



787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER



STEELWAVE
101 CALIFORNIA STREET, SUITE 800
SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE



SKIDMORE, OWINGS & MERRILL LLP
ONE MARITIME PLAZA
SAN FRANCISCO, CA 94111

BUILDER

LUSARDI CONSTRUCTION COMPANY
6376 CLARK AVE
DUBLIN, CA 94568

CIVIL ENGINEER

WARE MALCOMB
4683 CHABOT DRIVE #300
PLEASANTON, CA 94588

MEP ENGINEER

MEYERS+ ENGINEERS
98 BATTERY STREET, SUITE 500
SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
270 GRAND AVE
OAKLAND, CA 94610

SUSTAINABILITY

ATELIER TEN
443 TEHAMA ST, 1ST FLOOR
SAN FRANCISCO, CA 94103

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USE PERMIT APPLICATION 2021.03.25

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Sheet No.:

220175

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Scale:

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787 BANCROFT

787 BANCROFT WAY, BERKELEY, CA 94710

ZONING PROJECT APPLICATION

JUNE 1, 2021

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LAND USE AREAS

Project No.:

220175

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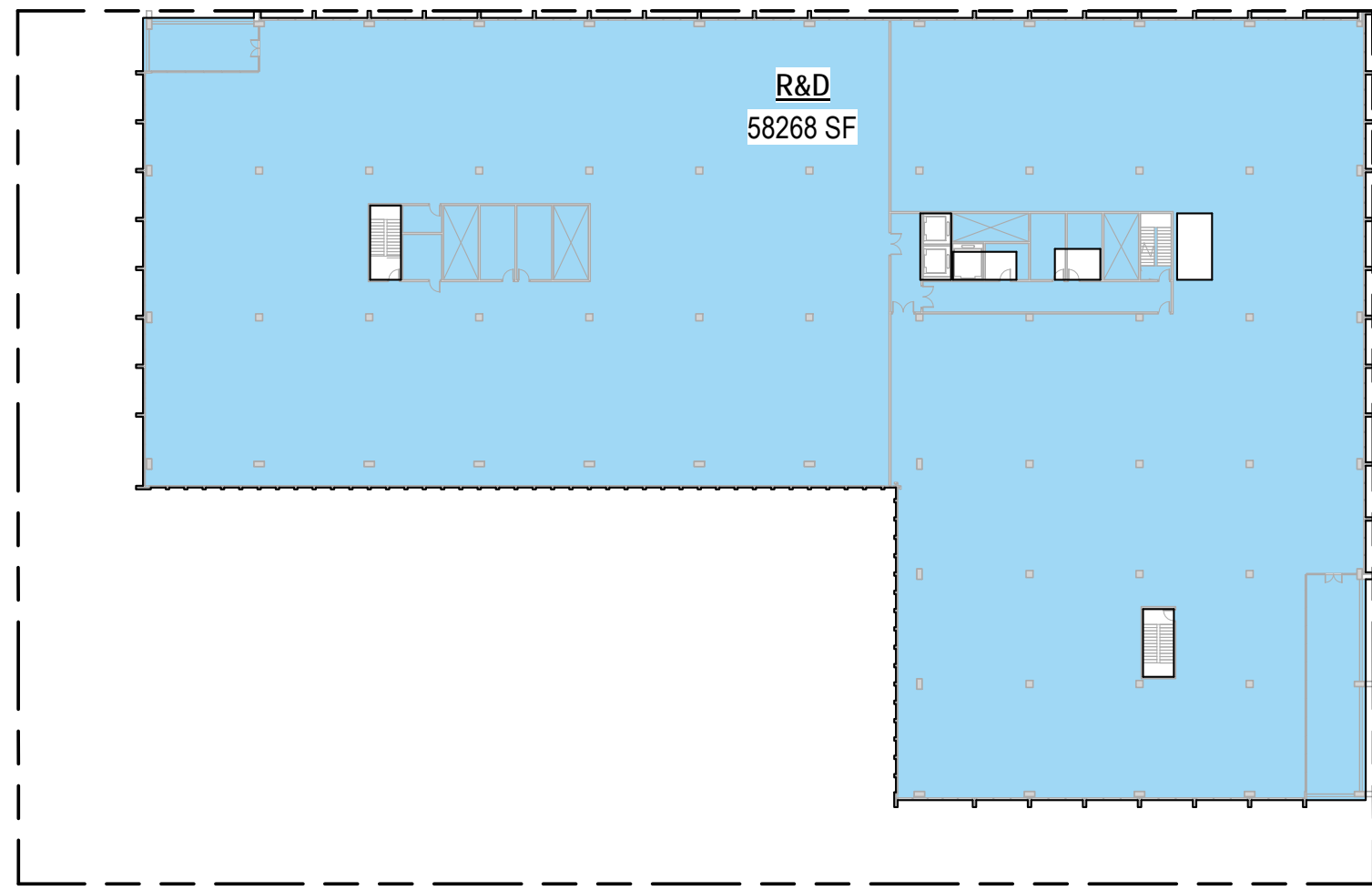
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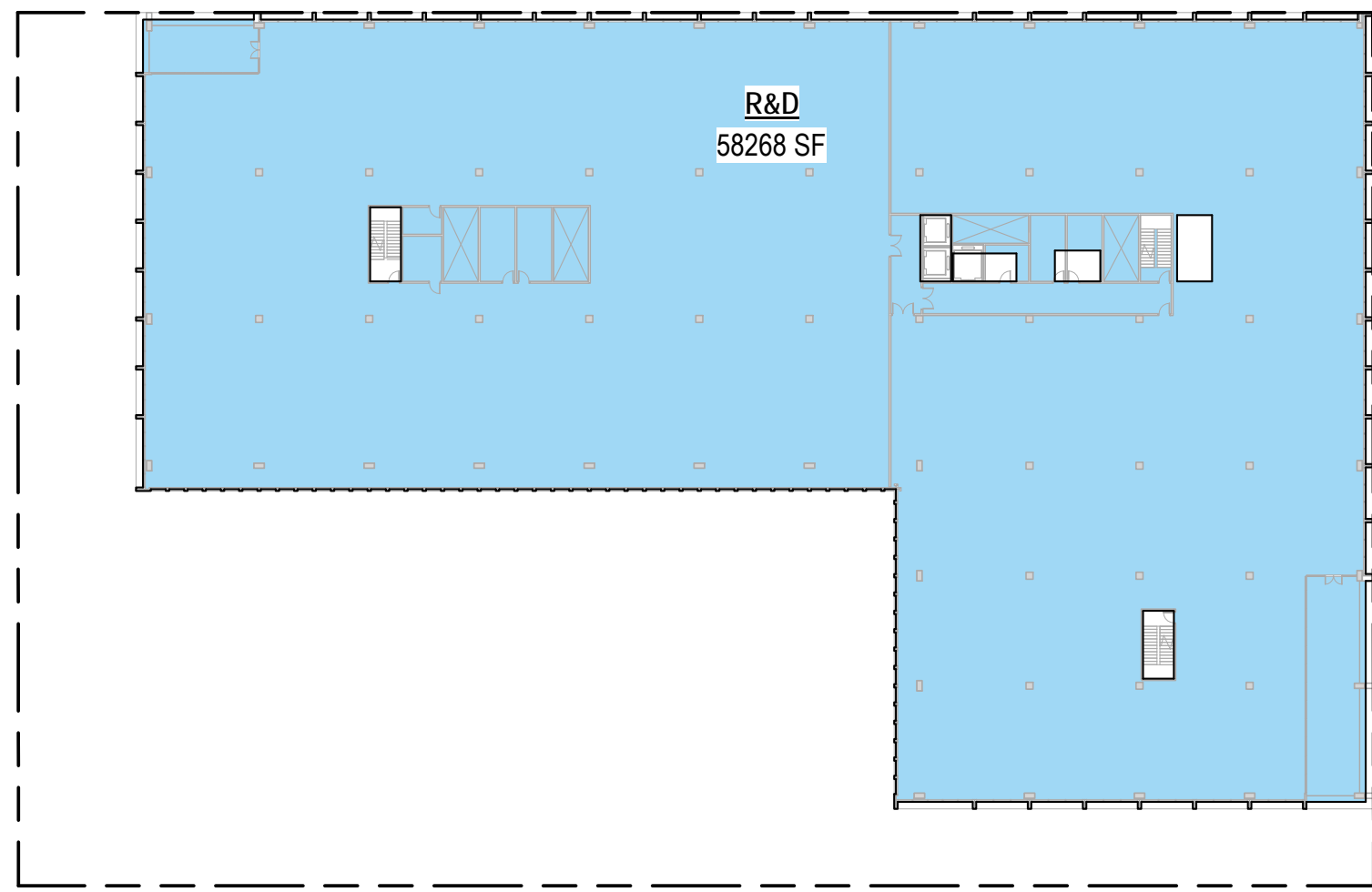
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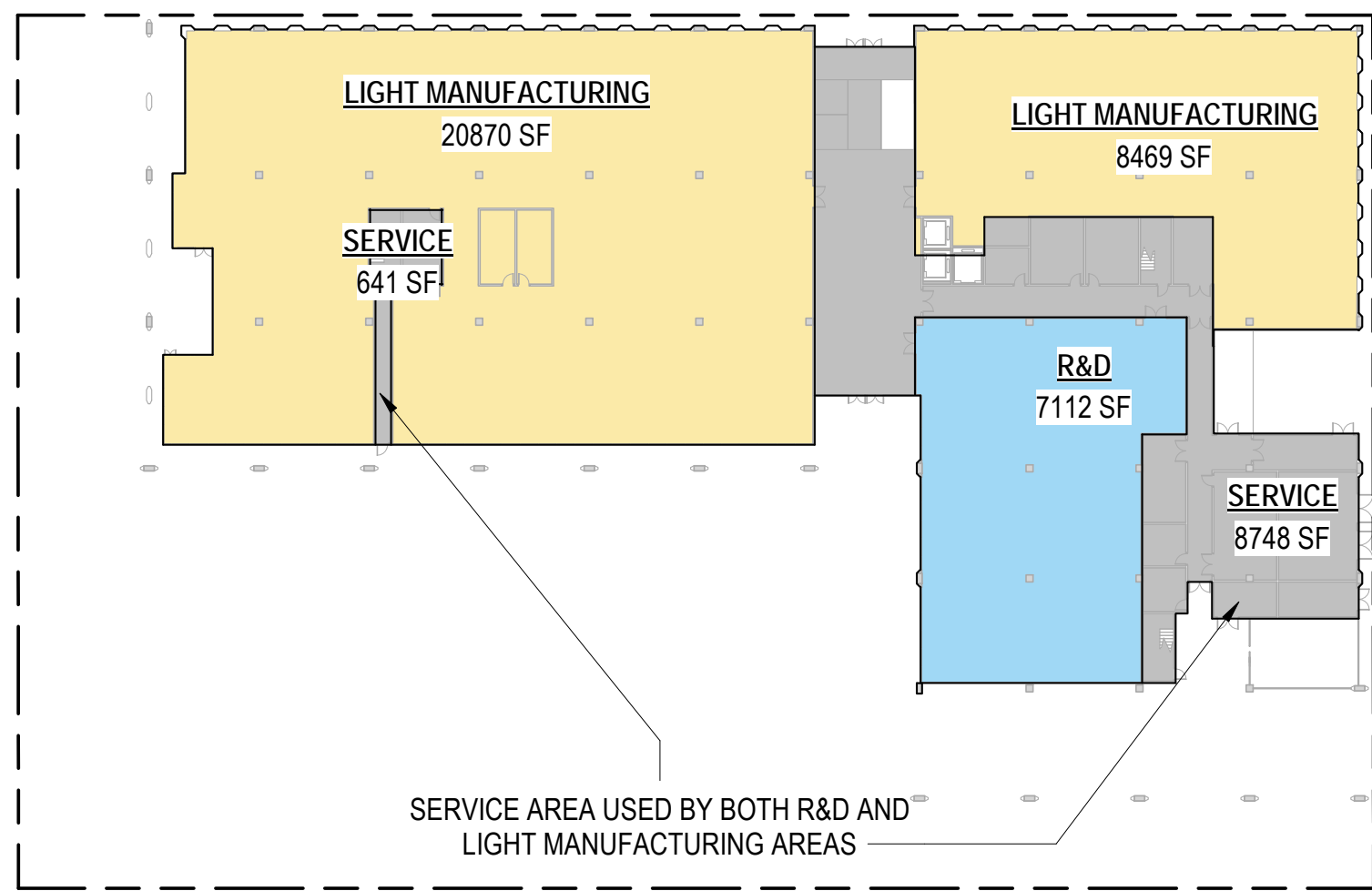
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LEVEL 03 LAND USE 3
SCALE: 1" = 50'-0"



LEVEL 02 LAND USE 2
SCALE: 1" = 50'-0"



LEVEL 01 LAND USE 1
SCALE: 1" = 50'-0"

Land Use Area Summary

Level	R&D	Shared Service Area	LM	Total
Roof				0
Level 03	58,268			58,268
Level 02	58,268			58,268
Level 01	7,112	9,380	29,347	45,839
Subtotal	133,028		29,347	162,375
Area Counted Toward FAR:				162,375

GENERAL NOTE:

- LOCATION OF LIGHT MANUFACTURING AREA WILL BE PLACED AS NEEDED FOR INITIAL LEASE-UP
- REQUIRED PROTECTED AREA WILL BE MAINTAINED

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VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED

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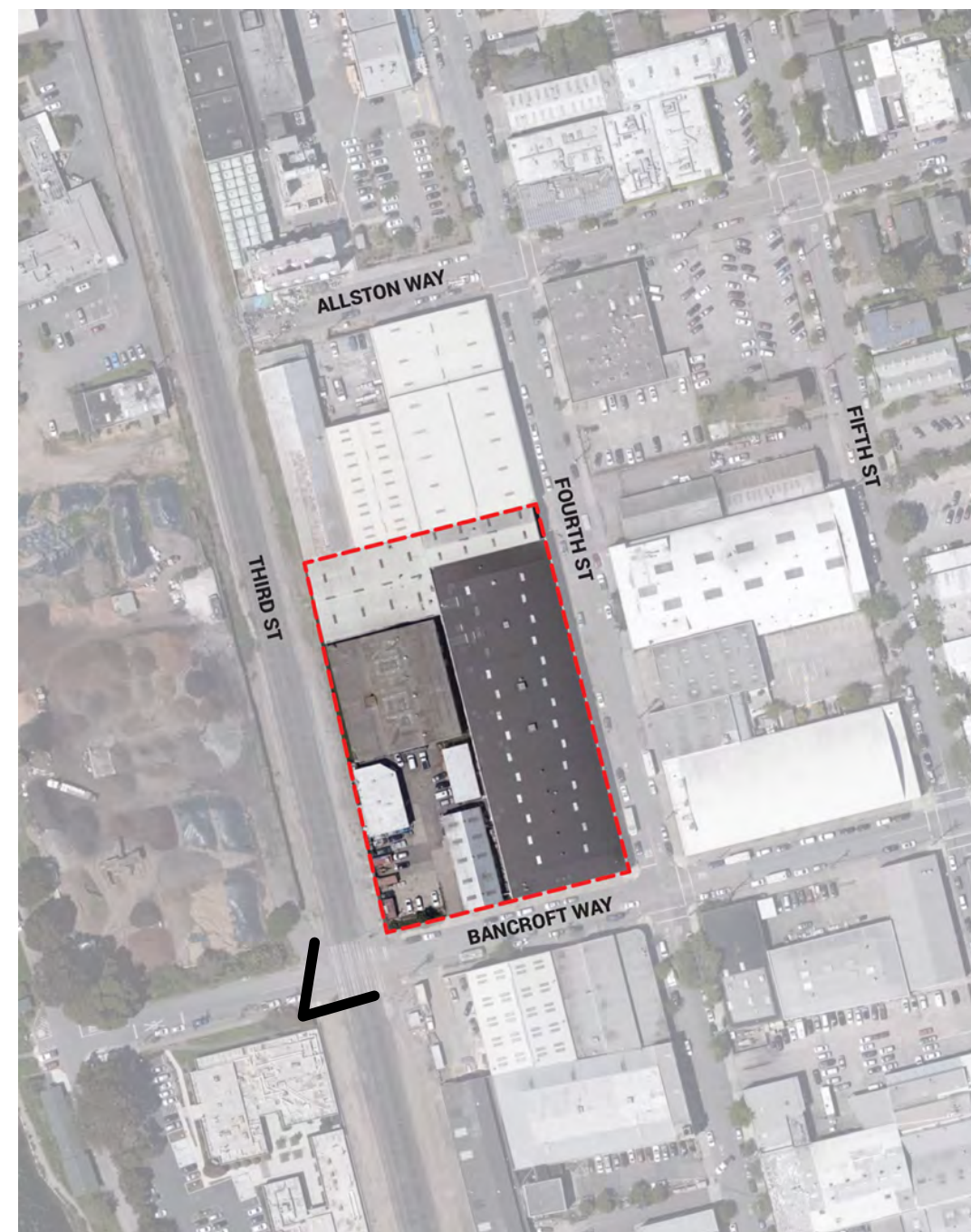
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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING




VIEW FROM WEST: PROPOSED

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1 Exposed Concrete Structure or Precast Panels



2 Dark Metal Mullions and Metal Trim



3 Glass

VIEW OF 4TH ENTRANCE



4 Wood Soffit and Shading Trellis



5 Stone or Precast Paving



6 Bay Friendly Landscaping

VIEW OF 4TH STREET PLAZA

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MATERIAL PALETTE

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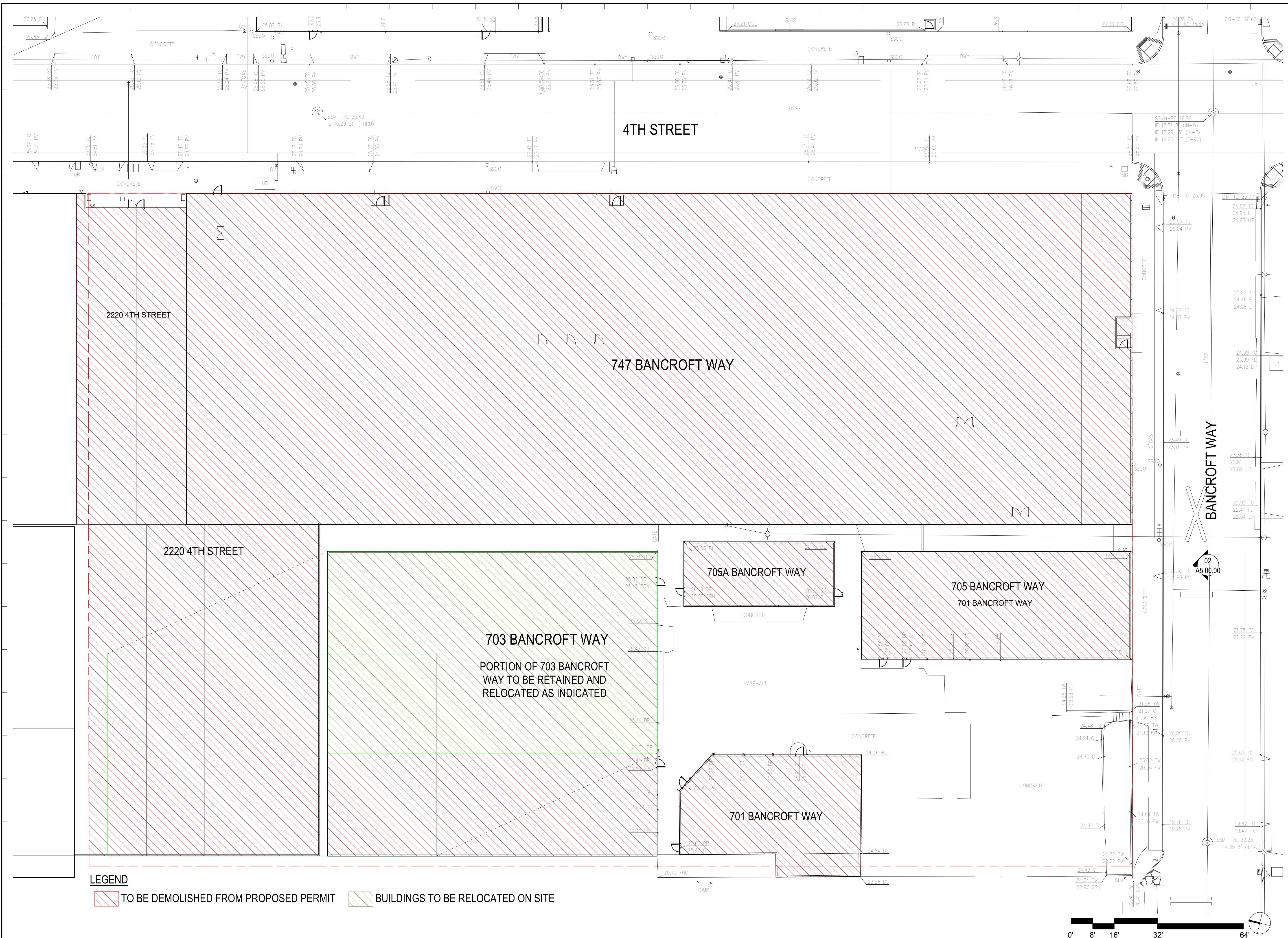
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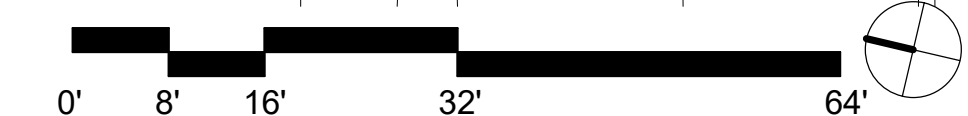
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Sheet Name:
EXISTING PARCEL, DEMOLITION, AND RELOCATION

Project No.:	220175	Sheet No.:	G0.02.01
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Scale:	1/16" = 1'-0"		



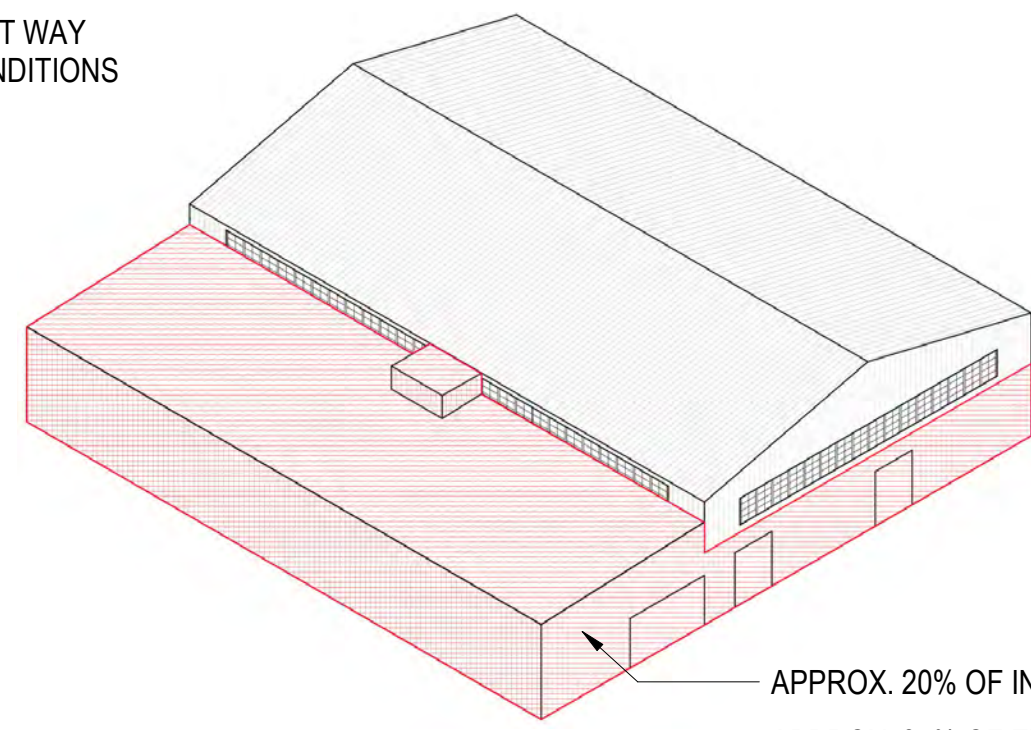
LEGEND
 [Red Hatched Box] TO BE DEMOLISHED FROM PROPOSED PERMIT
 [Green Hatched Box] BUILDINGS TO BE RELOCATED ON SITE



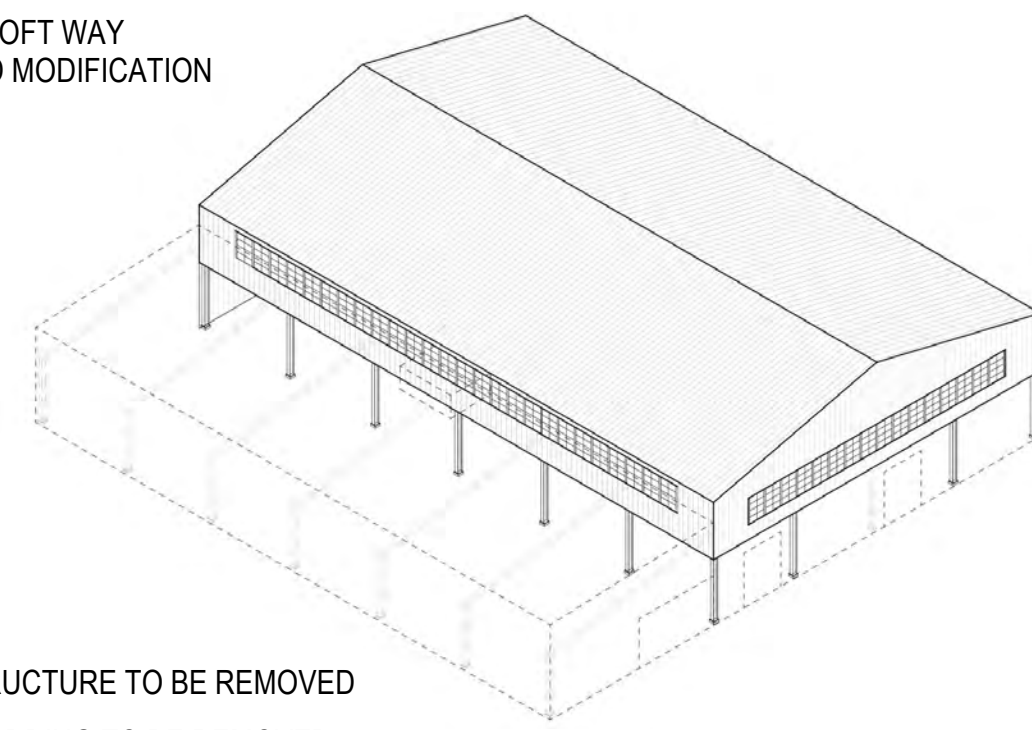
EXISTING PARCEL PLAN 1
 SCALE: 1/16" = 1'-0"

SUMMARY OF 703 BANCROFT RELOCATION

703 BANCROFT WAY EXISTING CONDITIONS



703 BANCROFT WAY PROPOSED MODIFICATION



APPROX. 20% OF INTERNAL STRUCTURE TO BE REMOVED
APPROX. 37% OF EXTERIOR CLADDING TO BE REMOVED

703 BANCROFT WAY CURRENT CONDITION



SOUTH FACADE FACING INTERIOR LOT



WEST FACADE ALONG RAILROAD



INTERIOR STRUCTURAL FRAME

703 BANCROFT WAY PROPOSED STRUCTURE



THE 4TH STREET PLAZE OPENS UP VIEWS FROM 4TH STREET TO THE RELOCATED 703 STRUCTURE

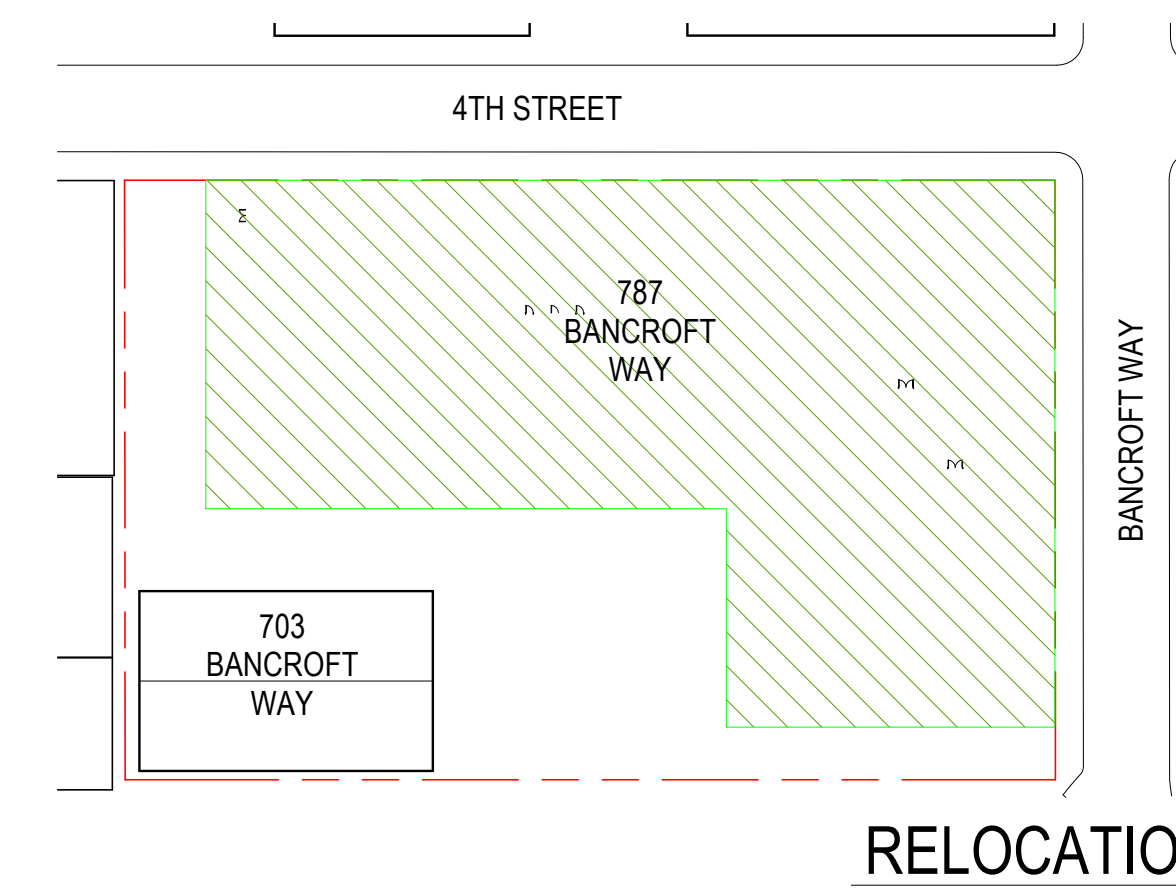


REPURPOSED 703 BANCROFT WAY AS PARKING SHADE STRUCTURE

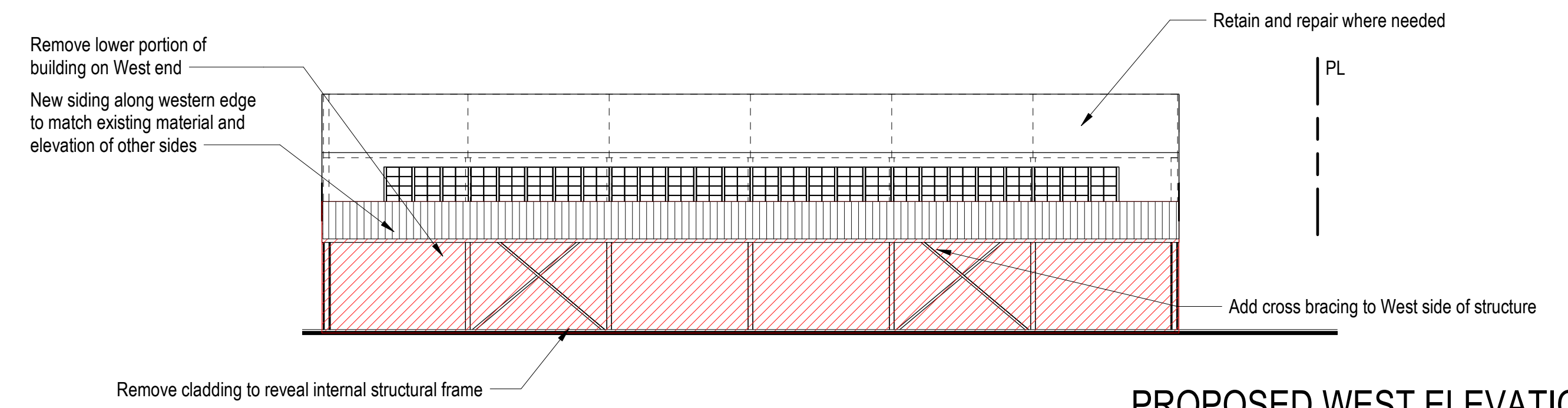


STRUCTURE CAN BE USED AS AN EVENT SPACE FOR TENANTS

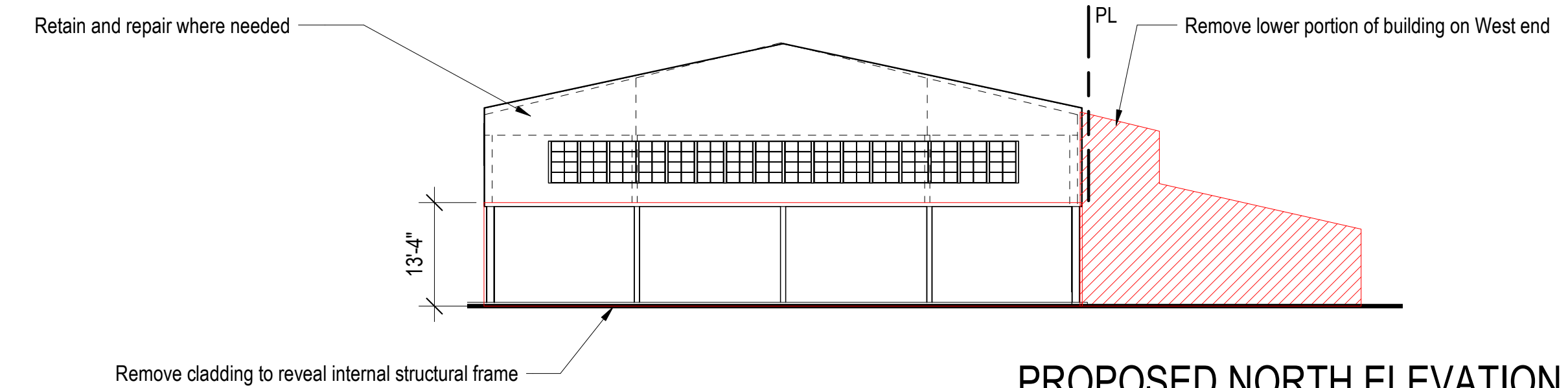
PROPOSED STRUCTURE



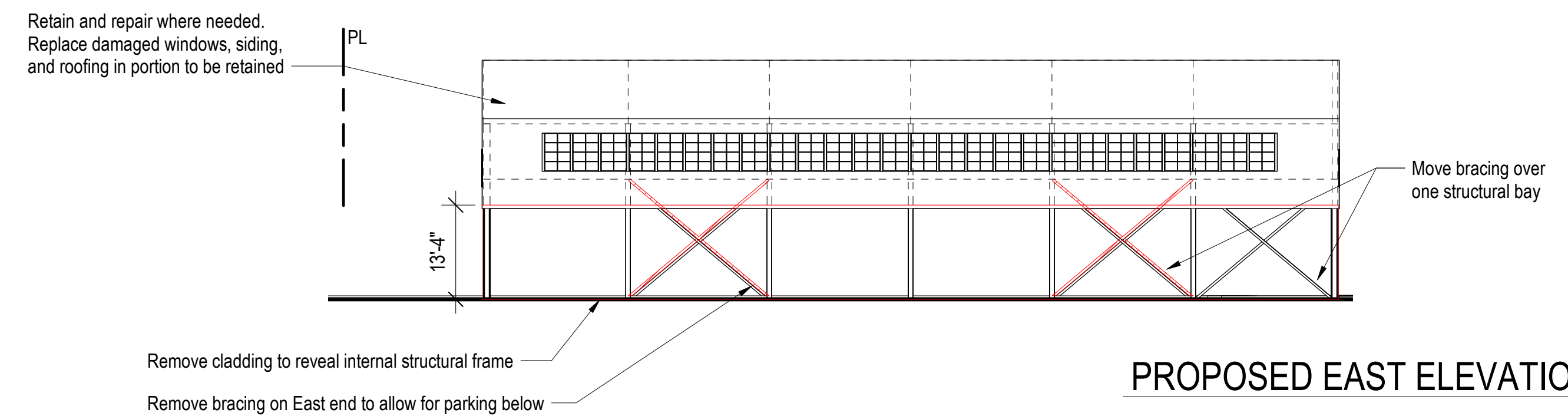
RELOCATION



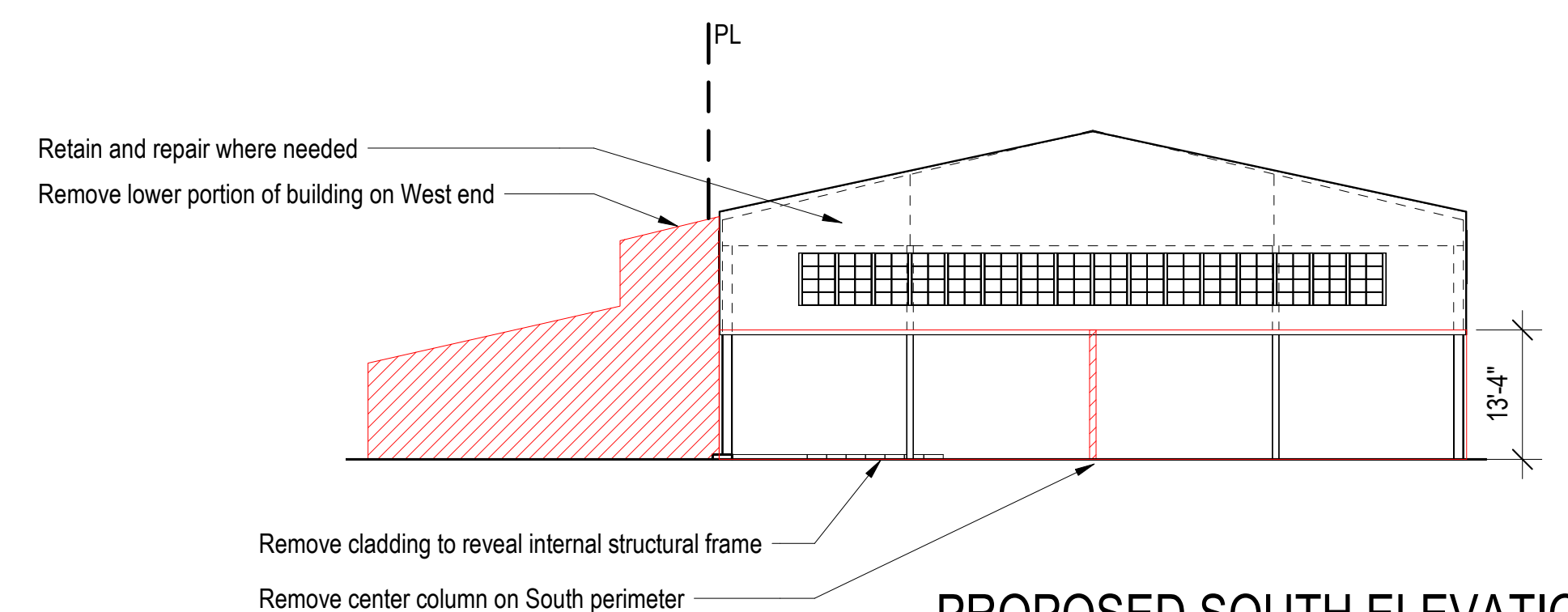
PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION

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703 BANCROFT WAY PROPOSED MODIFICATIONS

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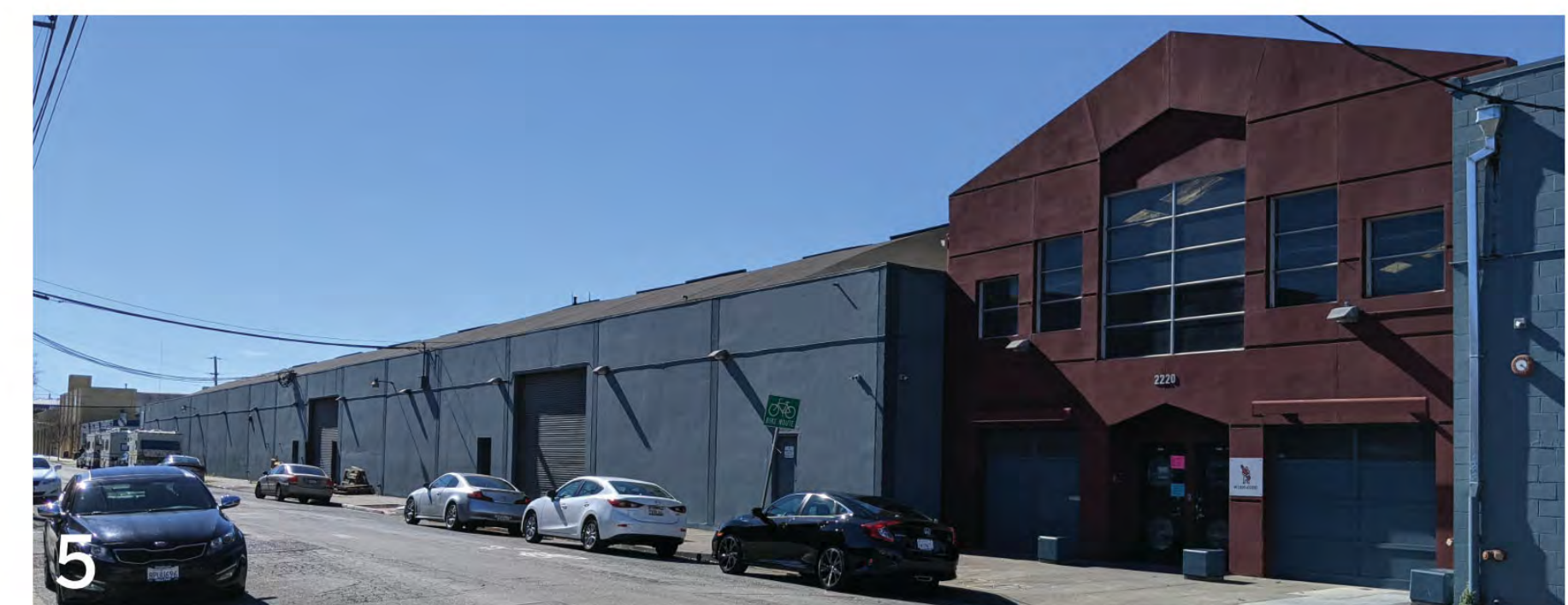
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SITE PHOTOGRAPHS

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**SITE
PHOTOGRAPHS OF
BUILDINGS TO BE
DEMOLISHED**

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**AVERAGE
 ELEVATION
 CALCULATION**

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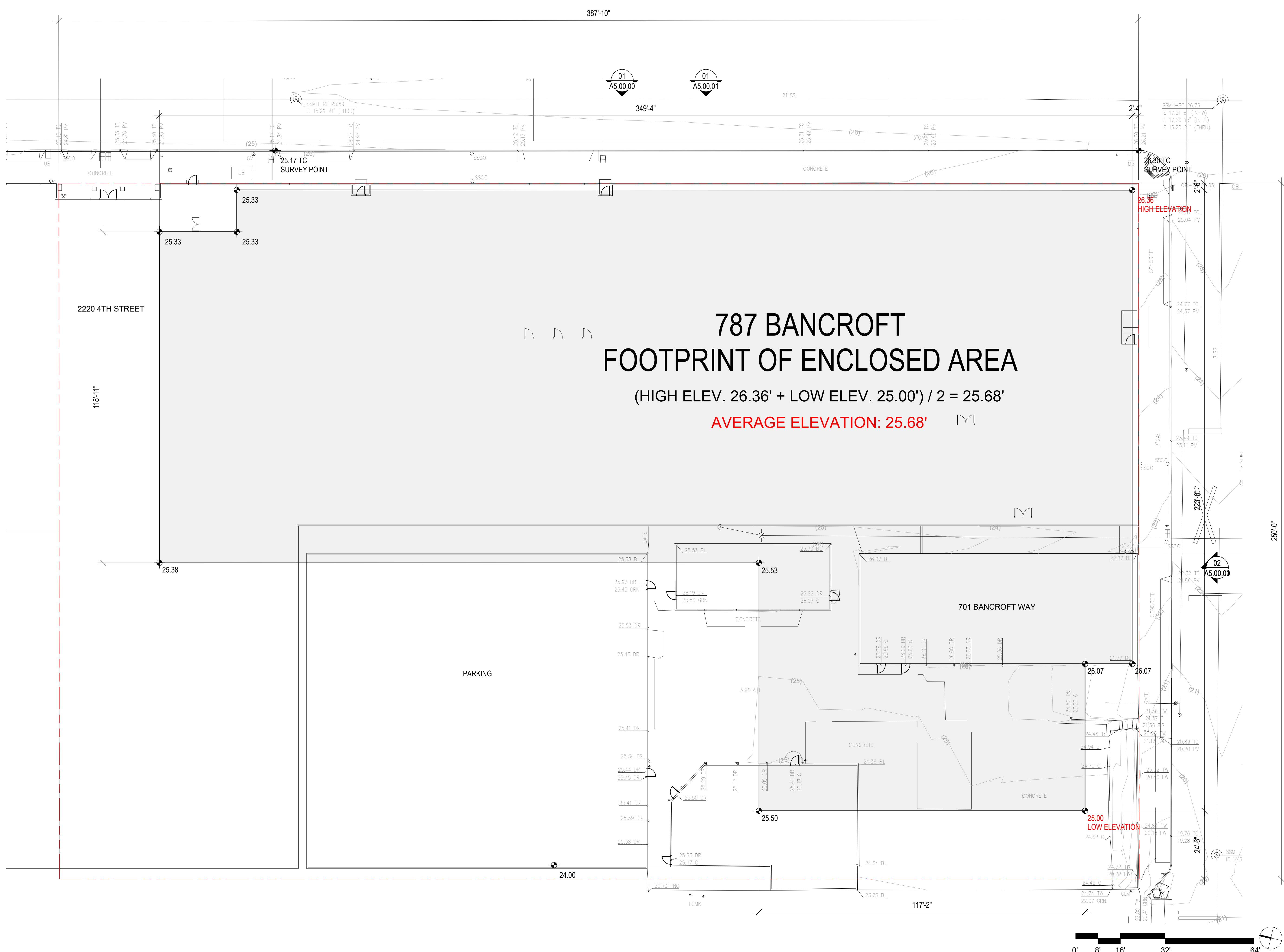
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1/16" = 1'-0"

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**787 BANCROFT
 FOOTPRINT OF ENCLOSED AREA**
 (HIGH ELEV. 26.36' + LOW ELEV. 25.00') / 2 = 25.68'
AVERAGE ELEVATION: 25.68'

BUILDING FOOTPRINT 1
 SCALE: 1/16" = 1'-0"

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2	50% SCHEMATIC DESIGN	2021.04.30
3	90% SCHEMATIC DESIGN	2021.05.21

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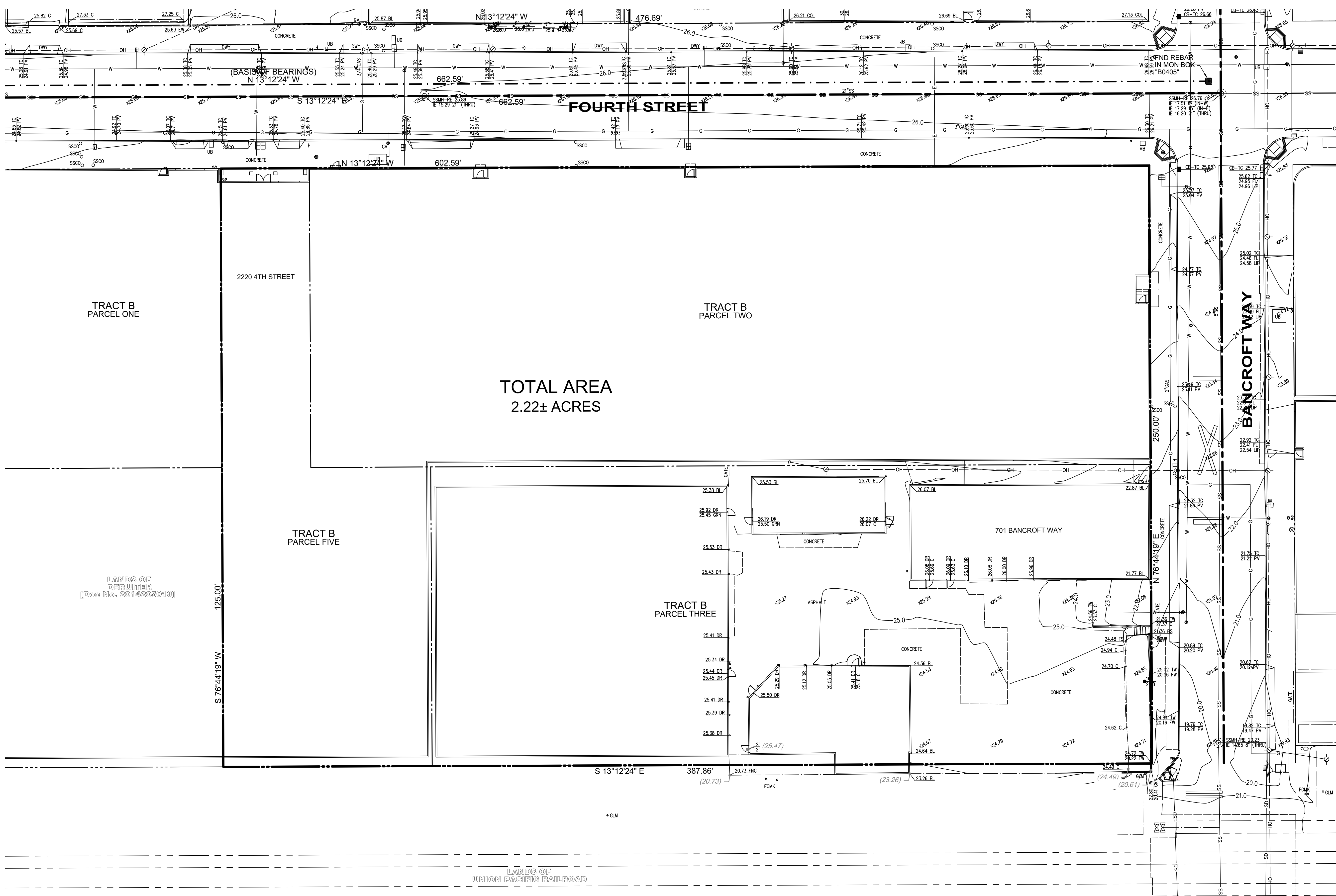
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TOTAL AREA
2.22± ACRES

LANDS OF
DERUNTER
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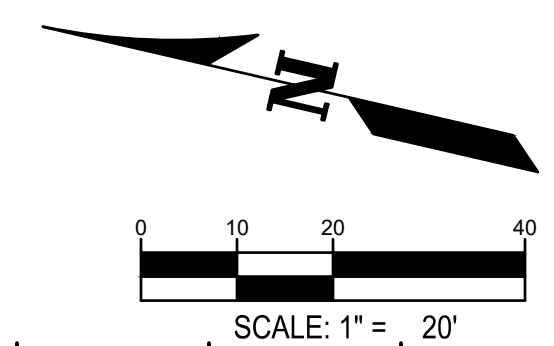
LANDS OF
UNION PACIFIC RAILROAD

ABBREVIATIONS

AC	AIR CONDITION	GLM	GAS LINE MARKER
BL	BUILDING	GRN	GROUND
BR	BOTTOM OF RAMP	GV	GAS VALVE
BS	BOTTOM OF STEP	JB	JUNCTION BOX
CB	CATCH BASIN	LIP	LIP OF GUTTER
COL	COLUMN	MB	MAIL BOX
CTV	CABLE TELEVISION	MH	MANHOLE
DI	DROP INLET	PED	PEDESTAL
DR	DOOR	PV	PAVEMENT
DWY	DRIVEWAY	RE	RIM ELEVATION
IE	INVERT ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TS	TOP OF STEP
EW	EDGE OF WALK	UB	UTILITY BOX
FF	FINISH FLOOR	VG	VALLEY GUTTER
FNC	FENCE	WB	WATER BOX

LEGEND

PROPERTY LINE	--- ---	STORM DRAIN MANHOLE	⊙	SIGN	→	STORM DRAIN	SD
ADJACENT PROPERTY LINE	--- ---	SANITARY SEWER MANHOLE	⊙	TREE W/ SIZE AND ELEVATION	● 10' 100.0'	WATER	W
CENTERLINE	--- ---	CLEAN OUT	○	SPOT ELEVATION	○	GAS	G
MONUMENT LINE	--- ---	GAS METER	⊙	CONTOUR	--- ---	UNDERGROUND ELECTRIC	E
BUILDING LINE W/ DOOR	--- ---	UTILITY POLE W/ GUY WIRE	⊙	INDEX CONTOUR	--- ---	OVERHEAD	OH
BUILDING OVERHANG	--- ---	VALVE	⊙	CURB	--- ---	JOINT TRENCH	JT
FOUND MONUMENT AS NOTED	⊙	CATCH BASIN / DROP INLET	⊙	CURB & GUTTER	--- ---		
BOLLARD LIGHT	⊙	WATER METER	⊙	CONCRETE	--- ---		
LIGHT	⊙	FIRE DEPARTMENT CONNECTION	⊙	FENCE	--- ---		
STREET LIGHT	⊙	BACK FLOW PREVENTER	⊙	RETAINING WALL	--- ---		
TRANSFORMER	⊙	UTILITY BOX (SIZE VARIES)	⊙	EDGE OF PAVEMENT	--- ---		
FIRE HYDRANT	⊙	MONITORING WELL	⊙	SANITARY SEWER	--- ---		



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Sheet Name:

**CONCEPTUAL
 DEMOLITION
 PLAN**

Project No.:

220175

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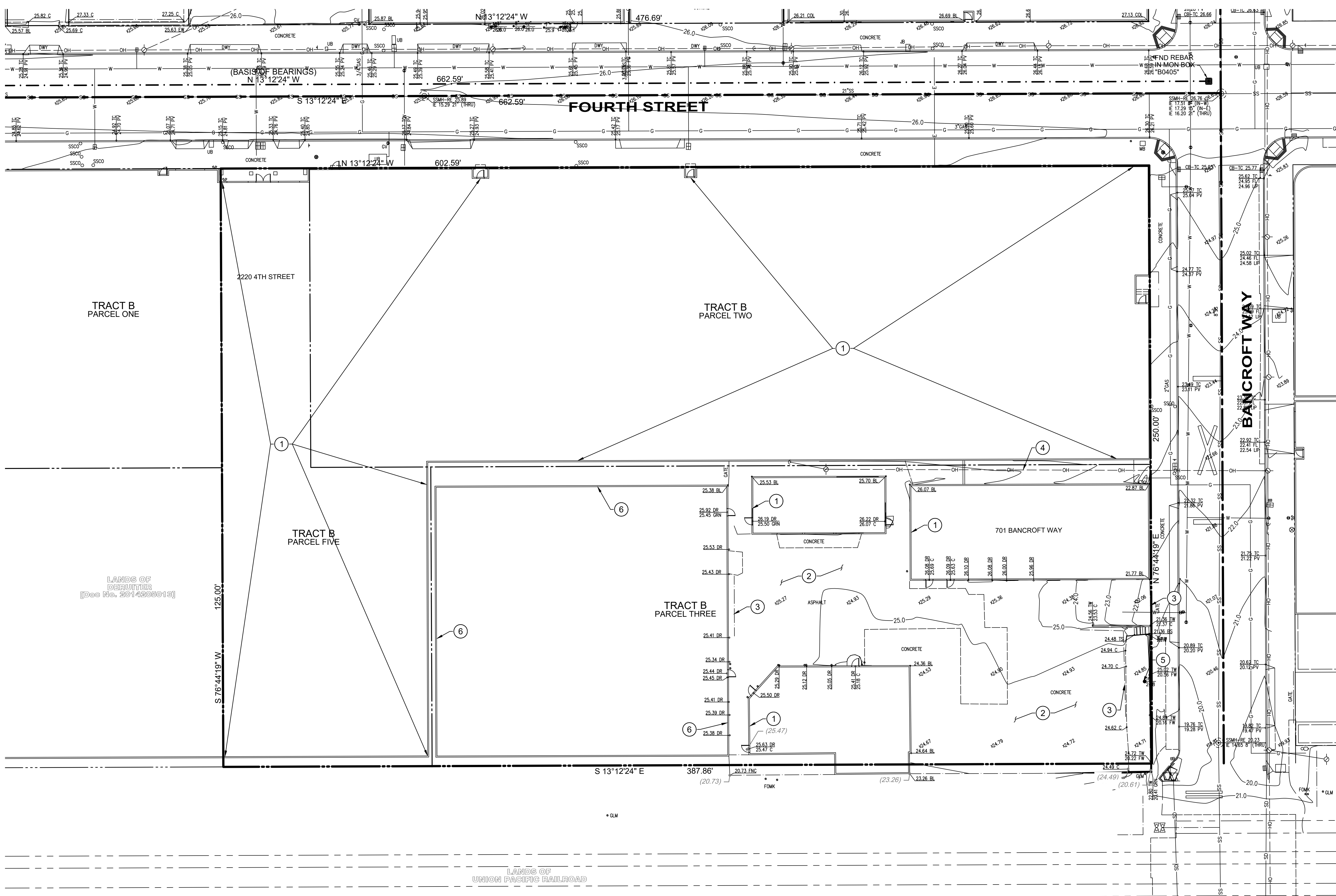
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220175

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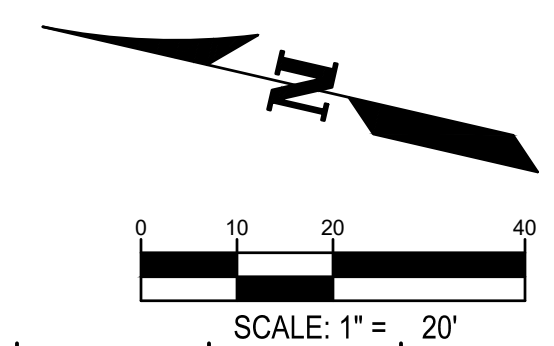


KEYNOTES

- ① REMOVE EXISTING BUILDING
- ② REMOVE EXISTING CONCRETE AND/OR ASPHALT
- ③ REMOVE EXISTING FENCE AND/OR GATE
- ④ REMOVE EXISTING OVERHEAD UTILITIES
- ⑤ REMOVE EXISTING TREE
- ⑥ RELOCATE EXISTING STRUCTURE

LEGEND

PROPERTY LINE		STORM DRAIN MANHOLE		SIGN		STORM DRAIN	
ADJACENT PROPERTY LINE		SANITARY SEWER MANHOLE		TREE W/ SIZE AND ELEVATION		WATER	
CENTERLINE		CLEAN OUT		SPOT ELEVATION		GAS	
MONUMENT LINE		GAS METER		CONTOUR		UNDERGROUND ELECTRIC	
BUILDING LINE W/ DOOR		UTILITY POLE W/ GUY WIRE		INDEX CONTOUR		OVERHEAD	
BUILDING OVERHANG		VALVE		CURB		JOINT TRENCH	
FOUND MONUMENT AS NOTED		CATCH BASIN / DROP INLET		CURB & GUTTER			
BOLLARD LIGHT		WATER METER		CONCRETE			
LIGHT		FIRE DEPARTMENT CONNECTION		FENCE			
STREET LIGHT		BACK FLOW PREVENTER		RETAINING WALL			
TRANSFORMER		UTILITY BOX (SIZE VARIES)		EDGE OF PAVEMENT			
FIRE HYDRANT		MONITORING WELL		SANITARY SEWER			



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1	USE PERMIT APPLICATION	2021.03.25
2	50% SCHEMATIC DESIGN	2021.04.30
3	90% SCHEMATIC DESIGN	2021.05.21

Key Plan:

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**CONCEPTUAL
 GRADING PLAN**

Project No.:

Sheet No.:

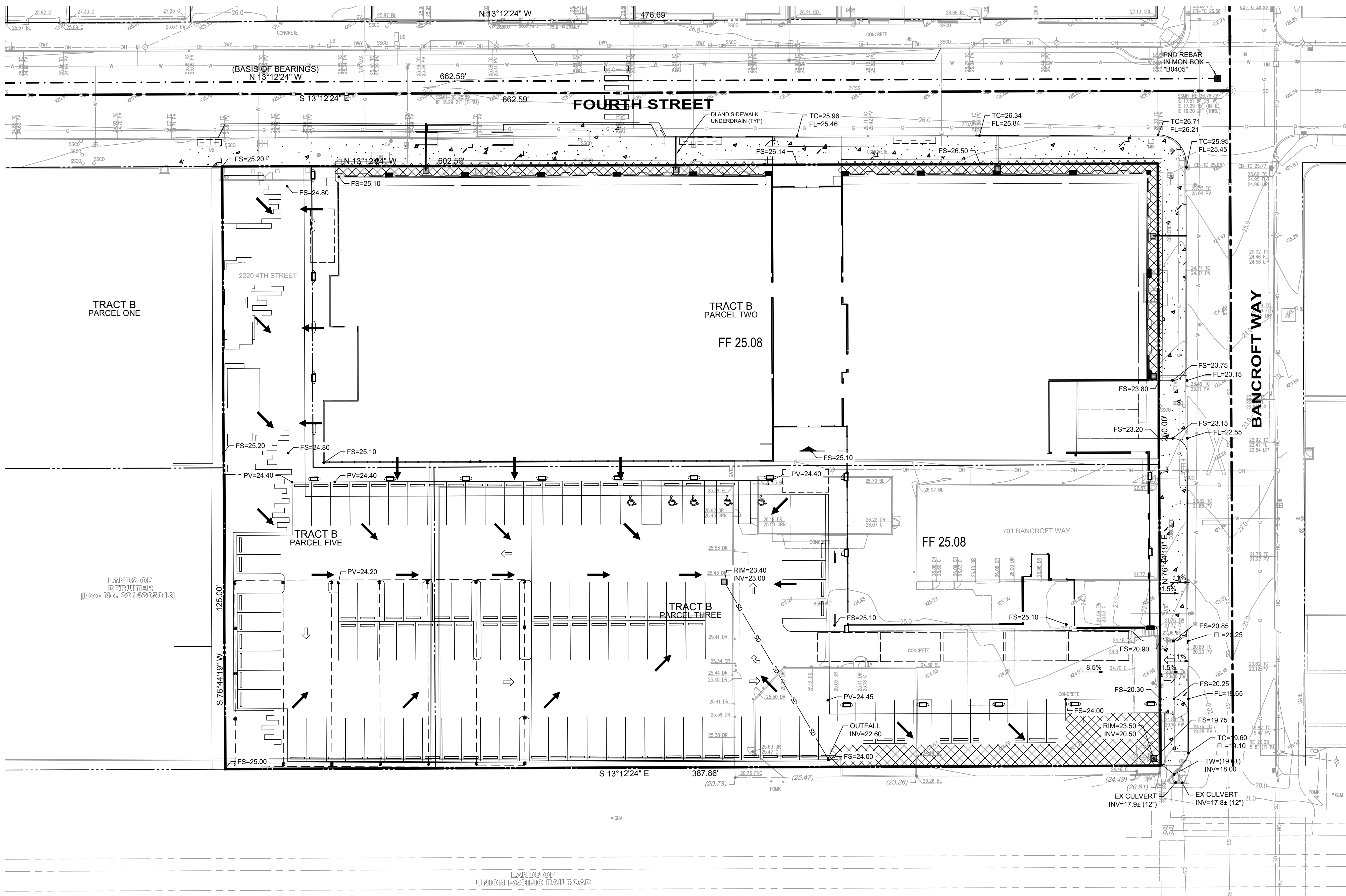
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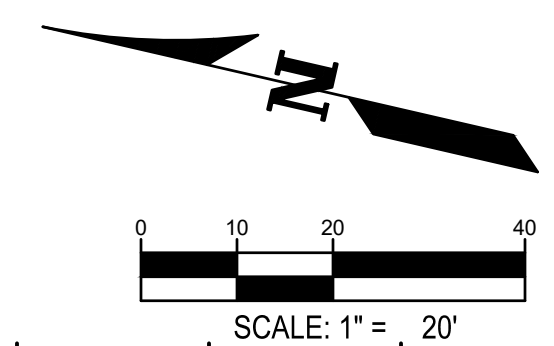
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LEGEND:

	PROPERTY LINE		PROPOSED SWALE		FLOW DIRECTION
	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING
	EXISTING 1' CONTOUR		EXISTING NATURAL GAS LINE		GRADE BREAK
	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL
	PROPOSED STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)		REMOVE AND REPLACE CURB, GUTTER AND SIDEWALK
	EXISTING STORM INLET		PROPOSED SLOPE AND DIRECTION		PROPOSED STORMWATER TREATMENT AREA



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Key Plan:

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Sheet Name:
**CONCEPTUAL
 STORMWATER
 MANAGEMENT
 PLAN**

Project No.:

Sheet No.:

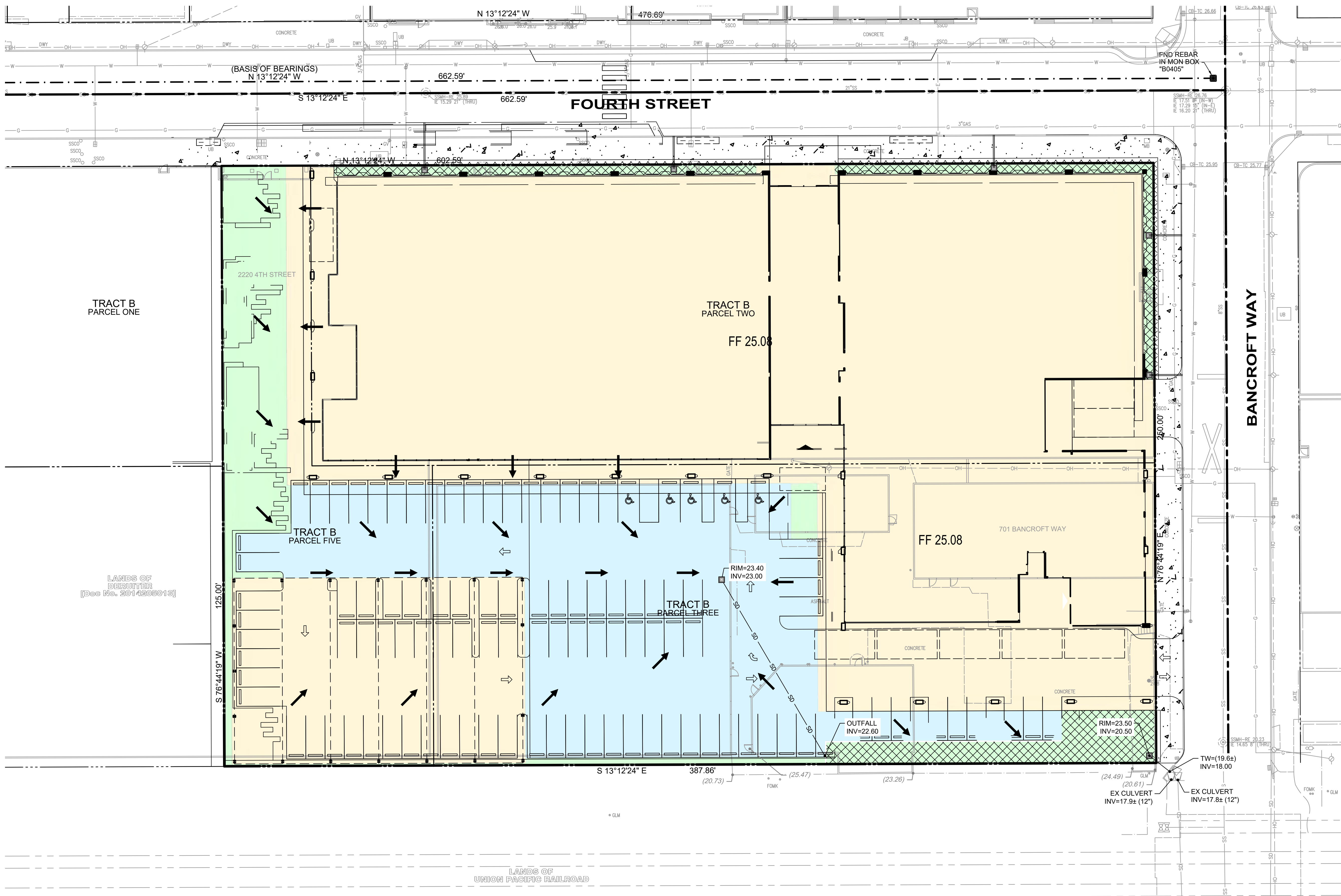
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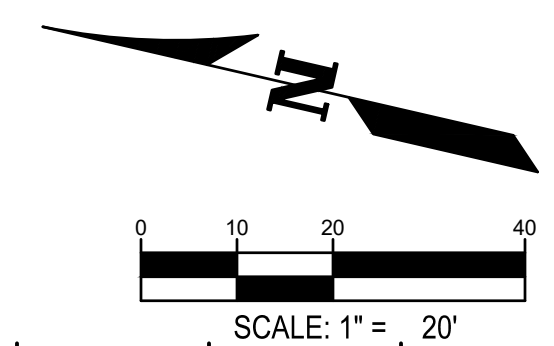
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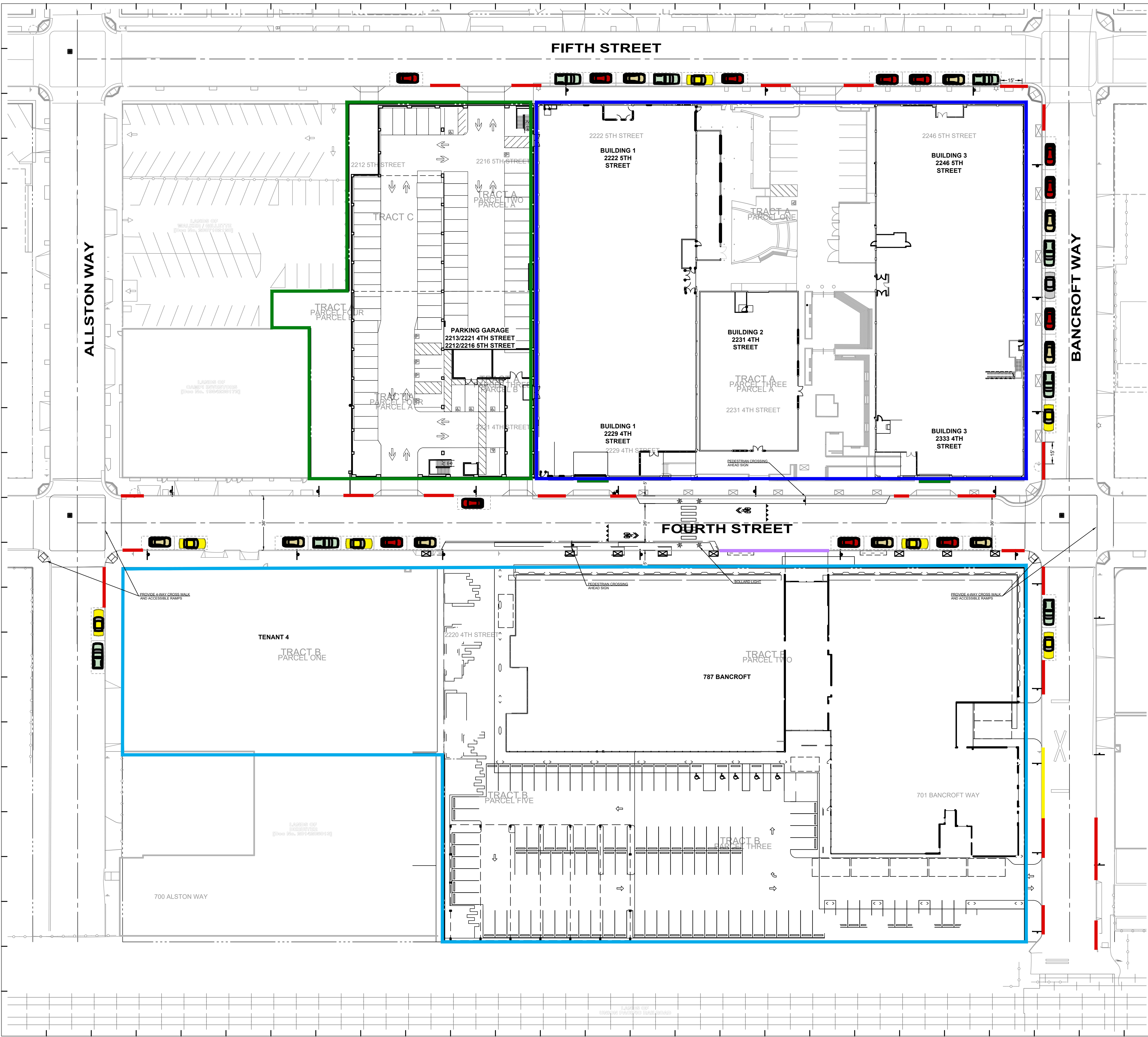


LEGEND:

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	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING
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	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL
	PROPOSED STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)		
	EXISTING STORM INLET		PROPOSED SLOPE AND DIRECTION		

	NEW ROOF = 1.60± AC
	NEW PAVEMENT = 0.43± AC
	SELF TREATING AREA = 0.11± AC
	BIO-TREATMENT AREA = 0.08± AC
	PUBLIC IMPROVEMENTS (SEPARATE PERMIT)





- LEGEND**
- NO PARKING - RED CURB
 - LOADING ZONE - YELLOW CURB
 - PASSENGER LOADING ZONE - WHITE CURB
 - PARKING STALL
 - PHASE 1
 - PHASE 2
 - PHASE 3
 - EXISTING FH WITH 3' RADIUS CLEARANCE
 - PROPOSED 'NO OVERNIGHT PARKING' SIGN - SEE DETAIL ON THIS SHEET



NO OVERNIGHT PARKING SIGN

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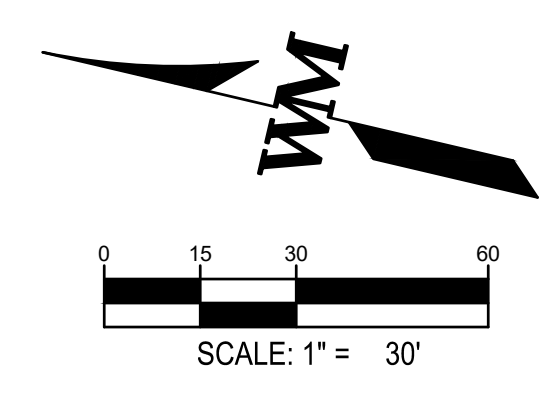
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OVERALL SITE PLAN



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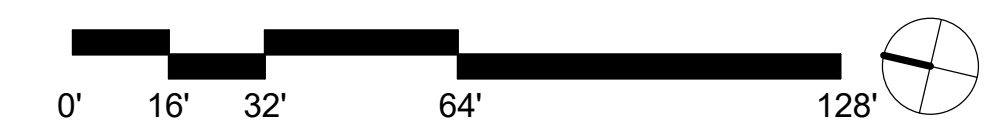
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LAB MASTERPLAN



PROPOSED ROOF LEVEL SITE PLAN 01

SCALE: 1/32" = 1'-0"

Project No.:

Sheet No.:

220175

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Scale: 1/32" = 1'-0"

A1.01.00

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OVERALL SITE PLAN

Project No.:

220175

Drawn By: Author

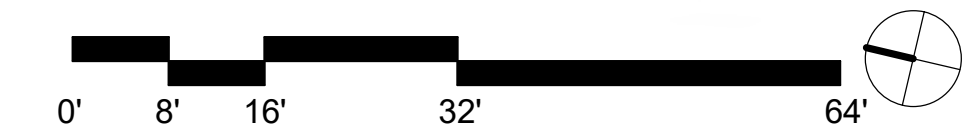
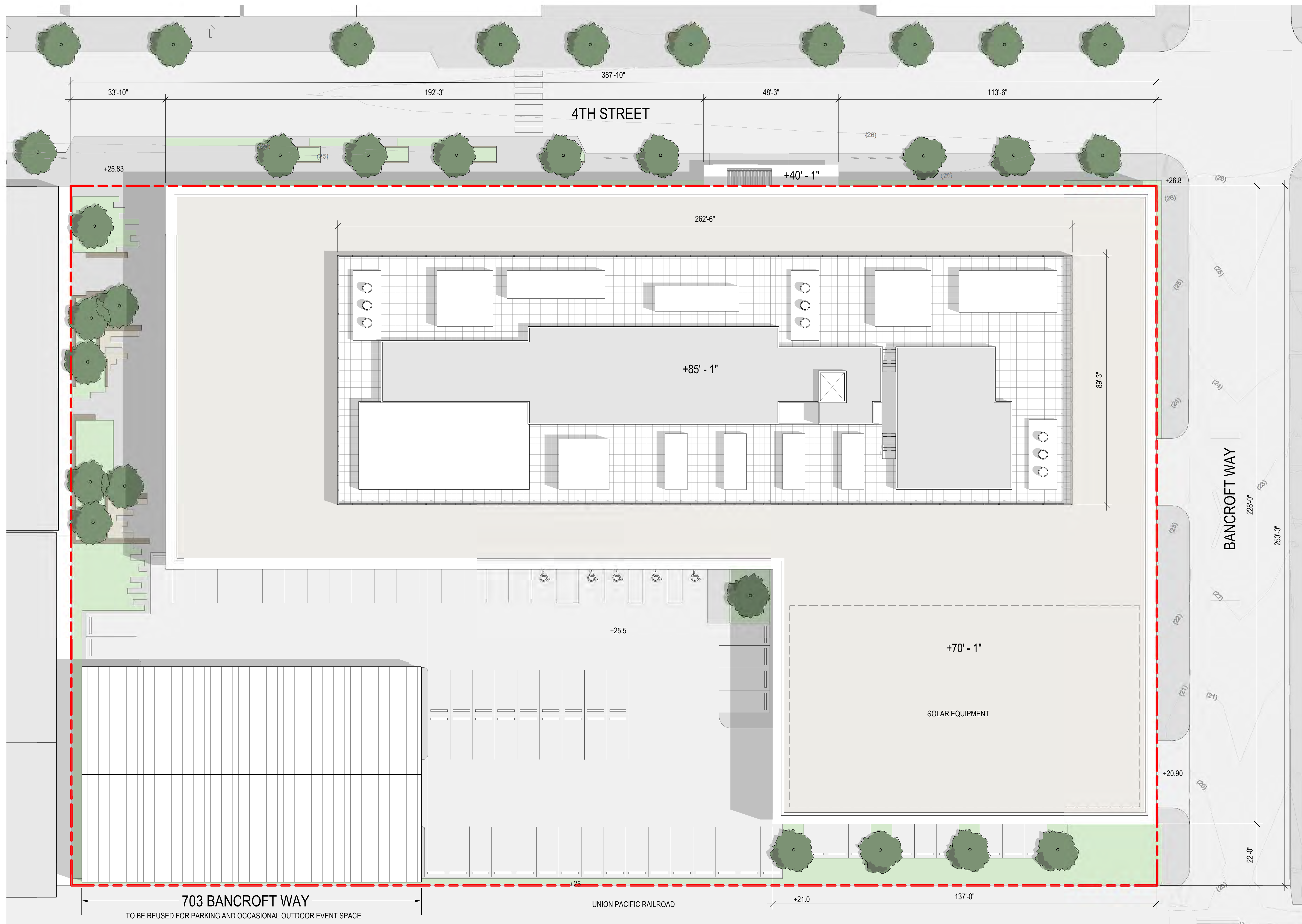
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Sheet No.:

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SITE PLAN 01
 SCALE: 1/16" = 1'-0"

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OVERALL FLOOR PLAN - LEVEL 01

Project No.:

220175

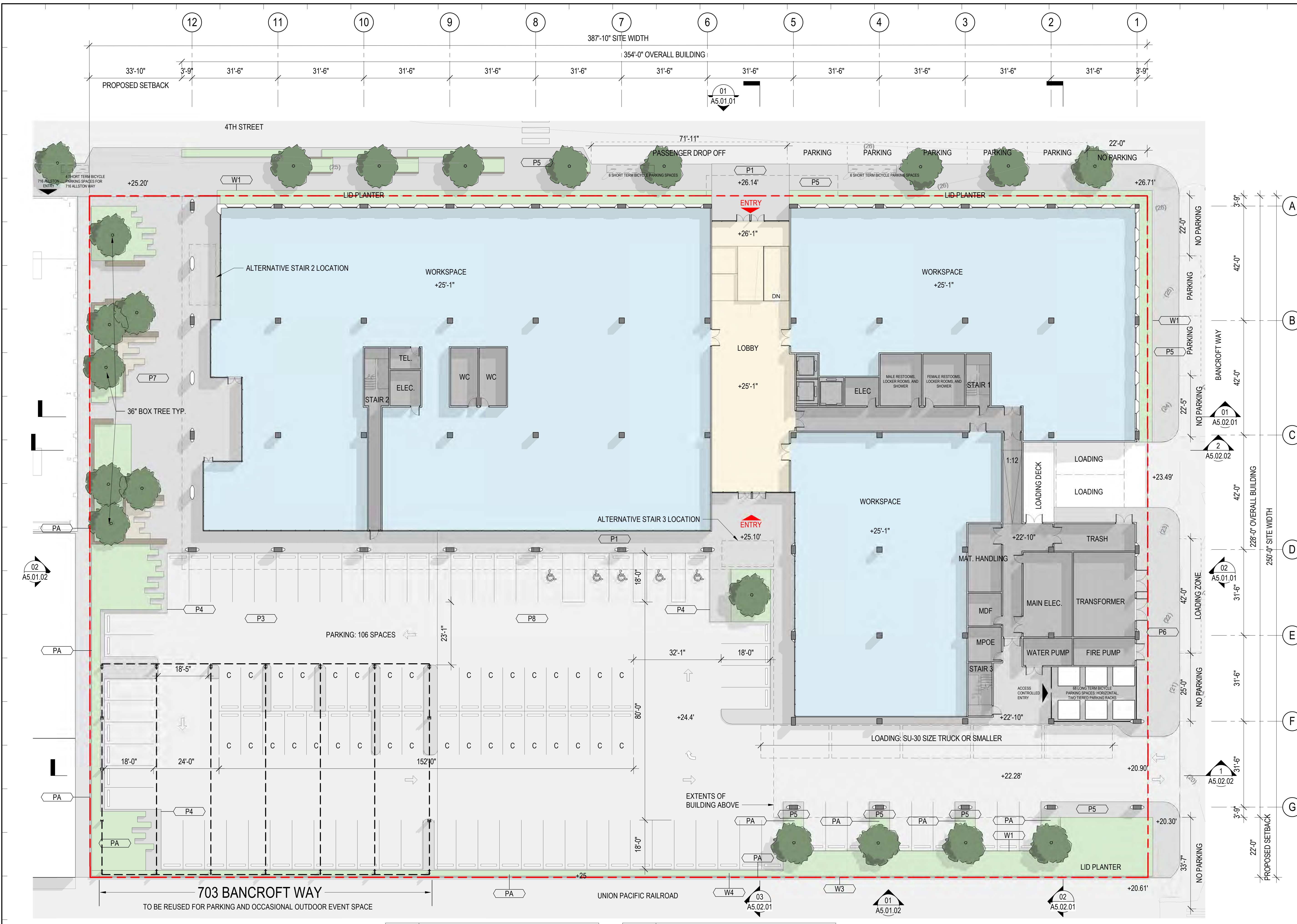
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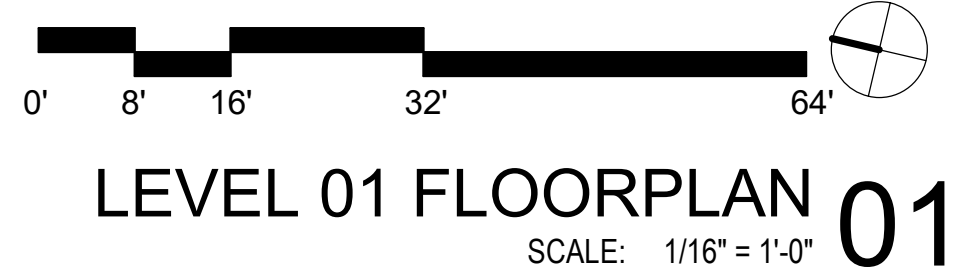
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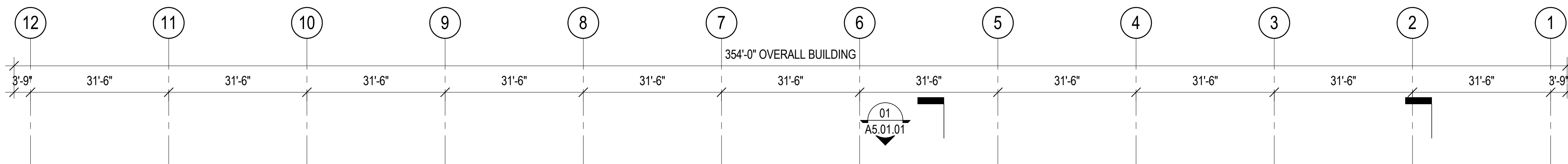
- GENERAL NOTES:
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINT'S RELATIONSHIP TO BERKELEY CITY DATUM
 - ALL PARKING SPACES ARE 8'-0"X18'-0" EXCEPT FOR SPACES MARKED "C" WHICH ARE 8'-0"X16'-0"
 - "NO PARKING" DESIGNATED BY RED CURB
 - PARKING LOT DRIVEWAY ALONG BANCROFT WILL NOT HAVE GATE
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO SU-30 OR SMALLER SIZE TRUCKS
 - AT LEAST 40% OF TOTAL PARKING SPACES WILL BE EQUIPPED WITH EV RACEWAYS UPON COMPLETION

P1	CONCRETE PAVING / INTEGRAL COLOR
P2	2-3/8" INTERLOCKING CONCRETE PAVER
P3	4" PRECAST CONCRETE PAVER
P4	CONCRETE FLUSH CURB
P5	4" SIDEWALK CONCRETE PAVING / NATURAL GREY
P6	6" SIDEWALK CONCRETE PAVING / NATURAL GREY
P7	PERMEABLE INTERLOCKING CONCRETE PAVER

P8	ASPHALT
PA	PLANTING AREA
W1	CUSTOM FLOW THROUGH PLANTER WALL
W3	CIP CUSTOM CONCRETE PLANTER WALL
W4	RETAINING WALL



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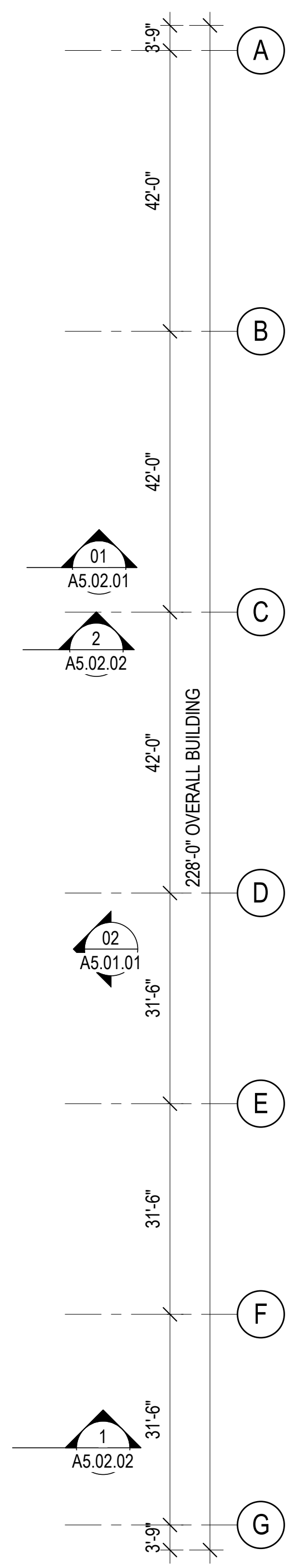
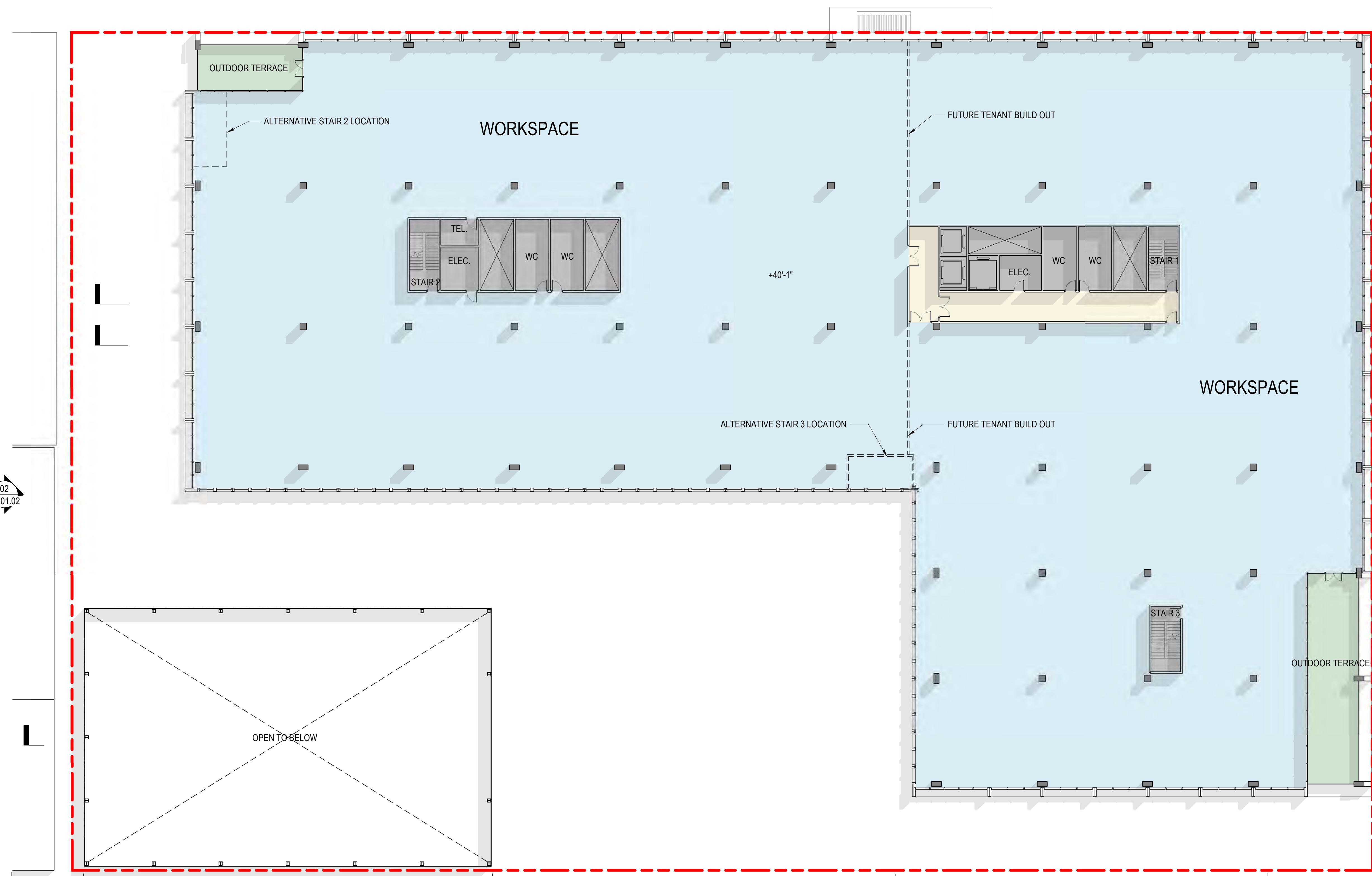
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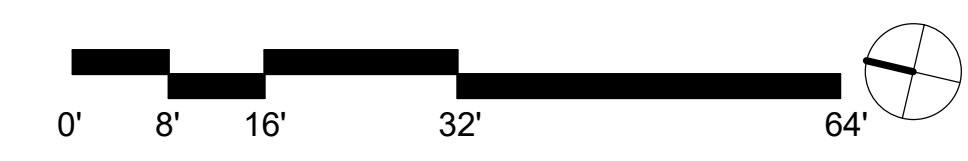
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Sheet Name:
OVERALL FLOOR PLAN - LEVEL 02

Project No.:	220175	Sheet No.:	A2.02.00
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Scale:	1/16" = 1'-0"		



703 BANCROFT WAY
 TO BE REUSED FOR PARKING AND OCCASIONAL OUTDOOR EVENT SPACE



LEVEL 02 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

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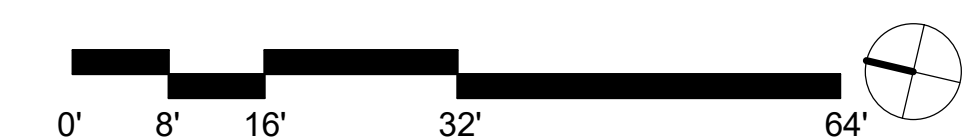
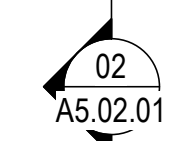
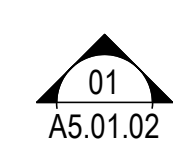
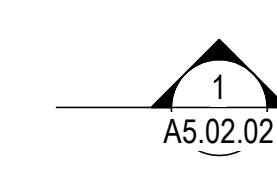
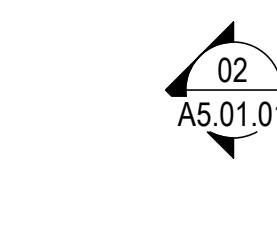
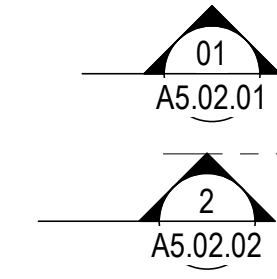
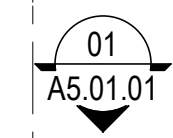
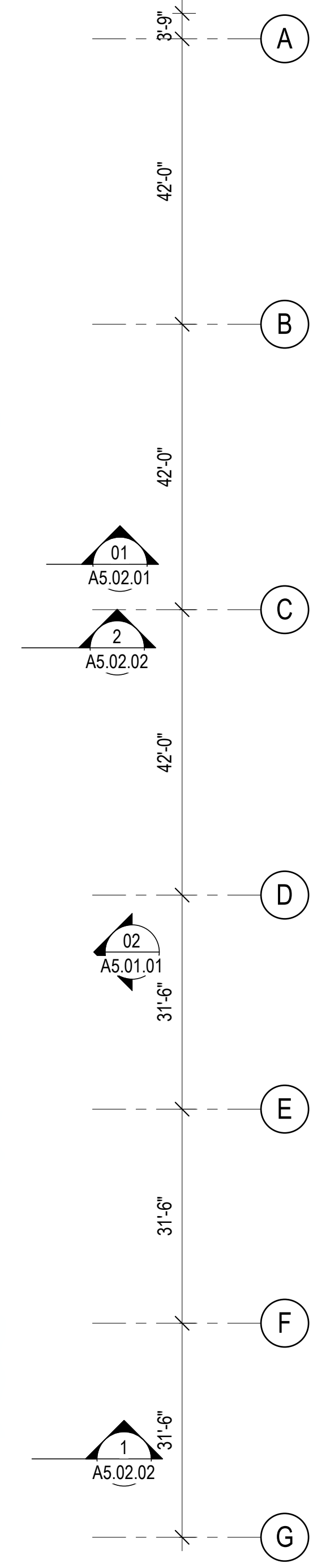
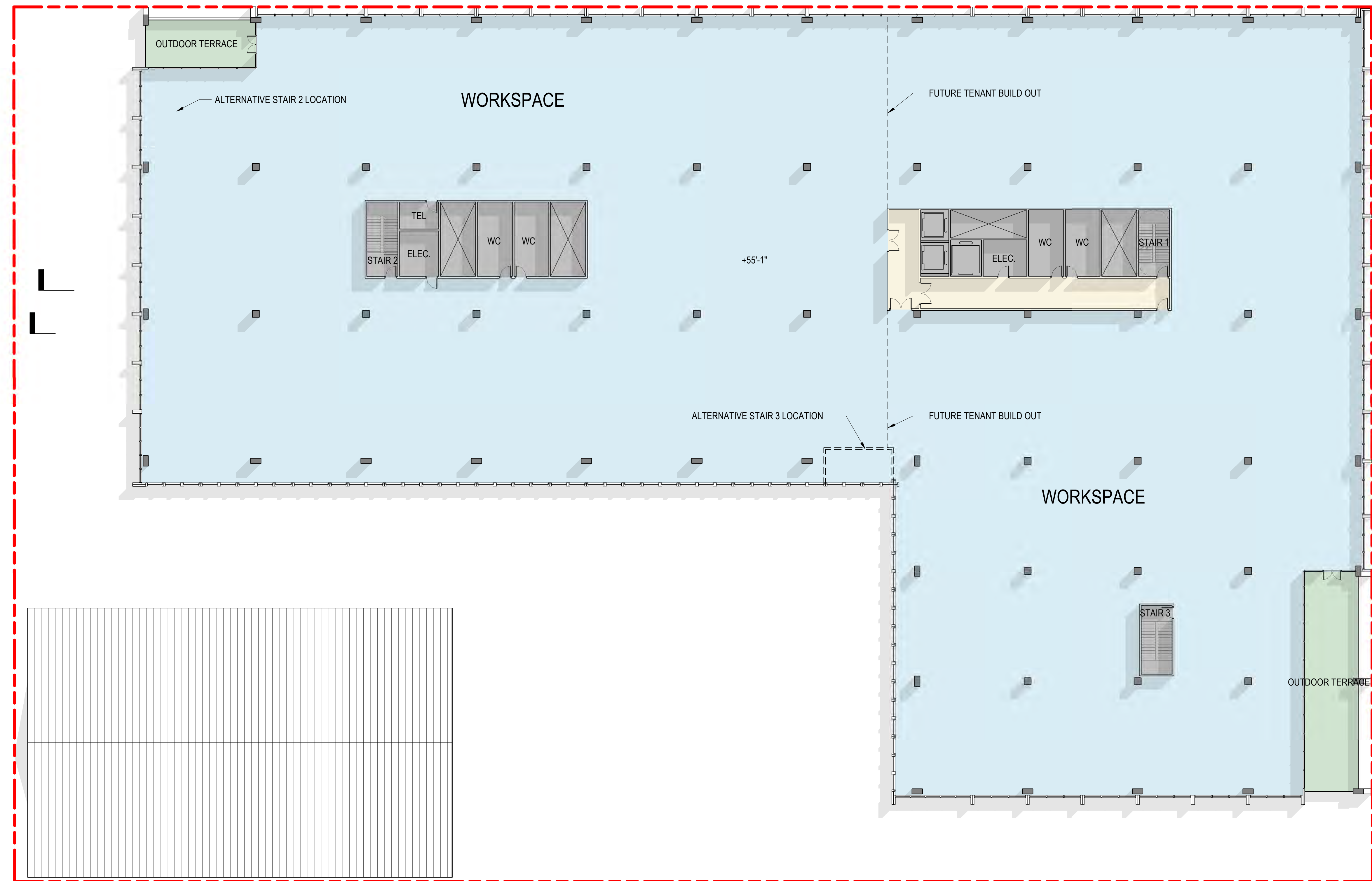
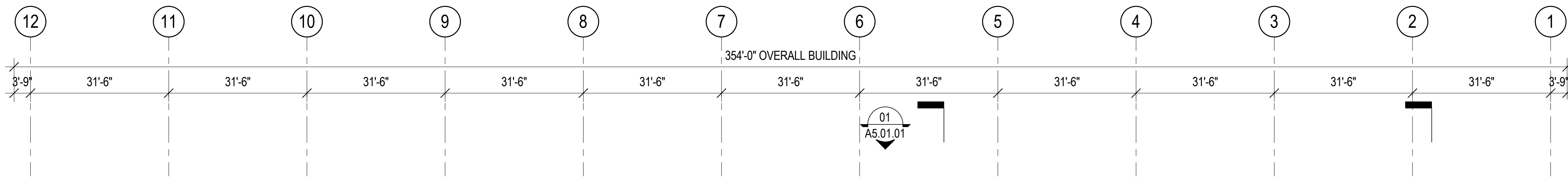
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Sheet Name:
OVERALL FLOOR PLAN - LEVEL 03

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LEVEL 03 FLOORPLAN 01

SCALE: 1/16" = 1'-0"

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03	90% SCHEMATIC DESIGN	2021.05.21

Key Plan:

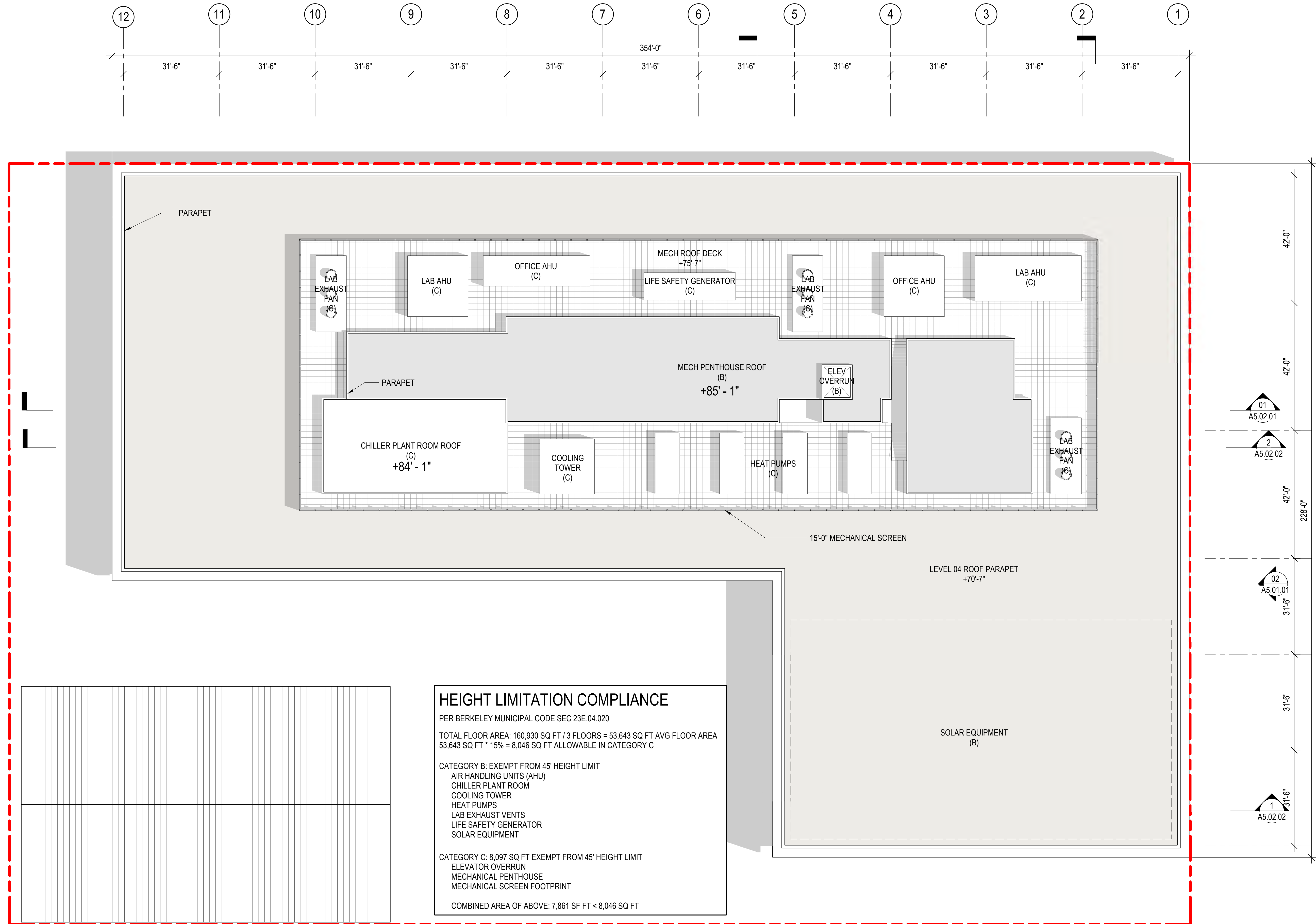
Seal & Signature:

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Sheet Name:

OVERALL FLOOR PLAN - ROOF

Project No.:	220175	Sheet No.:	A2.05.00
Drawn By:	Author	Checked By:	Checker
Scale:	1/16" = 1'-0"		



HEIGHT LIMITATION COMPLIANCE
 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 160,930 SQ FT / 3 FLOORS = 53,643 SQ FT AVG FLOOR AREA
 53,643 SQ FT * 15% = 8,046 SQ FT ALLOWABLE IN CATEGORY C

CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 8,097 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,861 SF FT < 8,046 SQ FT

ROOF PLAN 01
 SCALE: 1/16" = 1'-0"

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER

STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE
SOM
 SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
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BUILDER

LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
 DUBLIN, CA 94568

CIVIL ENGINEER

WARE MALCOMB
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588

MEP ENGINEER

MEYERS+ ENGINEERS
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GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
 270 GRAND AVE
 OAKLAND, CA 94610

SUSTAINABILITY

ATELIER TEN
 443 TEHAMA ST, 1ST FLOOR
 SAN FRANCISCO, CA 94103

Issued For:

No.	Description	Date
	USE PERMIT APPLICATION	2021.03.25
	50% SCHEMATIC DESIGN	2021.04.30
	90% SCHEMATIC DESIGN	2021.05.21

Key Plan:

Seal & Signature:

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Sheet Name:

EXISTING ELEVATIONS

Project No.:

220175

Drawn By: Author

Checked By: Checker

Scale:

1/32" = 1'-0"

Sheet No.:

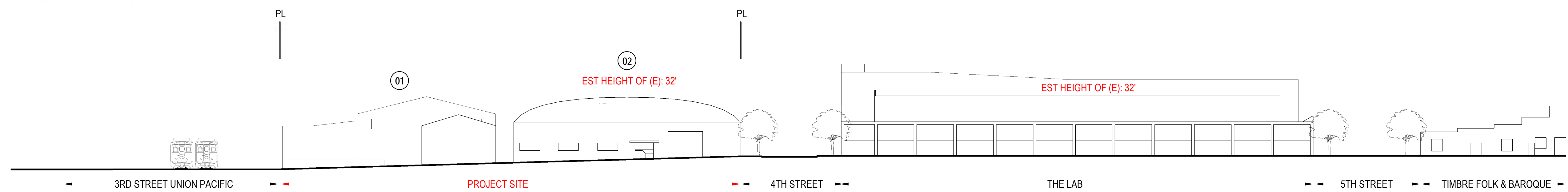
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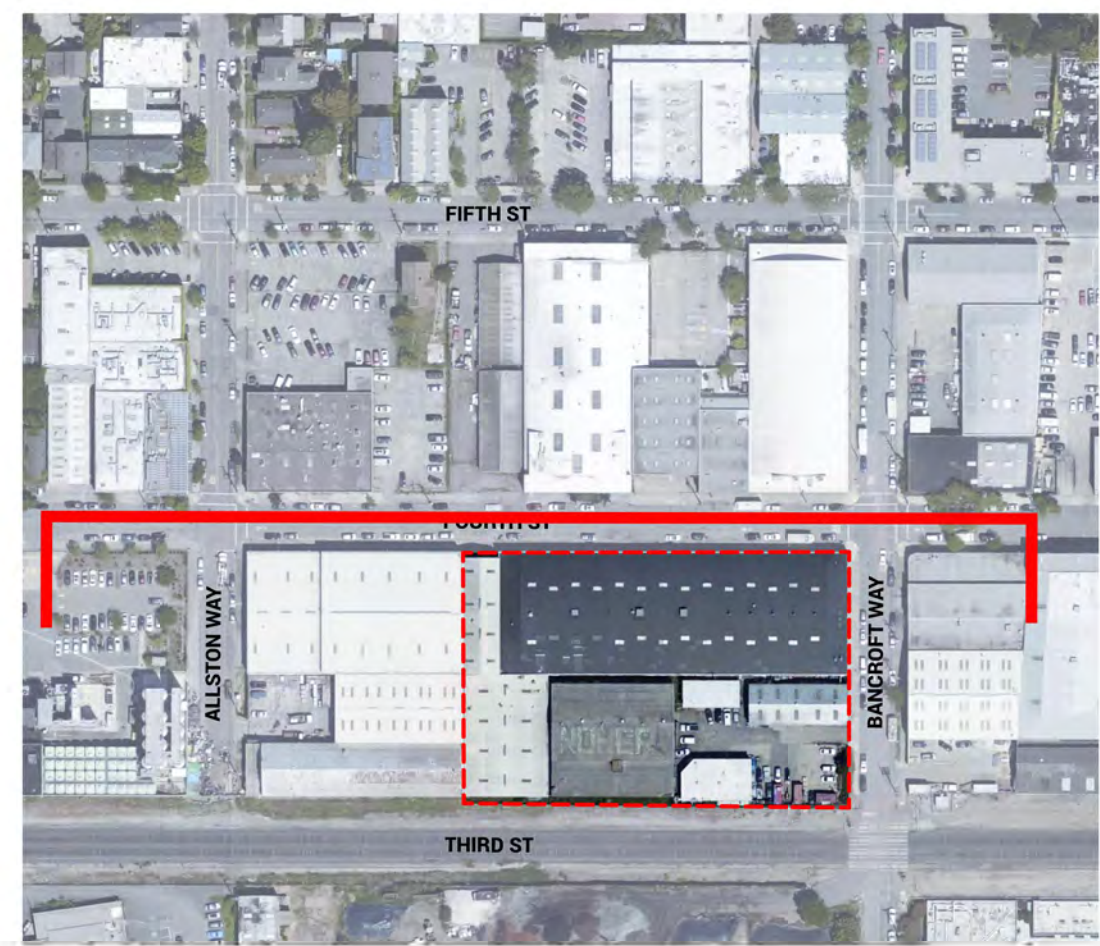
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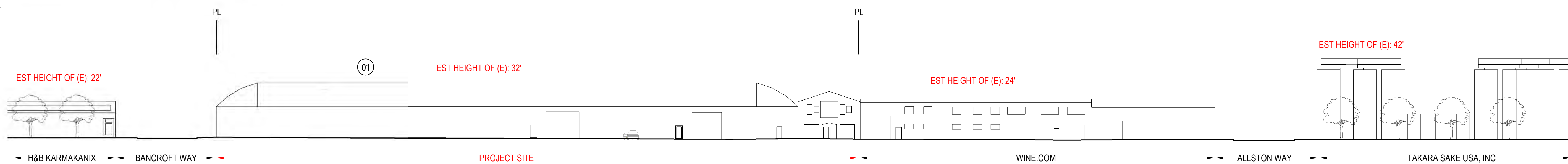
02 WINE.COM



SOUTH SITE ELEVATION EXISTING 02
 SCALE: 1/32" = 1'-0"



01 WINE.COM



EAST SITE ELEVATION EXISTING 01
 SCALE: 1/32" = 1'-0"

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Sheet Name:

SITE ELEVATIONS

Project No.:

220175

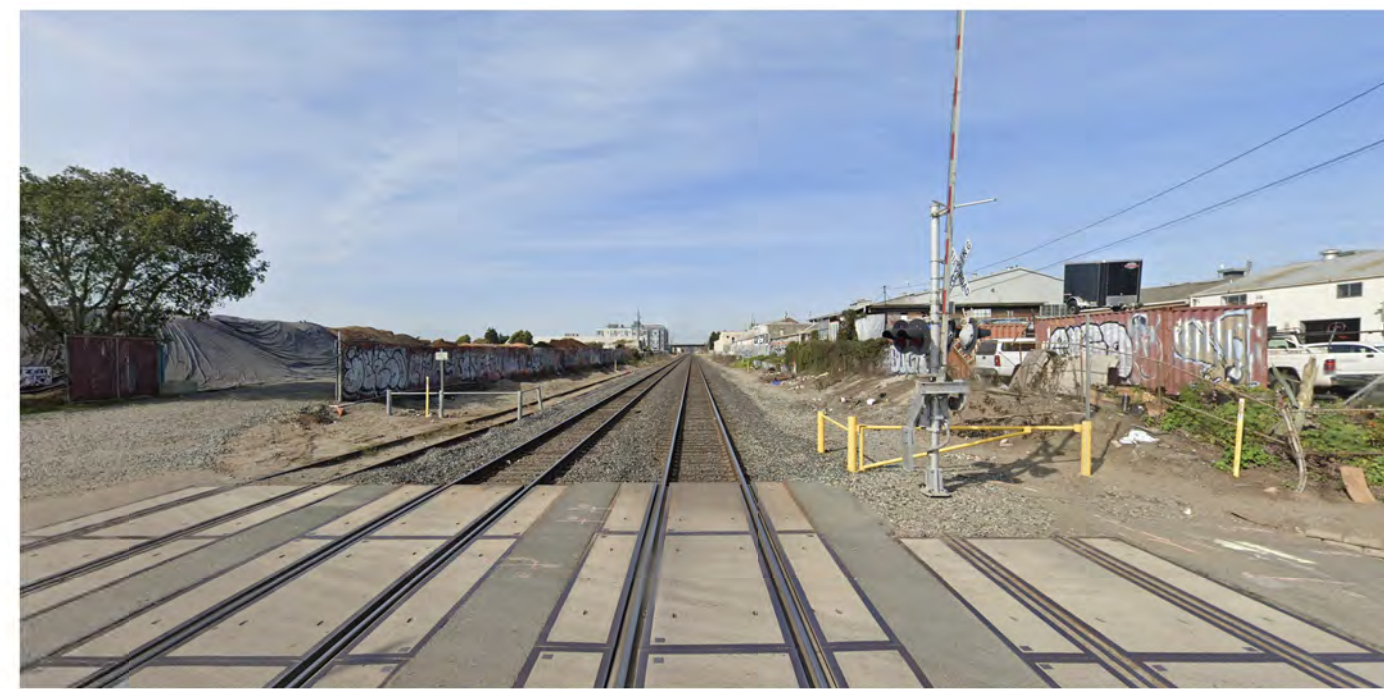
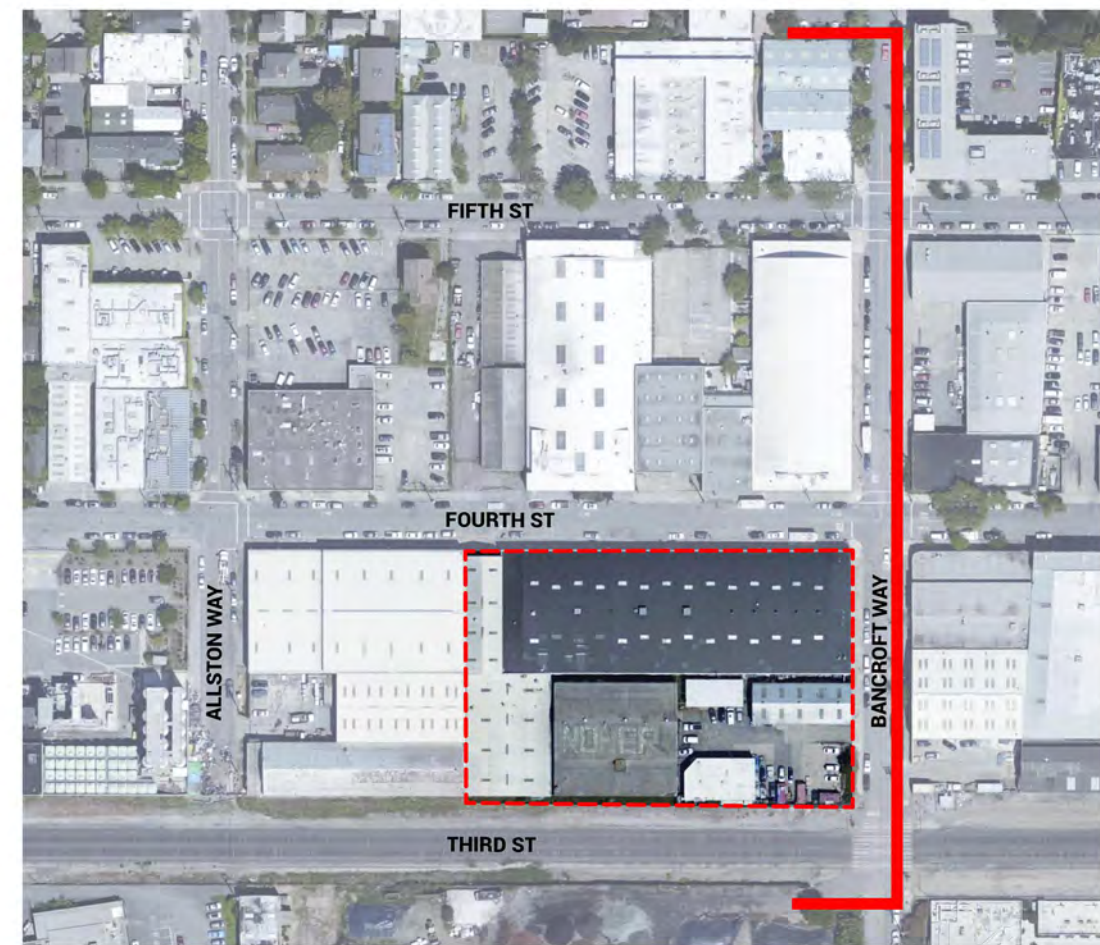
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Checked By: Checker

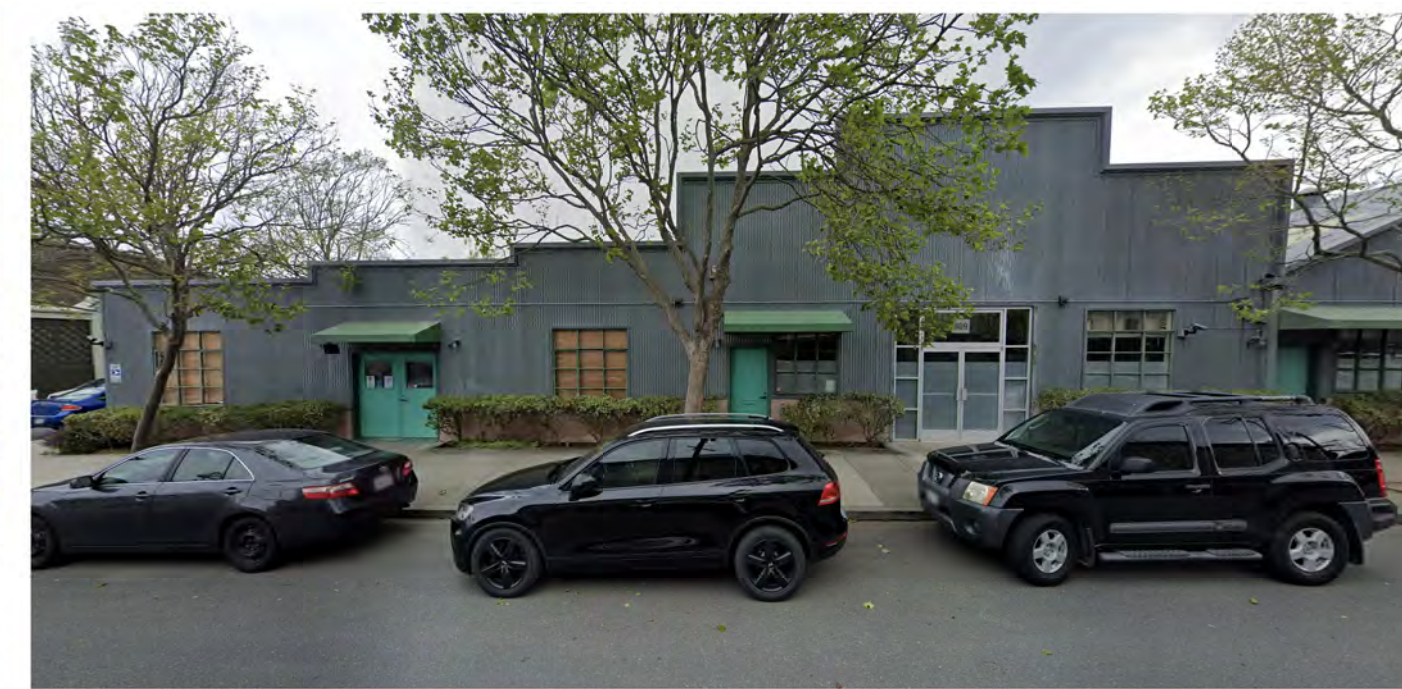
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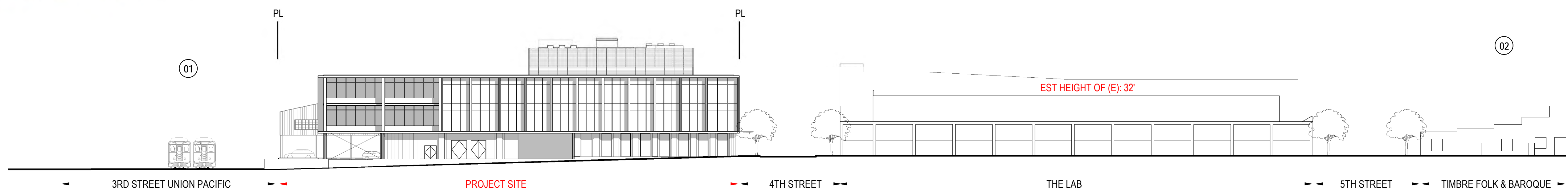
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01 3RD STREET UNION PACIFIC

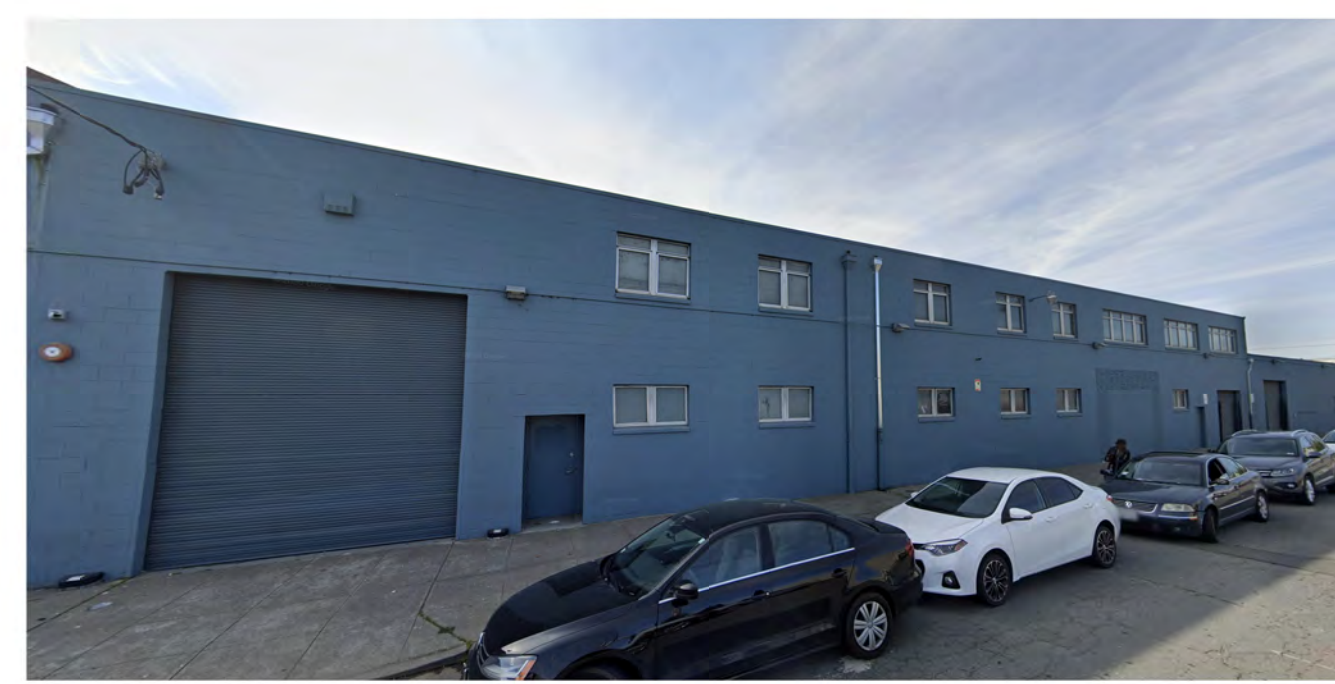


02 TIMBRE FOLK & BAROQUE



SOUTH SITE ELEVATION 02

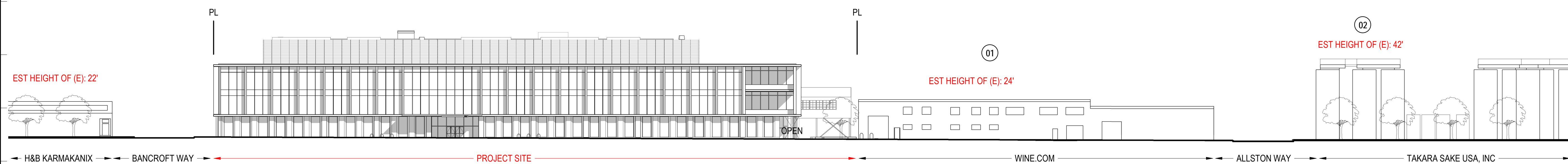
SCALE: 1/32" = 1'-0"



01 WINE.COM



02 TAKARA SAKE USA, INC



EAST SITE ELEVATION 01

SCALE: 1/32" = 1'-0"

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Key Plan:

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Sheet Name:

STREET STRIP
ELEVATIONS

Project No.:

Sheet No.:

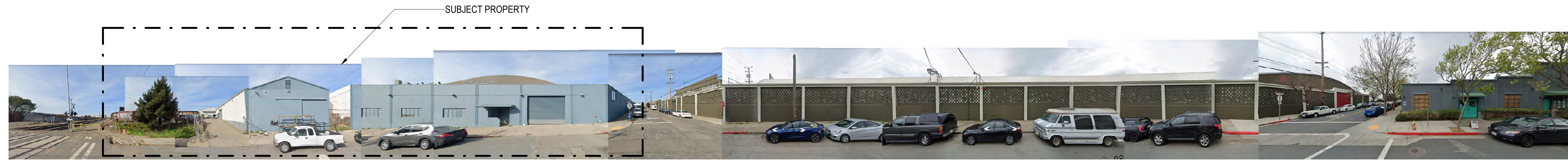
220175

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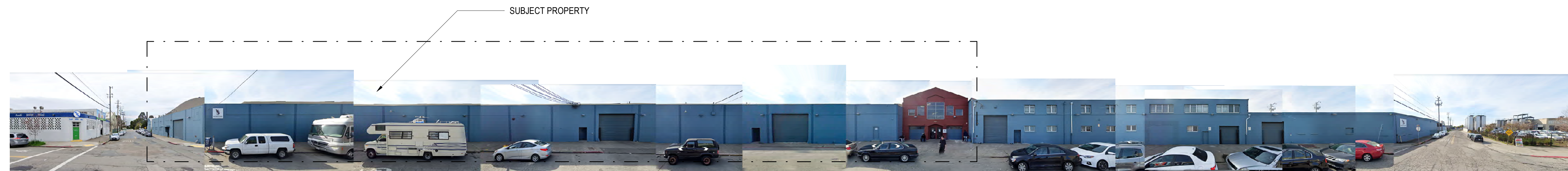
A5.00.02



STREET STRIP, BANCROFT WAY, LOOKING NORTH - EXISTING



STREET STRIP, BANCROFT WAY, LOOKING NORTH - PROPOSED



STREET STRIP, 4TH STREET, LOOKING WEST - EXISTING



STREET STRIP, 4TH STREET, LOOKING WEST - PROPOSED

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EAST AND SOUTH ELEVATIONS

Project No.:

220175

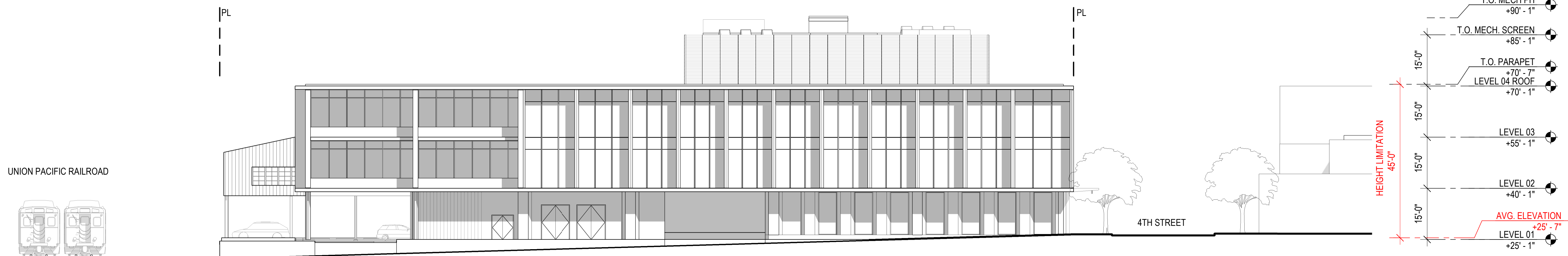
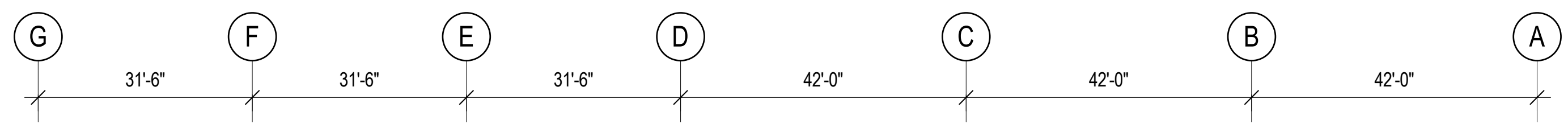
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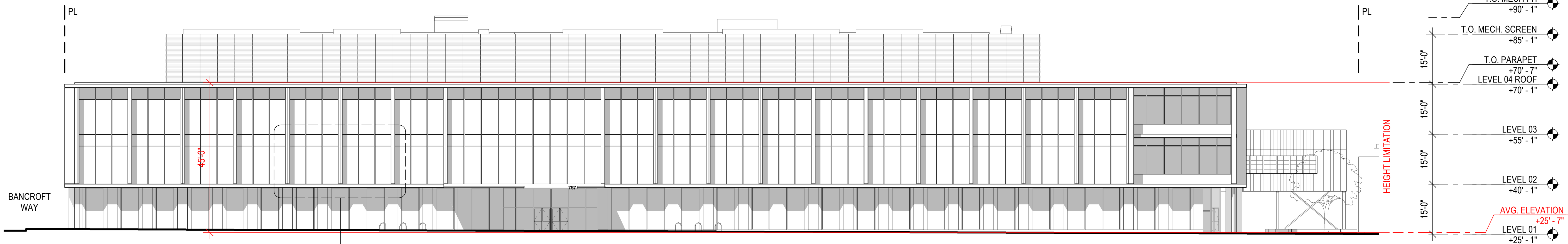
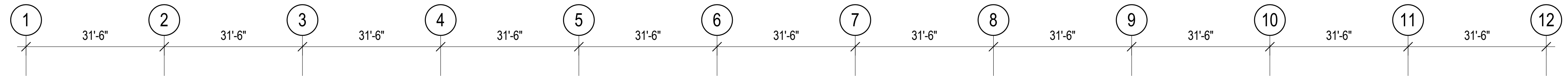
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SOUTH ELEVATION 02
SCALE: 1/16" = 1'-0"



EAST ELEVATION 01
SCALE: 1/16" = 1'-0"

01
A5.03.01

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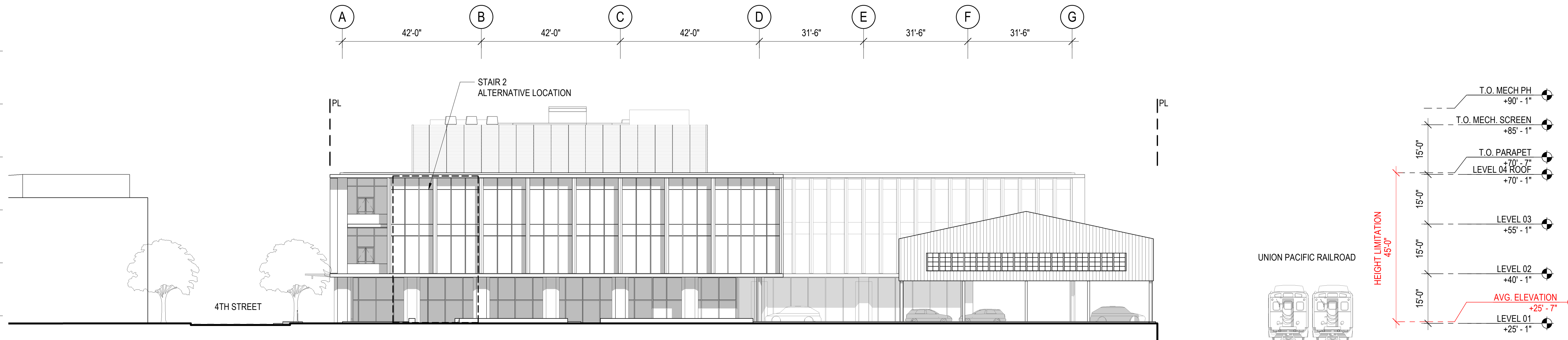
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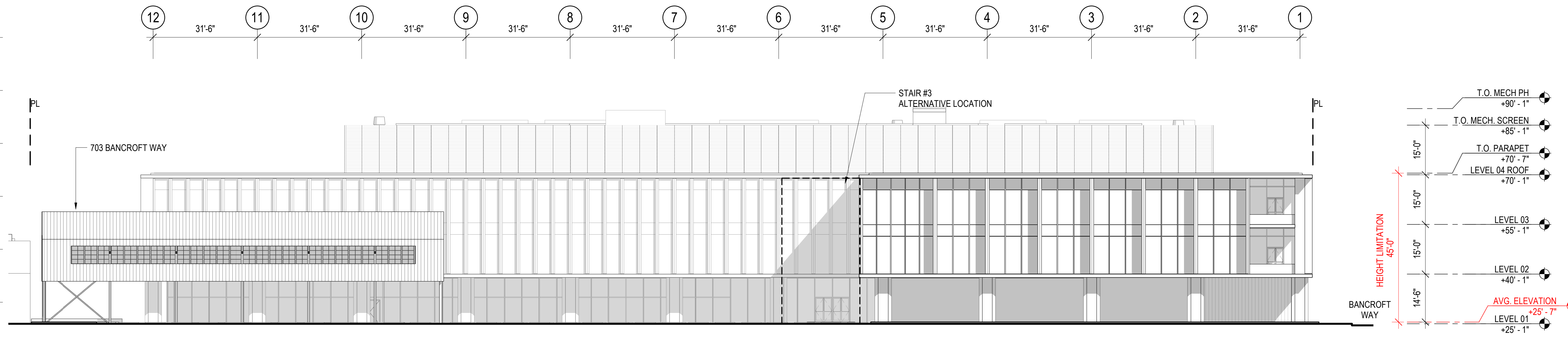
Sheet Name:

WEST AND NORTH ELEVATIONS

Project No.:	220175	Sheet No.:	A5.01.02
Drawn By:	Author		
Checked By:	Checker		
Scale:	1/16" = 1'-0"		



NORTH ELEVATION 02
 SCALE: 1/16" = 1'-0"



WEST ELEVATION 01
 SCALE: 1/16" = 1'-0"

787 BANCROFT

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SUSTAINABILITY
 ATELIER TEN
 443 TEHAMA ST, 1ST FLOOR
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Key Plan:

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Sheet Name:

SECTIONS

Project No.:

220175

Drawn By: Author

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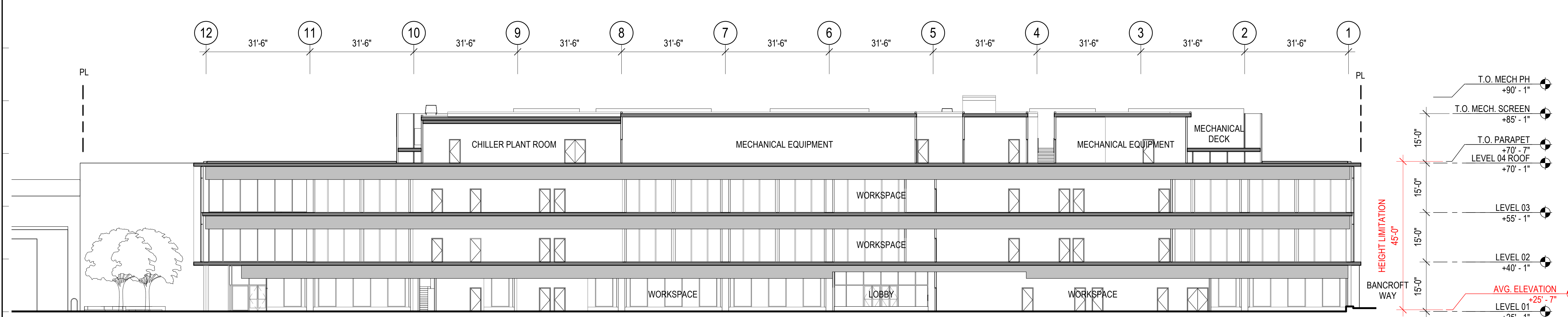
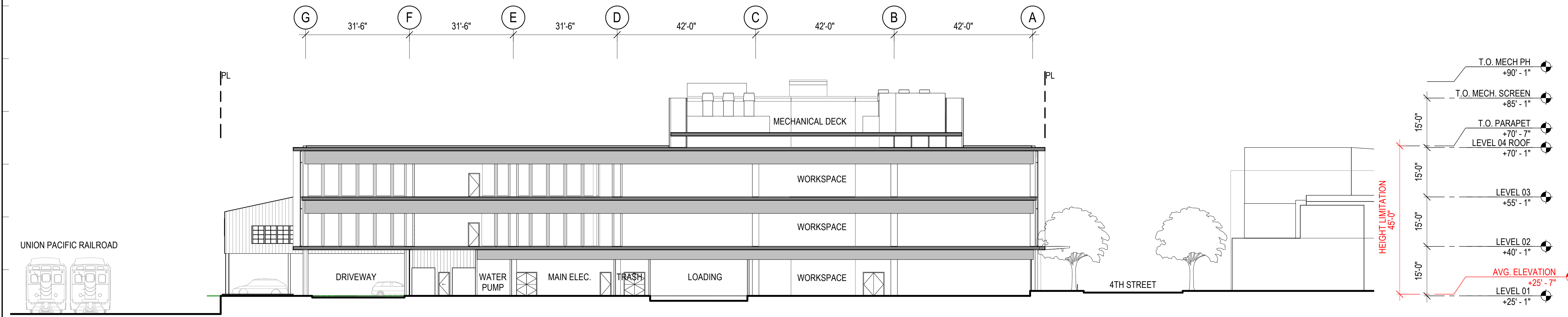
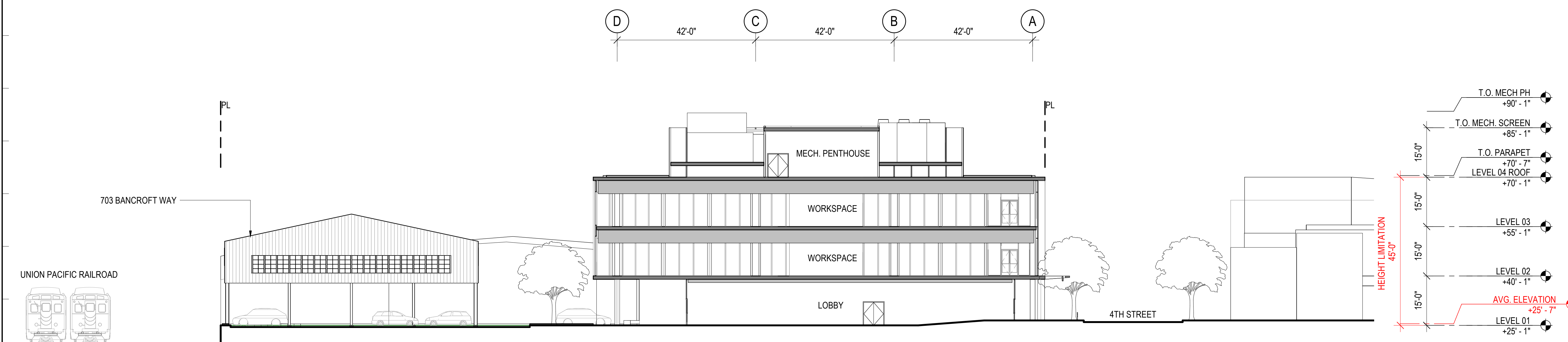
1/16" = 1'-0"

A5.02.01

EAST WEST SECTION THROUGH LOBBY 03
 SCALE: 1/16" = 1'-0"

EAST WEST SECTION THROUGH DRIVEWAY 02
 SCALE: 1/16" = 1'-0"

NORTH SOUTH SECTION 1 01
 SCALE: 1/16" = 1'-0"



5/28/2021 6:34:41 PM

787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

OWNER



STEELWAVE
101 CALIFORNIA STREET, SUITE 800
SAN FRANCISCO, CA 94111

PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE



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SUSTAINABILITY

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LAB LANDSCAPE
MASTER PLAN

Project No.:

220175

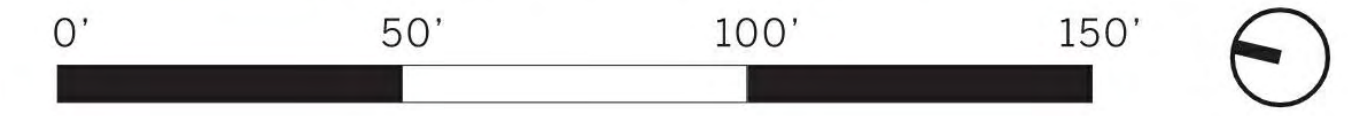
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L.01



LANDSCAPE MASTERPLAN

787 BANCROFT

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OWNER
STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
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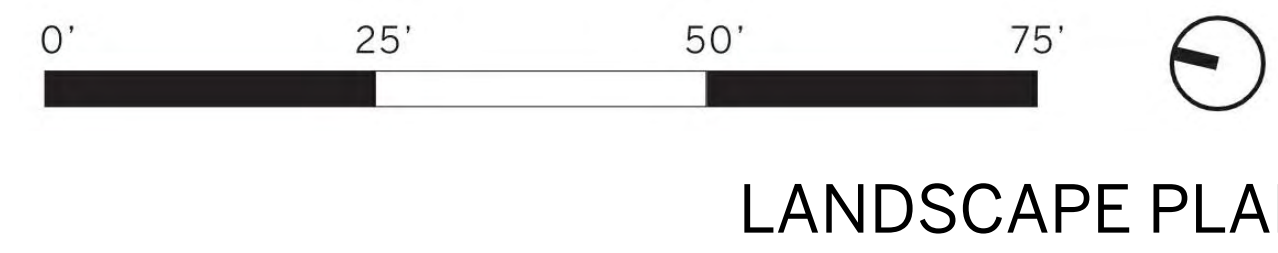
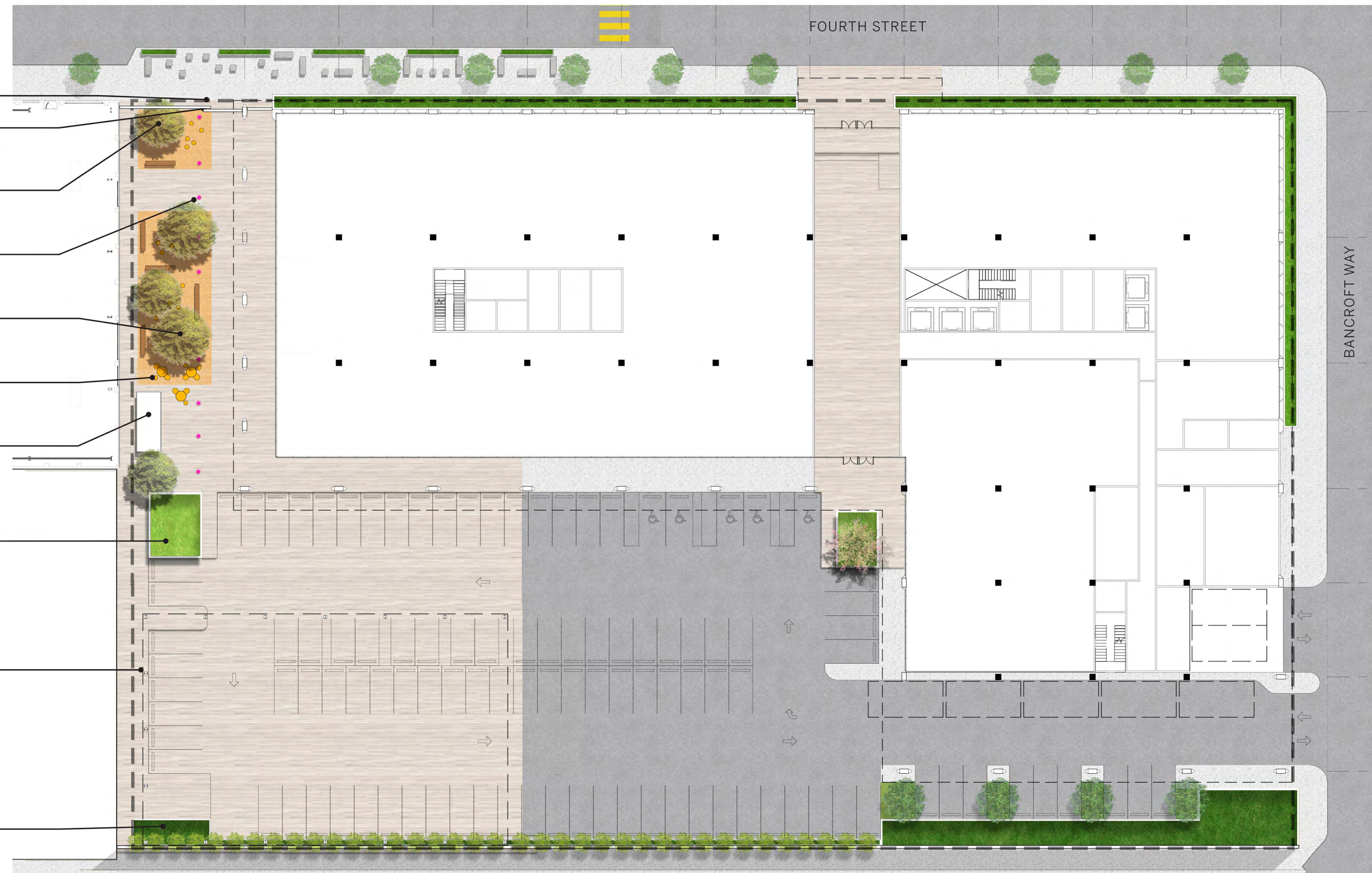
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Sheet Name:
LANDSCAPE PLAN

Project No.:	220175	Sheet No.:	L.02
Drawn By:	Author		
Checked By:	Checker		
Scale:			

- PROPERTY LINE
- SLIDING GATE & FENCE
- 36" BOX TREE TYP.
- PEDESTRIAN LIGHT POLE
- 48" BOX TREE TYP.
- SITE FURNISHING
- POP UP CAFE TYP.
- FLOW THROUGH PLANTER
- EXISTING WAREHOUSE
- FLOW THROUGH PLANTER



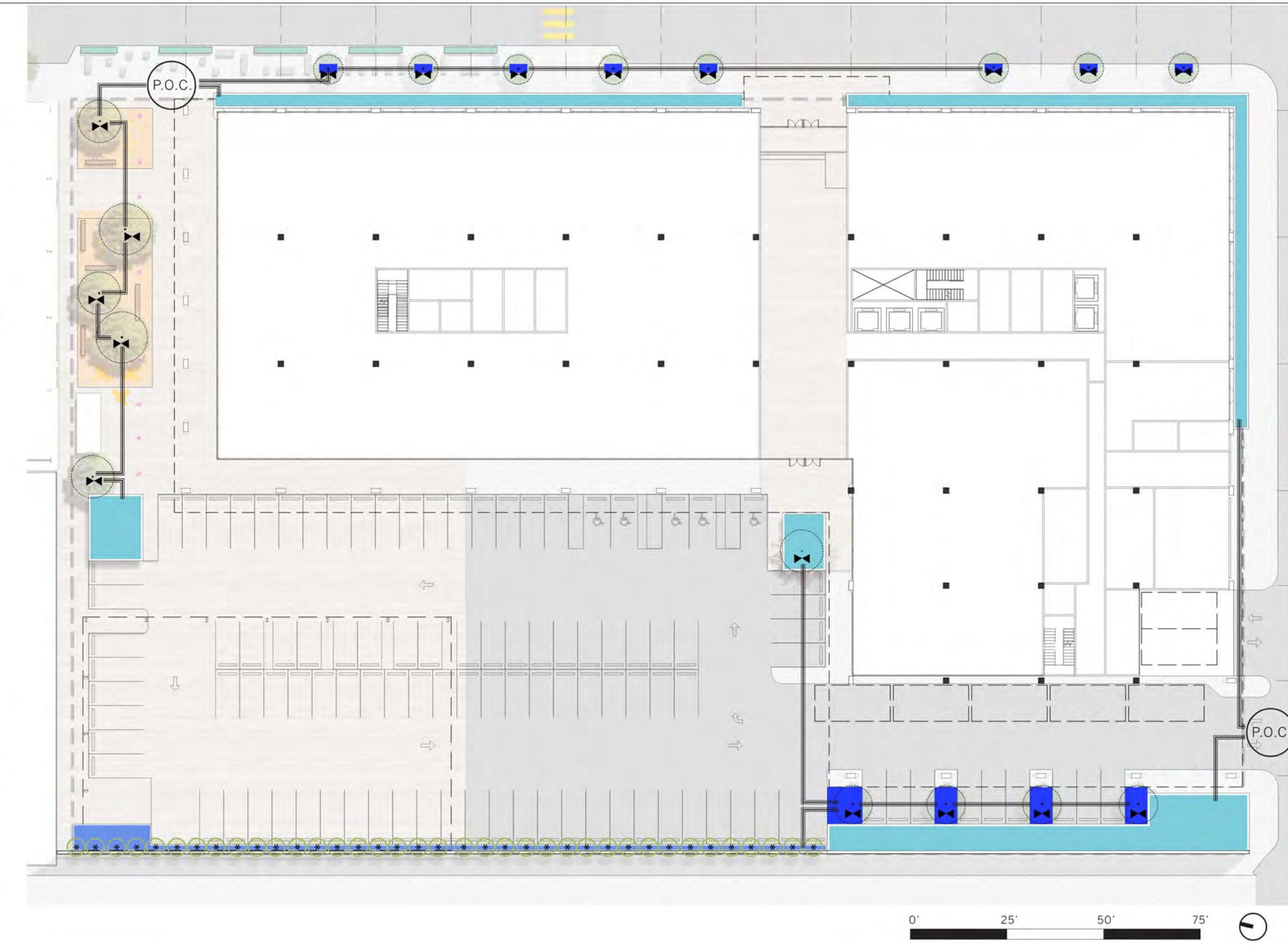
WATER BUDGET AND USE CALCULATION

WELQ Water Budget and Water Use Calculator						
INSTRUCTIONS: 1. Double check. 2. Enter values in blue cells. Gray cells will automatically fill. 3. For the water to be applied to the landscape, available from: https://www.water.ca.gov/Programs/Water-Use-Reduction/Compliance/Water-Use-Reduction 4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.						
Date: 4/22/2021 Project Name: 787 BANCROFT Project Contact: Project Contact Email:						
Maximum Applied Water Allowance (MAWA)	Project Type	ETa	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gpm)
	Non-residential	41.8	0.45		11,045	128,821
Estimated Total Water Use (ETWU)						
		ETa	(SP * PF) / IE	SLA		ETWU (gpm)
		41.8	3,597			93,228
Difference between MAWA and ETWU: 35,593 (Project meets water budget)						
ETWU Calculation (Regular landscape areas)						
Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SP * PF) / IE
1	TREE WELLS ON PLAZA	Bubbler	204	0.50	0.81	128
2	P.A. ON PLAZA	Drip	205	0.50	0.81	127
3	P.A. ON PARKING LOT	Drip	4,359	0.20	0.81	1,074
4	PLANTER ON PARKING	Drip	231	0.20	0.81	57
5	PLANTER ON 4TH	Drip	976	0.20	0.81	241
6	PLANTER ON BANCROFT	Drip	1,325	0.20	0.81	326
7	PLANTER ON ENTRY	Drip	1,893	0.20	0.81	469
8	ROW STREET TREE PLANTER	Drip	1,349	0.50	0.81	1,198
9	TREE IN PARKING PLANTER	Bubbler	53	0.20	0.81	13
10	TREES IN ENTRY PLANTER	Bubbler	53	0.20	0.81	13
11	ROW STREET PLANTER	Drip	1,118	0.20	0.81	28
			Landscape area (not including SLA)			3,597
			Total Landscape Area (including SLA) from ETWU Calculation			11,045
ETWU Calculation (Special Landscape Areas (SLA))						
Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SP * PF) / IE			
Edible planting areas	0	1.0				
Mult-use and sports field turf areas	0	1.0				
Area irrigated with recycled water	0	1.0				
Pool	0	1.0				
Total SLA	0					
Total Landscape Area (including SLA) from ETWU Calculation: 11,045						

Landscape Planting area will comply the California state ordinance WELQ (Water Efficient Landscape Ordinance) in addition to be meeting with EBMUD (East Bay Municipal Utility District) Section 31 Water Service Regulations for Outdoor Water Use Regulation.

- LEGEND**
- P.O.C. P.O.C. (POINT OF CONNECTION)
 - TREE BUBBLER
 - MAINLINE & SLEEVES
- HYDROZONE LEGEND**
- LOW WATER USE - ROW PLANTER (119 SF, 0% OF PLANTING AREA)
 - MEDIUM WATER USE - ROW TREE PLANTER (185 SF, 4% OF PLANTING AREA) - SUBSURFACE DRIP
 - STORMWATER TREATMENT AREA - LOW WATER USE (3,549 SF, 83% OF PLANTING AREA - SUBSURFACE DRIP)
 - STORMWATER TREATMENT AREA - MEDIUM WATER USE (543 SF, 13% OF PLANTING AREA - SUBSURFACE DRIP)

IRRIGATION PLAN



787 BANCROFT

787 BANCROFT, BERKELEY, CALIFORNIA

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STEELWAVE
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PLANTING AND IRRIGATION PLANS

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 Checked By: Checker
 Scale:

L.03

PLANTING LIST

TREE LIST				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COMMENTS
Cercis occidentalis	western redbud	15 gal	VERY LOW	Flow-Through Planter
Liquidambar styraciflua	sweet gum	36" Box	MEDIUM	Plaza Tree
SHRUB LIST				
Muhlenbergia rigens	Deer Grass	5 gal	LOW	Ornamental Grass, California Native
Bouteloua gracilis and cvs.	blue grama	1 gal	LOW	Ornamental Grass, California Native
Festuca rubra	creeping red fescue	1 gal	LOW	Ornamental Grass, California Native
Salvia clevelandii & hybrids	salvia Cleveland/Alan Chickering etc.	5 gal	LOW	Perennial
Salvia spathulata and cvs.	hummingbird/plitcher sage	5 gal	LOW	Part Sun / Shade
Festuca californica and cvs.	California fescue	1 gal	LOW	Ornamental Grass, California Native
Iris Pacific Coast hybrids	Pacific Coast hybrid iris	1 gal	LOW	Perennial, California Native
Epilobium spp. (Zauschneria) and cvs.	California fuchsia	1 gal	LOW	California Native
Carex tumulicola	Berkeley sedge	1 gal	LOW	Perennial, California Native
Carex sylvatica	nutty sedge	1 gal	LOW	Perennial, 15" o.c.
Scrophularia californica	California figwort/bee plant	1 gal	LOW	Shade Tolerant
Phacelia californica	scorpion flower	5 gal	LOW	Perennial, California Native
Pellaea andromedifolia	coffee fern	5 gal	LOW	Perennial, California Native
Juncus patens and cvs.	California gray rush	1 gal	LOW	California Native
Iris douglasiana	Douglas iris	1 gal	LOW	Perennial, California Native
Sisyrinchium angustifolium	blue eyed grass	1 gal	LOW	Perennial
Mimulus hybrids (shrubby) (Diplacus)	monkey flower	5 gal	LOW	California Native
Keckeelia cordifolia	climbing penstemon	5 gal	LOW	California Native Shrub
Keckeelia antirrhinoides	yellow penstemon	5 gal	LOW	California Native Shrub
Clematis lasiantha	pipestem clematis	1 gal	LOW	Vine, California Native
Vitis californica	California Wild Grape	1 gal	LOW	Vine, California Native
PARKING LOT TREE LIST				
Lophostemon confertus (Tristania conferta)	Brisbane box	36" Box	MEDIUM	Alt. Tristania Laurina
Fargesia Nitida	Blue Fountain Bamboo	3 gal	MEDIUM	Screening Plant
STREET TREE LIST				
Tristania Laurina 'Elegant'	Little leaf myrtle	24" Box	MEDIUM	20'-35'

All planting materials are planted with drought tolerant plants that require low water and less maintenance once they are established. Plants vary from colors, heights, forms, and textures in different seasons and add year-round visual interests.

- PRELIMINARY PLANTING LEGEND**
- PLAZA TREE
 - FLOW THROUGH PLANTER TREE
 - FLOW THROUGH PLANTER (NATIVE GARDEN PLANTS)
 - PLANTING AREA ON PARKING LOT (NATIVE GARDEN PLANTS)
 - ROW STREET PLANTER
 - 4TH STREET TREE & PARKING LOT TREE
 - SCREENING SHRUB

** THE FULL PLANTING LIST TO FOLLOW

PLANTING PLAN

