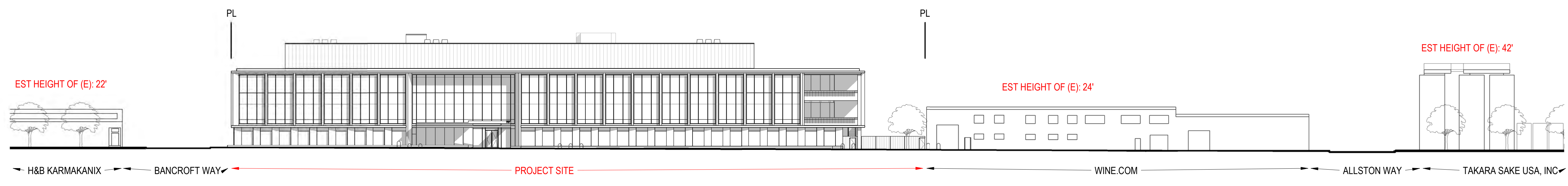
SCALE: 1/32" = 1'-0"



01 WINE.COM



02 TAKARA SAKE USA, INC



EAST SITE ELEVATION 01

SCALE: 1/32" = 1'-0"

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SITE ELEVATIONS

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