



Zoning Adjustments Board Staff Report

APP #ZP2025-0096

April 9, 2026

Use Permit for a Project at 830 Bancroft Way



Quick Facts	Project Description:
<p>Applicant: Rachel Berry c/o: Rhoades Planning Group</p> <p>Owner: Root and Bloom Institute, LLC.</p> <p>Project Address: 830 Bancroft Way</p> <p>Site Size: 14,690 square feet</p> <p>GP Land Use: MDR, Medium Density Residential</p> <p>Zoning: Residential Multi-Unit 2 District (R-2)¹</p> <p>CEQA: CEQA Guidelines Section 15301 “Existing Facilities”</p> <p>Date Submitted: October 28, 2026</p> <p>Date Deemed Complete: January 30, 2026</p> <p>Project Planner: Karen C. Hernandez</p>	<p>The applicant is seeking approval to modify Use Permit #A1463 (established non-conforming Vocational Training Center use) and Administrative Use Permit AUP#98-20000035 (established non-conforming medical office use) for the expansion of the existing facility’s operational hours to accommodate an increase of classroom area and practitioner offices for rent.</p>
	<p style="text-align: center;">Zoning Permits Requested:</p> <p>A Use Permit Public Hearing is required for the following permits:</p> <ol style="list-style-type: none"> Expand or Change a Nonconforming Use. BMC Section 23.324.040(A) “Nonconforming Use” to substantially expand or change a nonconforming use. Permit Modification. BMC Section 23.404.070 “<i>Permit Modification Required</i>” to modify an approved discretionary permit.
	<p style="text-align: center;">Staff Recommendation:</p> <p>Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2025-0096 pursuant to Section 23.406.040 (E) (1-5) “Findings for Approval” and subject to the attached Findings and Conditions of Approval.</p>

¹ The subject lot was previously zoned R-1A Zoning District, which was eliminated. The subject lot was re-zoned to R-2 Zoning District, which was changed to “[Residential Multi-Unit 2](#)” on November 1, 2025 (“Middle Housing” zoning amendments). Per BMC Section 23.202.080.

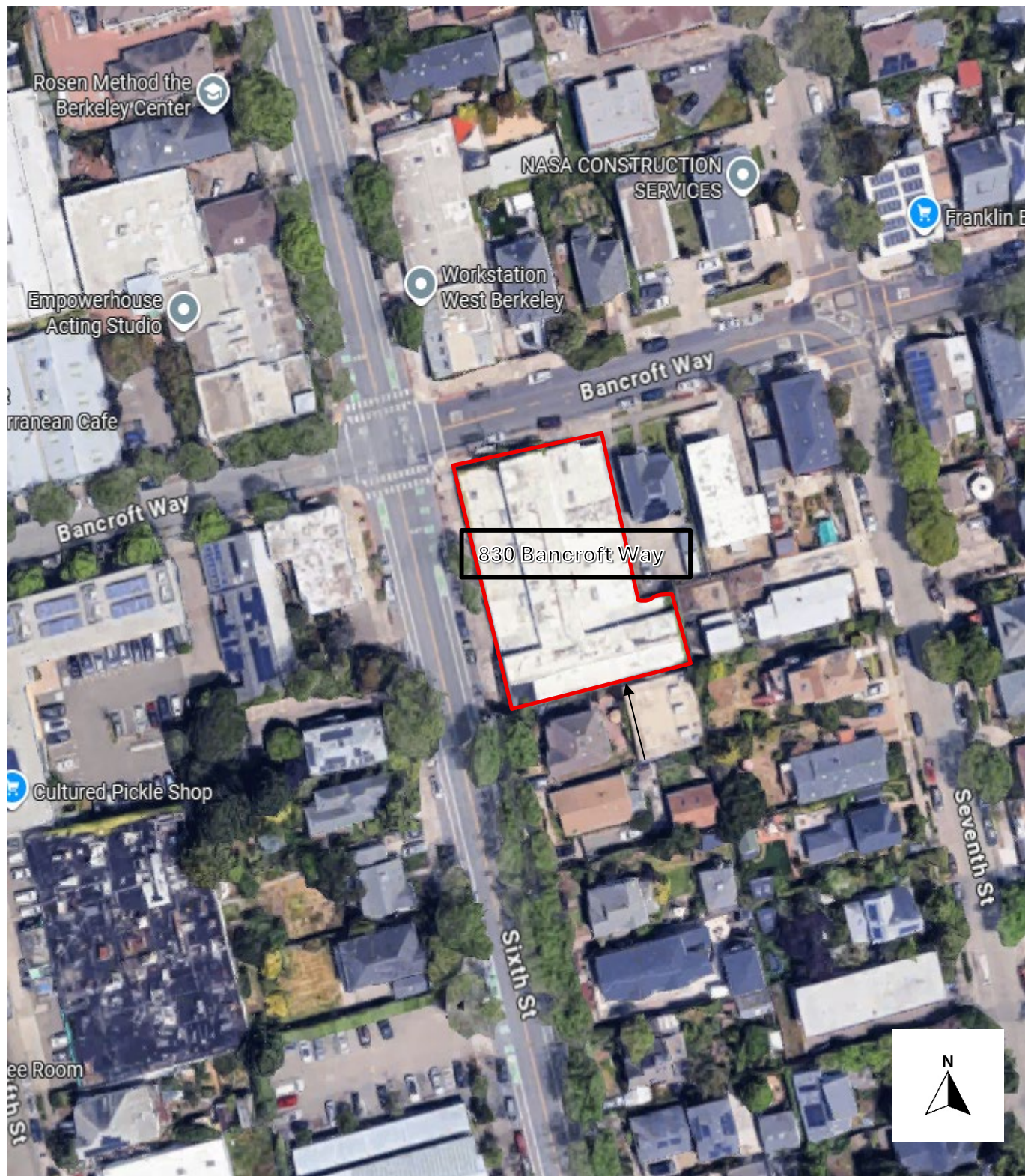
ZONING MAP

Figure 1: Vicinity and Zoning Districts Map



Comparison of Adjacent Properties			
Vicinity	GP Land Use	Zoning	Current Use
North	Medium Density Residential	Residential Multi-Unit 2 (R-2)	Art Gallery, Community Center, and Multi-Family Residential
South			Single-Family Residential
East			Single- and Multiple-Family Residential
West	Manufacturing Mixed Use (MU)	Mixed Use-Residential (MUR)	Multi-Family Residential

AERIAL



STREET ELEVATION

Along Sixth Street



Along Bancroft Way



BACKGROUND

Subject Site

The subject property is located on a 14,690-square-foot, north-south rectangular corner lot, with an additional bump out at the southeast, interior corner of the lot, within the Residential Multi-Unit 2 District. The neighborhood is predominantly developed with single-family, multi-family, and mixed-use buildings. The lots abutting the rear and interior-side property lines contain single-family residential dwellings. The site is developed with a non-residential building covering 95 percent of the lot, with frontage along Bancroft Way and Sixth Street. As a corner lot, the front lot line is identified as the lot line along Bancroft way. The existing building is built up to the front, street-side and a large portion of the interior-side property boundary lines, with the exception of a smaller portion of the interior side setback ranging from 0' to 4'-4".

Site History

The subject lot was previously zoned R-1A Zoning District and was absorbed by the R-2 Zoning District during the Middle Housing Zoning Ordinance update (effective November 1, 2026). The existing building was built in 1947 as a warehouse, and the use of the building has changed numerous times since then. The following timeline reflects the extensive Land Use history at the subject property:

- 1977 – Use Permit #8117 was granted to convert the building from warehouse use to an advertising department for the Berkeley Pump Company.
- In 1988 – Use Permit #A1463 established the current use of Vocational Training Center.
- October 1993 – Use Permit Modification of Use Permit #A1463 established the addition of educational classes and seminars to the Vocation Training Center use.
- February 1994 – Zoning Permit #Z0540 was granted for tenant improvements.
- August 1994 – Zoning Permit #Z1142 allowed one-on-one instruction for movement education.
- February 1998 – Administrative Use Permit #98-20000035 established a medical office for part-time occupational therapy in Suite 110.
- December 1998 – Zoning Permit #Z98-967 established a medical office for psychotherapy.
- June 2001 – Zoning Certificate #01-0489 established office use for a general contractor.
- August 2001 – Use Permit Modification (MOD #01-70000024) to modify Use Permit #012437 revisited Condition #5 to remove the 14 off-street parking spaces. Staff determined that Condition #5 shall be upheld to reduce the impact on street parking for the residents of the neighborhood.
- October 2003 – Zoning Certificate #03-90000475 established a medical office for an individual Feldenkrais practitioner.
- February 2012 – Zoning Certificate #12-90000170 established coaching and training.
- May 2024 – Zoning Certificate Business License #ZCBL2024-0229 was approved to continue the legally, non-conforming Vocational Training Center.

The current Vocational Training Center and medical office uses that the applicant is proposing

to continue are legally, non-conforming. The Root and Bloom Institute, a holistic health educational organization, is the current owner and occupant, while independent practitioners would lease the office spaces and classrooms. Building permit #B2024-05803 was issued July 23, 2026 for interior improvements for the institute, including an increase of practitioner offices and classrooms for rental to non-institute instructors, and other interior improvements.

Community Meeting

A community meeting was hosted online via Zoom on October 16, 2025, but there were no attendees. The applicant hosted a second community meeting via Zoom on November 3, 2025, to allow for sufficient notice to the neighborhood. There were 15 attendees at the second community meeting, who were mainly concerned with impacts to parking in the neighborhood as a result of the project.

In response, the applicant proposed a Parking Minimization Plan, dated January 14, 2026 (Attachment 6), to address neighbor concerns and to mitigate potential parking impacts. The Parking Minimization plan provides transportation and parking guidelines for Root and Bloom Institute staff, tenants, and patrons as follows:

Options for All

1. Bicycle or Scooter encouraged.
2. Various modes of public transportation are available to the site and encouraged: AC Transit lines a few blocks away; North Berkeley Bart Station 1.3 miles away; and Capital Corridor Train Berkeley train stop 6 blocks away.

Root and Bloom Institute Staff and Office Tenants

1. Staff and Office Tenants: Monthly parking leases will be required for staff who need to drive a car 3 or more days a week at subsidized prices.
2. Staff who occasionally drive will be restricted to parking in specific areas. Violators will be issued a fine to go towards a Root and Bloom Institute fund. Neighbors can report violators via email or text.

Office Clients

1. Clients shall adhere to the above guidelines, provided to them by their practitioners. Failure to communicate the guidelines to clients may result in early lease termination or non-renewal.
2. Each car-free arrival earns one entry into a monthly prize drawing.

Classroom Rentals

1. Classroom Renters spaces shall adhere to the above guidelines and shall communicate them to their participants. Late arrival to appointments will not be exempt from the parking guidelines.
2. Classroom renters who do not follow the parking guidelines will be fined and/or excluded from future rentals.

ANALYSIS

Project Scope

The proposed project includes the expansion of the operational hours of the Root and Bloom Institute to extend from 9:00 a.m. to 9:00 p.m. Monday through Friday, and add weekend hours on Saturday and Sunday from 10:00 a.m. to 6:00 p.m. to accommodate an expansion of their vocational training use, rental of classrooms to holistic health practitioners for group sessions, and increase of individual holistic health practitioner offices. The allowed hours of operation per Use Permit #A1463 were not identified, but did specify that peak hours would be 8:30 a.m. to 12:30 p.m. and 6:30 p.m. to 9 p.m.

Classroom/group spaces available for rent for vocational training and group therapy will increase remain at 5 classrooms with the addition of smaller breakout rooms for each of the 3 classrooms on the first floor; room sizes and capacities are as follows:

- Main Hall (including abutting breakout room): 3349 square feet; 50 people maximum; approximately 30 people average group size (typically one group per day)
- Classroom 1 (including abutting breakout room): 1505 square feet; approximately 20 people average per room (typically one group per day)
- Classroom 2 (including abutting breakout room): 1349 square feet; approximately 20 people average per room (typically one group per day)
- Art Room: 591 square feet; approximately 15 people average; rentable in 3-hour blocks
- Teacher's lounge: 150 square feet; for teachers renting the classrooms

The total classroom area available for rent on the first floor would be 6794 square feet, where previously 4485 square feet was used by staff for instruction. Therapy offices available for rent by individual practitioners will increase from 9 to 13 offices to serve approximately 50 to 60 therapy clients per weekday. The total area of the individual practitioner office use is 2,115 square feet, reduced from 3689 square feet.

Root and Bloom Institute has obtained a business license with the City of Berkeley, in preparation to begin operation of the business in Spring of 2026 after the internal renovations are completed.

Parking

There is no existing off-street parking on the project site, and none is proposed with the current permit modification. In compliance with Condition #5 of the original Use Permit #A1463 (establishing the vocational training use) the applicant provided 14 off-street parking spaces at off-site location across the street at 2310 Sixth Street. A Zoning Officer Memorandum, dated November 14, 2024 concluded that off-street parking is no longer required for the project, pursuant to Assembly Bill (AB) 2097², and no parking is required for the project.

² "GOV Code 65863.2.

However, as discussed previously, neighbors of the project site are concerned about the impact of the proposed intensification of the nonconforming vocational training and classroom/office rental uses and the removal of dedicated parking for the project. The applicant has proposed a Parking Minimization Plan for staff, tenants, and patrons to follow to address neighbors' concerns. Staff recommends the addition of a Condition of Approval to require implementation of the Parking Minimization Plan:

Parking Plan. *The applicant shall submit draft agreements or notices with Roots and Bloom staff, office tenants, office clients and classroom rental clients that implement the parking restrictions detailed in the staff report Attachment #6, RBI Parking Minimization Plan, dated January 14, 2026.*

Findings

The proposed project will not be detrimental to the neighborhood as it maintains the existing legally, nonconforming vocational training center and medical office uses and the expansion of operational hours to increase the classroom area and addition of practitioner offices, and implementation of the Parking Minimization Plan will not introduce new land uses or expand the building.

Full draft findings for approval can be found in Attachment 2 to the staff report.

Environmental Review

The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities") because the proposed extension of operational hours would not create further nonconformities of the use of the building that would deem this project ineligible for a categorical exemption.

POLICY CONSISTENCY

General Plan Consistency

The 2002 General Plan contains several policies applicable to the project, including the following:

Policy LU-7 Neighborhood Quality of Life: Preserve and protect the quality of life in Berkeley's residential areas through careful land use decisions.

(a) A public agency shall not impose or enforce any minimum automobile parking requirement on a residential, commercial, or other development project if the project is located within one-half mile of public transit." Effective January 1, 2023.

Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.

Action B: Carefully evaluate and monitor new and existing uses to minimize or eliminate negative impacts on adjacent residential uses.

Staff Analysis: The project would comply with Action B as the expansion of operational hours and increase of classroom area and practitioner offices would preserve and protect the quality of life in Berkeley residential area because the project will remain vocational training center use. In addition, the proposed use would enhance existing vocational training center use by renovating the interior space to create better use of the space without constructing an addition to the nonconforming building. Further, the Parking Minimization Plan will be a Condition of Approval to help minimize the negative impacts on traffic and parking in the neighborhood. The expansion of operational hours remain compatible with current land uses in the neighborhood and would not contribute to an intensification of the current use through the addition of dwellings.

West Berkeley Plan Consistency: The West Berkeley Plan, adopted in 1993, also contains several policies applicable to the project, including the following:

1. Land Use Goal 2: Channel development – both new businesses and residences and the expansion of existing businesses – to districts which are appropriate for the various existing elements of the West Berkeley land use mix.

Policy D: Create a Mixed Residential district as a special mixed-use district which will recognize and support the continued evolution of a unique mix of residential, light industrial, and arts and crafts uses, with a particular effort to strengthen residential concentrations existing there.

Staff Analysis: The project would be consistent with Land Use goal 2 because it would expand the operation hours to support the increase of classroom area and practitioner offices of the vocational training center use in Berkeley, in an area zoned for residential use where surrounding uses include community centers, arts, retail, food establishments and office uses.

RECOMMENDATION

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

1. **FIND** that the project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"); and
2. **APPROVE** ZP2025-0096 pursuant to BMC Section 23.406.040(D) and subject to the attached Findings and Conditions (see Attachments 2 and 3).

Attachments

1. Tables: Table 1: Project Chronology, Table 2: Special Characteristics, Table 3: Development Standards
2. Draft Findings
3. Draft Conditions of Approval
4. Project Plans, November 18, 2025
5. Neighborhood Meeting attendance sheet and summary, dated November 3, 2025
6. Parking Minimization Plan, dated January 14, 2026
7. Notice of Public Hearing

Attachment 1

Table 1: Project Chronology

Date	Action
October 28, 2025	Use Permit Application submitted
November 26, 2026	Incomplete pending applicant
December 23, 2025	Resubmittal pending staff review
January 2, 2026	Application deemed complete
January 30, 2026	CEQA Recommendation by Staff
January 30, 2026	Application processing ^a
March 26, 2026	Public hearing notices mailed/posted
April 9, 2026	ZAB hearing
Notes: a. Application processing reflects the project compliance review after the application is deemed complete. Submittals are reviewed within 30 days of receipt, pursuant to the Permit Streamlining Act.	

Table 2: Special Characteristics

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	These fees apply to net newly constructed nonresidential gross floor area over 7,500 square feet. The project does not propose new construction. Therefore, the project is not subject to this fee.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project is not housing development project, as defined in BMC 23.328.020 ^a .
Alcohol Sales/Service	No	The project is not proposing any alcohol sales or service with this permit.
Bird Safe Buildings (BMC Section 23.304.150)	No	The project does not propose construction or exterior changes and therefore these provisions do not apply.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak (<i>Quercus agrifolia</i>) trees on the project site.
Creeks	No	No creek or culvert, as defined by BMC Chapter 17.08, exists on or within 30 feet of the project site.
Density Bonus	No	The project does not propose housing, therefore, density bonus does not apply.
Hard Hats (BMC Chapter 13.107)	No	The project is does not meet the definition of "Covered Project" as it does not propose construction, alterations, or

Characteristic	Applicability	Explanation
		demolition of 50,000 square feet or more of floor area, and therefore these provisions do not apply.
Historic Resources	No	The existing building is not a City of Berkeley Landmark or Structure of Merit, and there are no proposed demolition of any existing buildings on the property.
Housing Accountability Act (HAA) (Gov't Code Section 65589.5(j))	No	There is no residential use in the subject building, and no density bonus; therefore, the Housing Accountability Act does not apply.
Housing Crisis Act of 2019 (SB 330)	No	The project does not propose residential uses and is not a "Housing Development Project" per Government Code Section 65589.5(h)(2) ^b .; therefore, the Housing Crisis Act does not apply.
Opportunity Sites	No	The subject site is not identified as an opportunity site.
Rent Controlled Units	No	There are no rent controlled units on the site.
Residential Preferred Parking (RPP)	No	The site is not located in an RPP zone.
Seismic Hazards (SHMA)	No	The project site is not located within an area susceptible to landslide/liquefaction/fault rupture as shown on the State Seismic Hazard Zones map. ^c
Soil/Groundwater Contamination	No	The project site is not located within the City's Environmental Management Area and is not on a Cortese List. ^d Standard Conditions of Approval related to hazardous materials would apply. Because this project is not within either of the sensitive areas mentioned above, and no ground disturbance is proposed, no Phase I/II report is required.
Transit	Yes	The project site is served by multiple AC Transit bus lines (local and Transbay) that operate within ¼ mile of the site, and is approximately 0.2 miles west from the Downtown Berkeley Bay Area Rapid Transit (BART) Station.
<p>Notes:</p> <p>a. BMC 23.328.020(E) defines a "Housing Development Project" for purposes of inclusionary housing requirements as "a development project, including a Mixed-Use Residential project involving the new construction of at least one Residential Unit. Projects with one or more buildings or projects including multiple contiguous parcels under common ownership or control shall be considered as a sole Housing Development Project and not as individual projects.</p> <p>b. Government Code Section 65589.5(h)(2) "Housing development project" means a use consisting of any of the following: (A) residential units only, (B) mixed-use developments consisting of residential and nonresidential uses in which at least two-thirds of the square footage is designated for residential use, and (C) transitional or supportive housing. Government Code Section 65905.5(b)(3)(C) "Housing development project" includes a proposal to construct a single dwelling unit. This subparagraph shall not affect the interpretation of the scope of paragraph (2) of subdivision (h) of Section 65589.5.</p> <p>c. California Department of Conservation. DOC Maps: Geologic Hazards. Available: https://maps.conservation.ca.gov/geologichazards/</p> <p>d. Cortese List is an annually updated list of hazardous materials sites compiled pursuant Government Code Section 65962.5.</p>		

Table 3: R-2 Zoning District Development Standards BMC Sections 23.202.080 and 23.322 Parking and Loading

Standard		Existing	Addition/ (Reduction)	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		14,690	N/A	N/A	n/a
Gross Floor Area (sq. ft.)		18,380	N/A	N/A	
Dwelling Units	Total	0	N/A	N/A	3 min.; 16 max
Building Height (ft. - in.)	Maximum	24'-0"	N/A	N/A	35 feet
Building Setbacks (ft. - in.)	Front North) (Bancroft Way)	0'-0"	N/A	N/A	5 feet ³
	West Street Side	0'-0"	N/A	N/A	5 feet ³
	East Interior Side	0'-0" and 4'-0"	N/A	N/A	4 feet
	Rear (South)	4'-0"	N/A	N/A	4 feet
Usable Open Space (sq. ft.)		0	N/A	N/A	150 sq. ft.
Automobile Parking ⁴		0	N/A	N/A	n/a
Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet ('), in. = inches (")					

³ Front and rear setbacks must add up to at least 20 feet.

⁴ Condition #5 of Use Permit #A1463 required 14 off-street parking spaces. However, Zoning Officer Memorandum dated November 14, 2024, determined that pursuant to AB 2097, parking is no longer required for the use on the site.



Zoning Adjustments Board Findings

APP #ZP2025-0096

April 9, 2026

Use Permit for a Project at 830 Bancroft Way



Project Facts	Project Description:
<p>Applicant: Rachel Berry c/o: Rhoades Planning Group</p> <p>Owner: Root and Bloom Institute, LLC.</p> <p>Project Address: 830 Bancroft Way</p> <p>Site Size: 14,690 square feet</p> <p>GP Land Use: MDR, Medium Density Residential</p> <p>Zoning: Residential Multi-Unit 2 District (R-2) ¹</p> <p>CEQA: CEQA Guidelines Section 15301 “Existing Facilities”</p> <p>Date Submitted: October 28, 2026</p> <p>Date Deemed Complete: January 30, 2026</p> <p>Project Planner: Karen C. Hernandez</p>	<p>The applicant is seeking approval to modify Use Permit #A1463 (established non-conforming Vocational Training Center use) and Administrative Use Permit AUP#98-20000035 (established non-conforming medical office use), for the expansion of the existing facility’s operational hours to accommodate an increase of classroom area and practitioner offices for rent.</p>
	<p style="text-align: center;">Permits Requested:</p> <p>A Use Permit Public Hearing is required for the following permits:</p> <ol style="list-style-type: none"> Expand or Change a Nonconforming Use. BMC Section 23.324.040(A) “Nonconforming Use” to substantially expand or change a nonconforming use. Permit Modification. BMC Section 23.404.070 “<i>Permit Modification Required</i>” to modify an approved discretionary permit.
	<p style="text-align: center;">Staff Recommendation</p> <p>Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2025-0096 pursuant to Section 23.406.040 (E) (1-5) “Findings for Approval” and subject to the attached Findings and Conditions of Approval.</p>

¹ The subject lot was previously zoned R-1A Zoning District, which was eliminated. The subject lot was re-zoned to R-2 Zoning District, which was changed to “[Residential Multi-Unit 2](#)” on November 1, 2025 (“Middle Housing” zoning amendments). Per BMC Section 23.202.080.

CEQA

Categorical Exemption

The project is categorically exempt from the requirements of CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

Evidence: The proposed project involves expanding the operational hours of a vocational training center use.

FINDINGS FOR APPROVAL


As required by BMC Section 23.406.040 (E) (1-4) “Findings for Approval,” the following findings shall be made:

1. To approve a Use Permit, the ZAB shall find that the proposed project or use:
 - (a) Will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or visiting in the area or neighborhood of the proposed use; and

Evidence: The proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood of the proposed use because the vocational training center use has been operating since 1988 by various institutions. The proposed scope of work does not introduce new land uses that will be inconsistent with the surrounding residential context and additional community centers, arts, retail, food establishments and office uses, and maintains the existing Vocational Training Center and medical office uses.

- (b) Will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

Evidence: The proposed project will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because the expansion of operational hours to support the increase of classroom area and practitioner offices will occur during typical hours of a vocational training center and activities will be contained to the existing building. Additionally, the applicant has proposed a Parking Minimization Plan to reduce the impacts of traffic and street parking to the occupants of the residences in the neighborhood, and a condition of approval will be added to the permit to require implementation of the plan.

2. To approve the Use Permit, the ZAB must also make any other Use Permit findings specifically required by the Zoning Ordinance for the proposed ject.

Evidence: N/A

3. When taking action on a Use Permit, the ZAB shall consider in its findings:

(a) The proposed land use; and

Evidence: The project would continue the nonconforming uses of Vocational Training Center and medical office, permitted by Use Permit #A1463 and AUP #98-20000035, including interior renovations to add two breakout rooms within two existing classrooms on the first floor, the addition of four additional medical offices for psychotherapy practitioner, and expansion of operational hours to provide services and instruction to those who cannot participate during typical business hours. The proposed land use meets the findings for approval because the proposed expansion of operational hours to support the increase of classroom area and practitioner offices would not change the legal nonconforming use and aligns with the purposes of the General Plan. Expanding the hours to evenings and weekend days will provide additional therapy services and educational opportunities to clients and individuals pursuing training at the holistic healing, therapy, and teaching center, Root and Bloom Institute. Although the project would intensify the nonconforming use, the overall building occupancy is anticipated to remain the same and the Parking Mitigation Plan will be implemented to mitigate parking impacts in the neighborhood.

(b) The structure or addition that accommodates the use.

Evidence: The proposed project will expand the operational hours of Root and Bloom Institute to support additional classrooms and practitioner office within the existing building. Building Permit #B2024-05803, issued July 23, 2025, approved the interior renovations to accommodate the increase of classroom area and four practitioner offices, with no proposed expansion of the existing building.



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Application Number: ZP2025-0096

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**STANDARD CONDITIONS OF APPROVAL
APPLICABILITY**

Development projects approved through the City of Berkeley are subject to Standard Conditions of Approval (Standard COAs). The City of Berkeley has established Standard COAs that identify requirements for the construction and operation of the approved project. This includes general administrative conditions, permitting requirements, project construction and the regulation of on-going, and on-site uses. Compliance requirements with the Berkeley Municipal Code, building permit review and issuance process, construction, final inspection requirements, certificate of occupancy, and on-going operations of the approved use are included in this document.

The Standard COAs may vary based on site size, location, environmental settings, topography, historic alteration or approved uses. Variations in the application of the Standard COAs may occur based on the project scope and site-specific characteristics including but not limited to parcel size, location, topography, and use.

Conditions which have specified thresholds due to size, uses, and other characteristics are identified.

Part I. Administrative Conditions

- A. General Project Conditions
- B. Project Specific Conditions

Part II. Prior to Issuance of Demolition Permit

Part III. At the Time of Building Permit Submittal

Part IV. During Demolition/Construction

- A. Building & Safety
- B. Land Use Planning
- C. Public Works

Part V. Prior to Final Inspection



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way

Application Number: ZP2025-0096

I. Administrative Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
A. General Project Conditions				
1.	<p>Project Approval. This Project approval is for 2145 Grant Street, as substantially shown and described on the Project plans dated October 28, 2025, except as required to be modified by Conditions of Approval herein and plans as presented to the Zoning Adjustments Board on April 9, 2026 (“Approval Date.”). For any Condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the Project applicant shall submit final plan(s) in substantial conformance with the conceptual plan and incorporate any required modifications.</p>	City of Berkeley	On-Going	Land Use Planning
2.	<p>Approval Limited to Proposed Project and Replacement of Existing Uses. This Use Permit authorizes only the Proposed Project described in the application. This project approval does not authorize other uses, structures or activities not included in the Project Description.</p> <p>When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use. (BMC Sections 23.404.060.B.1 and 2)</p>	City of Berkeley BMC Section 23.404.060	On-Going	Land Use Planning
3.	<p>Compliance Required. All land uses and structures in the City of Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations.</p>	City of Berkeley BMC Section 23.102.050(B)	On-Going	Land Use Planning
4.	<p>Other Regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.</p>	City of Berkeley BMC Section 23.102.050 (E)	On-Going	Land Use Planning



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way

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I. Administrative Conditions A. General Project Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
5.	Conformance with Approved Plans. All work performed under an approved Use Permit shall follow the approved plans as presented to ZAB on February 26, 2026 and any Conditions of Approval.	City of Berkeley BMC Section 23.404.060 (B)(4)	On-Going	Land Use Planning
6.	Permit Modifications. No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Adjustments Board. The Zoning Officer may approve changes to plans approved by the Board which reduce the size of the Project, consistent with the Board’s policy adopted on May 24, 1978.	City of Berkeley BMC Section 23.404.070	On-Going	Land Use Planning
7.	Permit Revocation. The City may revoke or modify a discretionary permit for completed projects due to: 1. Violations of permit requirements; 2. Changes to the approved project; and/or 3. Vacancy for one year or more. No lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board, or City Council referral.	City of Berkeley BMC Section 23.404.080	On-Going	Land Use Planning
8.	Permit Remains Effective for Vacant Property. Once a permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard COA #5 above.	City of Berkeley BMC Section 23.404.060	On-Going	Land Use Planning



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way

Application Number: ZP2025-0096

I. Administrative Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
A. General Project Conditions				
9.	<p>Exercise and Expiration of Permits A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.</p> <p>C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the Zoning Adjustments Board in accordance with Chapter 23.410 (Appeals and Certification).</p> <p>D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.</p>	<p>City of Berkeley BMC Section 23.404.060 (C)</p>	On-Going	Land Use Planning



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way
Application Number: ZP2025-0096

I. Administrative Conditions A. General Project Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
10.	<p>Hold Harmless. The permittee agrees as a Condition of Approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively, “Claims”) arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee’s duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.</p>	City of Berkeley	On-Going	Land Use Planning
11.	<p>Compliance with Conditions of Approval. The Building Permit application is subject to verification of compliance of these Conditions of Approval. The applicant shall be responsible for demonstrating compliance with all Conditions of Approval per the timeline set forth by this Permit.</p>	City of Berkeley	On-Going	Land Use Planning



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way

Application Number: ZP2025-0096

	<p>3. Daily construction schedule (i.e., time of day) and expected duration (number of months),</p> <p>4. The name, e-mail, and phone number of the Project Liaison for the Project that is responsible for responding to any local complaints, and</p> <p>5. Construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.</p>			
III. At the Time of Building Permit Submittal		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<p>Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.</p>	City of Berkeley	At Building Permit Submittal	Public Works
2.	<p>Parking Plan. The applicant shall submit draft agreements or notices with Roots and Bloom staff, office tenants, office clients and classroom rental clients that implement the parking restrictions detailed in the staff report Attachment #6, RBI Parking Minimization Plan, dated January 14, 2026.</p>	City of Berkeley	At Building Permit Submittal and Prior to Building Permit Approval	Land Use Planning



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way
Application Number: ZP2025-0096

IV. During Demolition/Construction A. Building & Safety		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1	Construction Hours. Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.	City of Berkeley BMC Section 13.40.070 (B) (7)	During Demolition/Construction	Building & Safety
2.	Construction Hours Exceptions. Prior to initiating any activity that might require a longer period, the applicant shall notify the Zoning Officer in writing and request an exception for a specific period of time. If an exception is approved, then the applicant shall notify businesses and residents within 500 feet of the Project site describing the expanded construction hours two weeks prior to the expanded schedule start. The Project shall only be allowed 15 extended working days.	City of Berkeley	During Demolition/Construction	Environmental Health & Land Use Planning
3.	Construction / No Parking Permits. If “Construction/No Parking Permits” are required, the applicant shall obtain “Construction/No Parking Permits” (and associated signs and accompanying dashboard permits). The Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health or safety of the surrounding neighborhood.	City of Berkeley	During Demolition/Construction	Building & Safety



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way
Application Number: ZP2025-0096

V. During Demolition/Construction: C. Public Works		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<p>Public Works - Implement Bay Area Air District Recommended Measures during Construction. For all proposed projects, the Bay Area Air District recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:</p> <ul style="list-style-type: none"> A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. D. All vehicle speeds on unpaved roads shall be limited to 15 mph. E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer specifications. All equipment shall be checked by a certified visible emissions evaluator. 	City of Berkeley/ Bay Area Air District	During Construction	Public Works



CONDITIONS OF APPROVAL

Property Address: 830 Bancroft Way

Application Number: ZP2025-0096

	<p>H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air District’s phone number shall also be visible to ensure compliance with applicable regulations.</p>			
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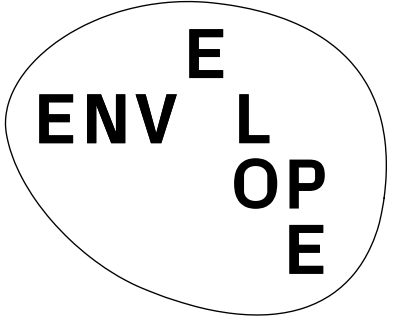
VI. Prior to Final Inspection		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<p>Construction and Demolition Diversion Receipt Reporting. Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using Green Halo and submit online for City review and approval prior to final inspection. Alternatively, complete the Construction Waste Management Plan and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.</p>	City of Berkeley	Prior to Final Inspection	Building & Safety Division

Vision Walkers Collective

830 Bancroft Way
Berkeley, CA 94710

PERMIT REVISIONS

11.18.2025



ENVELOPE Architecture + Design
2212 Sixth Street Berkeley CA 94710
o: 510.644.2400
contact: Alexandra Phelan
e: lex@envelopead.com

17 NOT USED

18 NOT USED

ABBREVIATIONS

ADJ	ADJUSTABLE	MEP	MECHANICAL, ELECTRICAL, + PLUMBING
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER (D)
ALT	ALTERNATE	MIN	MINIMUM, MINUTE
ALUM	ALUMINUM	MTL	METAL
APPROX	APPROXIMATE	(N)	NEW
ARCH	ARCHITECTURAL	N/A	NOT APPLICABLE
BD	BOARD	NTS	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER/DIMENSION
B.O.	BOTTOM OF	OP.H	OPPOSITE HAND
CAB	CABINET	PERF	PERFORATED
CB	CEMENT BOARD	PERP	PERPENDICULAR
CBC	CALIFORNIA BUILDING CODE	PG	PAINT GRADE
CL	CENTERLINE	PL	PROPERTY LINE
CLG	CEILING	PLAM	PLASTIC LAMINATE
CLR	CLEAR	PLBG	PLUMBING
CMU	CONCRETE MASONRY UNIT	PLWD	PLYWOOD
COL	COLUMN	PT	PRESSURE TREATED
CONC	CONCRETE	PV	PHOTOVOLTAIC
DEMO	DEMOLITION, DEMOLISH	RCP	REFLECTED CEILING PLAN
DEPT	DEPARTMENT	REINF	REINFORCE(D), (ING)
DIA	DIAMETER	REQ	REQUIRED
DIM	DIMENSION	RFG	ROOFING
DN	DOWN	RM	ROOM
DW	DISHWASHER	RO	ROUGH OPENING
(E)	EXISTING	RS	ROLLER SHADE
EA	EACH	SCD	SEE CIVIL DRAWINGS
ELEC	ELECTRICAL	SFP	SEE FINISH PLANS
ELEV	ELEVATION	SFSD	SEE FOOD SERVICE DRAWINGS
EQ	EQUAL	SG	STAIN GRADE
EQUIP	EQUIPMENT	SIM	SIMILAR
EXT	EXTERIOR	SLD	SEE LANDSCAPE DRAWINGS
FDN	FOUNDATION	SOG	SLAB ON GRADE
FMG	FRAMING	SPEC	SPECIFICATION
FF	FLOOR FINISH	SQ	SQUARE
FOF	FACE OF FINISH	SSD	SEE STRUCTURAL DRAWINGS
FRG	FIBER REINFORCED GYPSUM	SST	STAINLESS STEEL
FRP	FIBER REINFORCED PLASTIC	ST	STAIR(S), STREET
FS	FURRING STRIP	STL	STEEL
FT	FOOT, FEET	SUB	SUBCONTRACTOR
FTG	FOOTING	SWPD	SEE WATER PROOFING DRAWINGS
FURN	FURNITURE	TEMP	TEMPORARY
HDR	HEADER	TG	TEMPERED GLASS
HDWD	HARDWOOD	T+G	TONGUE AND GROOVE
HORIZ	HORIZONTAL	T.O.	TOP OF
HT	HEIGHT	TV	TELEVISION
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	TYP	TYPICAL
I.D.	INSIDE DIAMETER/DIMENSION	UON	UNLESS OTHERWISE NOTED
IN.	INCH(ES)	UTIL	UTILITY
INCL	INCLUDING	VET	VINYL COMPOSITE TILE
INS	INSULATION	VERT	VERTICAL
INT	INTERIOR	VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VOIP	VOICE OVER INTERNET PROTOCOL
GL	GLASS, GLAZING	VWM	VERIFY WITH MANUFACTURER
GSM	GALVANIZED SHEET METAL	WZ	WITH
GWB	GYPSUM WALL BOARD	WD	WOOD
KIT	KITCHEN	W/D	WASHER/DRYER
MAX	MAXIMUM	WF	WALL FINISH
MECH	MECHANICAL	WRB	WATER RESISTANT BARRIER

20 ABBREVIATIONS

14 ASSESSOR'S MAP N.T.S.



15 VICINITY MAP N.T.S.

	DIRECTION OF SECTION DRAWING NUMBER		DOOR NUMBER		CHANGE IN FLOOR FINISH
	SHEET NUMBER		WINDOW NUMBER		ALIGN
	DIRECTION OF ELEVATION DRAWING NUMBER		FINISH CALLOUT		CENTER LINE
	SHEET NUMBER		WALL FINISH		ELEVATION DATUM POINT
	DETAIL DRAWING NUMBER		BASE FINISH		COLUMN GRID
	SHEET NUMBER		EXTENT OF FINISH		REVISION CHLOD
	AREA TO BE DETAILED		LIGHTING TYPE		REVISION REFERENCE
	ROOM NAME		PLUMBING FIXTURE TYPE		
	ROOM NUMBER		EQUIPMENT / APPLIANCE TYPE		
			WALL / PARTITION TYPE		

16 SYMBOL LEGEND

11 PROJECT DIRECTORY

PROJECT DIRECTORY

CLIENT

Vision Walkers Collective
830 Bancroft Way
Berkeley, CA 94710
Contact: Rachel Berry
rachel@visionwalkerscollective.org

OWNER'S REP

Larry Beck
Contact: Larry Beck
lbeck1@gmail.com

ARCHITECT

ENVELOPE Architecture + Design
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Berkeley, CA 94710
Contact: Alexandra Phelan
v: 510.644.2400
alex@envelopead.com

STRUCTURAL ENGINEER

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3360 Adeline Street
Berkeley, CA 94703
Contact: Nate Williams
v: 510.470.9495
nate@mosswoodengineering.com

MECHANICAL + PLUMBING ENGINEER

MHC Engineers, Inc.
150 8th Street
San Francisco, CA 94103
Contact: Gabriel Suller
v: 415.512.7141 x 833
gabriel@suller@mhcengr.com

ELECTRICAL ENGINEER

AJP Associates
98 Battery Street, Suite 603
San Francisco, CA 94111
Contact: Alex Pacheco
v: 415.599.3335
apacheco@ajpassociatesinc.com

CIVIL ENGINEER

Upright Engineering
3705 Mt Diablo Blvd, Suite B
Lafayette, CA 94549
Contact: Austin Payne
v: 925.275.5304
austin@upcivil.com

GENERAL CONTRACTOR

Evolv Commercial Construction Inc.
1407 Oakland Blvd, Suite 301
Walnut Creek, CA 94596
Contact: Matthew Moore
v: 707.803.8430
matthew@evolvconstruction.com
State CSLB# 849970

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ARCHITECTURAL DRAWINGS

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a0.07	CODE-PROPOSED OCCUPANCY + EXITING	12.02.24
a0.08	CODE-ACCESSIBILITY	12.02.24
a0.09	CALGREEN CHECKLIST	12.02.24
a0.10	SPECIFICATIONS	12.02.24
a0.11	DOOR SCHEDULE	12.02.24
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a2.00	EXISTING/DEMO GROUND FLOOR PLAN	12.02.24
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a3.01	PROPOSED EXTERIOR ELEVATIONS	03.24.25
a5.01	INTERIOR ELEVATIONS	12.02.24
a5.02	INTERIOR ELEVATIONS	03.24.25
a5.03	INTERIOR ELEVATIONS	07.09.25
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S2.3	PARTIAL STRUCTURAL PLANS	03.24.25
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M-1.0	MECHANICAL EXISTING/DEMO - GROUND LEVEL	03.24.25
M-1.1	MECHANICAL PLAN - SECOND LEVEL	03.24.25
M-2.0	MECHANICAL PLAN - GROUND LEVEL	03.24.25
M-2.1	MECHANICAL PLAN - SECOND LEVEL	03.24.25
M-2.2	MECHANICAL PLAN - ROOF	03.24.25
M-3.0	MECHANICAL TITLE-24	03.24.25
M-3.1	MECHANICAL TITLE-24	03.24.25
M-3.2	MECHANICAL TITLE-24	03.24.25
M-3.3	MECHANICAL TITLE-24	03.24.25
M-3.4	MECHANICAL TITLE-24	03.24.25
M-3.5	MECHANICAL TITLE-24	03.24.25

ELECTRICAL DRAWINGS

E.00	ELECTRICAL COVER SHEET	03.24.25
E.01	CA TITLE 24	11.18.25
E.02	CA TITLE 24	11.18.25
E.03	CA TITLE 24	11.18.25
E.04	CA TITLE 24	11.18.25
E.05	CA TITLE 24	11.18.25
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1E.1	LIGHTING PLAN, 1ST FLOOR	03.24.25
1E.2	POWER AND SIGNAL PLAN, 1ST FLOOR	03.24.25
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PLUMBING DRAWINGS

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P-1.1	PLUMBING EXISTING/DEMO SECOND LEVEL	03.24.25
P-2.0	PLUMBING PLAN WASTE & VENT GROUND LEVEL	03.24.25
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P-3.0	PLUMBING PLAN CW, HW, & GAS GROUND LEVEL	03.24.25
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P-4.0	PLUMBING PLAN RISER DIAGRAMS	03.24.25
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P-5.0	PLUMBING TITLE-24	03.24.25

8 DRAWING INDEX

PROJECT DATA

PARCEL DATA	
ADDRESS:	830 BANCROFT WAY BERKELEY, CA 94710
APN:	56-1941-22-2
LIQUEFACTION:	YES
PARCEL LARGER THAN OR EQUAL TO 10,000 SF:	YES
PARCEL LARGER THAN OR EQUAL ONE ACRE:	NO
ZONING CLASSIFICATION:	
ZONING DISTRICT:	R-1A
GENERAL PLAN:	LMDR (LOW MEDIUM DENSITY RESIDENTIAL)
CITY COUNCIL DISTRICT :	DISTRICT 2
HISTORIC STATUS:	NOT OFFICIALLY LANDMARKED
EXISTING BUILDING DATA	
YEAR BUILT:	1940
TOTAL BUILDING AREA:	18,380 GROSS SQUARE FEET
STORIES:	TWO
EXISTING + PROPOSED GROUND FLOOR AREA:	13,307 NET SQUARE FEET
EXISTING SECOND FLOOR AREA:	3,514 NET SQUARE FEET
PROPOSED SECOND FLOOR AREA:	3,180 NET SQUARE FEET
CONSTRUCTION TYPE:	VB
SPRINKLERED:	YES, EXISTING AUTOMATIC FIRE EXTINGUISHER SYSTEM IS TO BE MODIFIED AS REQUIRED UNDER SEPARATE PERMIT IN ACCORDANCE W/ CBC 903.3.1.
OCCUPANCY TYPE:	B (PRIMARY USES ARE "EDUCATIONAL OCCUPANCIES FOR STUDENTS ABOVE THE 12TH GRADE; TRAINING AND SKILL DEVELOPMENT NOT IN A SCHOOL OR ACADEMIC PROGRAM; PROFESSIONAL THERAPY SERVICES" [SEE CBC 304.1])
FIRE ALARMS:	NEW NFPA 72 COMPLIANT FIRE ALARM SYSTEM IS TO BE INSTALLED UNDER SEPARATE PERMIT
APPLICABLE CODES	2022 California Building Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Electrical Code 2022 California Fire Code 2022 California Green Building Standards Code 2022 California Energy Code 2022 California Existing Building Code Berkeley Municipal Code Title 19

PROJECT DESCRIPTION:

VISION WALKERS COLLECTIVE (VWC) IS A 501(C)3 NONPROFIT ORGANIZATION WHICH PROVIDES HOLISTIC THERAPY TRAINING, RESEARCH AND TREATMENT. VWC'S FUTURE OPERATIONS WITHIN THIS BUILDING WILL ALIGN WITH THE LEGAL NON-CONFORMING USE OF THE PROPERTY THAT HAS CONTINUED SINCE THE ORIGINAL USE PERMIT (UP A1469) WAS ISSUED IN 1988. THE ORGANIZATION'S OPERATIONS INCLUDE PROVIDING AN ADULT EDUCATIONAL AND VOCATIONAL TRAINING CENTER FOR HOLISTIC THERAPY, GROUP TRAININGS, AND GROUP THERAPY SESSIONS WILL BE OFFERED IN THE LARGER ROOMS, AND THE SMALLER ROOMS WILL BE USED FOR OFFICES AND ONE-ON-ONE SESSIONS.

THIS PROJECT INVOLVES THE ALTERATION OF AN EXISTING BUILDING, INCLUDING NEW RESTROOMS (SOME ACCESSIBLE) AND AN ALTERATION OF AN EXISTING SERVICE KITCHEN. A STAIR WILL BE RELOCATED AND AN ADJACENT SPACE WILL BE OPENED TO BE DOUBLE HEIGHT. NEW FINISHES, NEW PLUMBING FIXTURES, EQUIPMENT, AND LIGHT FIXTURES WILL BE INSTALLED.

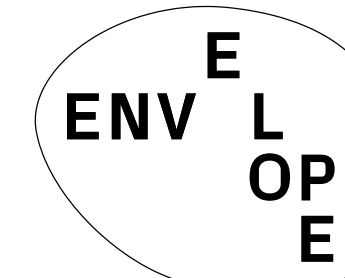
THE SIXTH STREET ENTRY SHALL BE ALTERED TO BE ACCESSIBLE, INCLUDING GRADING CHANGES AT THE SIDEWALK (PERMIT #P2025-00858). THAT ENTRY FACADE WILL RECEIVE A NEW GLASS BLOCK ENCLOSURE. GLASS BLOCK WILL ALSO ENCLOSE THE EXISTING GARAGE DOOR OPENING AT BANCROFT WAY.

ACCESSIBILITY UPGRADES INCLUDE NEW ACCESSIBLE ENTRY ON 6TH STREET, CLEARANCES IN ACCESSIBLE PATHS OF TRAVEL, ACCESSIBLE PLUMBING FIXTURES AT WC ROOMS AND KITCHENETTES, ACCESSIBLE DRINKING FOUNTAIN AND WATER DISPENSER, TACTILE EXIT SIGNS, ACCESSIBLE DOOR HARDWARE THROUGHOUT, ACCESSIBLE COUNTER HEIGHTS AND MOUNTING HEIGHTS.

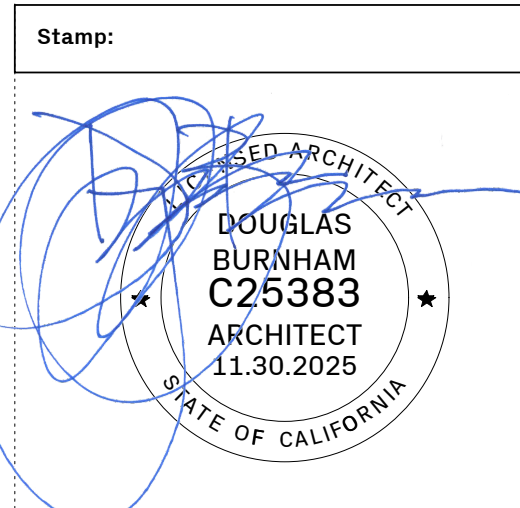
2ND STORY REPAIR WORK OF THE ROOF AND WALLS, INCLUDING WINDOW REPLACEMENT HAS ALREADY BEEN INITIATED AS EMERGENCY REPAIR WORK DUE TO EXTENSIVE WATER DAMAGE.

DEFERRED SUBMITTALS / UNDER SEPARATE PERMIT:
- MODIFICATIONS TO EXISTING FIRE SPRINKLER SYSTEM (PERMIT #F2025-00181)
- NEW FIRE ALARM SYSTEM (PERMIT #F2025-00176)
- GRADING AT SIXTH STREET ACCESSIBLE ENTRY SIDEWALK (PERMIT #P2025-00858)

4 PROJECT DATA + DESCRIPTION



ENVELOPE ARCHITECTURE + DESIGN
2212 6TH ST BERKELEY, CA 94710 USA
510.664.2400 ENVELOPEAD.COM
LICENSED ARCHITECT NO. C25383



Issue - Date:	
PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

DATE	11.18.2025
DRAWN BY	NL.BL
NORTH	SCALE
AS NOTED WHEN PRINTED 24" x 36"	

Sheet Name:

PROJECT DATA AND CONTENTS

Sheet Number:

a0.01

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GENERAL CONDITIONS + NOTES

- AIA DOCUMENT 201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK.
- THE OWNER OR AGENT SHALL APPLY AND PAY FOR THE BUILDING PERMIT, SUB PERMITS, WHEN REQUIRED, ARE THE RESPONSIBILITY OF THE SUBCONTRACTORS.
- EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: IBC, SEISMIC CODES, CBC, NEC, CEC, NPC, NFPA, ASME, UMC, ANSI, FIRE AND SAFETY CODES, STATE TITLE AND ADMINISTRATIVE CODES, LOCAL CODE AMENDMENTS, AMERICANS WITH DISABILITIES ACT, AND OTHER APPROPRIATE REGULATORY AUTHORITIES' LATEST ENFORCED EDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. ANY DISCREPANCIES IN DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SHOULD THE CONTRACTOR DOCUMENTS CONTRADICT THEMSELVES, CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND ARCHITECT AS SOON AS POSSIBLE OF ANY APPARENT ERRORS OR INCONSISTENCIES, NOT LIMITED TO TYPOGRAPHICAL OR NOTATIONAL ERRORS AND/OR CONFLICT DRAWINGS AND SPECIFICATIONS, OR IN WORK DONE BY OTHERS AFFECTING THE WORK, PROVIDE THE MORE STRINGENT OR HIGHER QUALITY OR QUANTITY, UNLESS OTHERWISE ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS/HER JURISDICTION.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE THEIR BID ON THE EXISTING CONDITIONS.
- PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO PROVIDE A COMPLETE, PROPERLY OPERATING, AND SAFE FACILITY. THE EXTENT OF THE WORK, AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS, SHALL NOT BE REASONABLY INFERRED TO BE REQUIRED FOR PROPER EXECUTION OR INSTALLATION OF WORK AND FOR COMPLETE SYSTEMS.
- OWNER OR VENDOR PURCHASED AND INSTALLED PRODUCTS: OWNER OR VENDOR WILL FURNISH PRODUCTS INDICATED, THE WORK INCLUDES RECEIVING, UNLOADING, HANDLING, STORING, PROTECTING, AND INSTALLING OWNER-/VENDOR FURNISHED PRODUCTS AND MAKING BUILDING SERVING CONNECTIONS.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE AND COMMUNICATION OUTLETS, LIGHT FIXTURES AND SWITCHES, AND OTHER VISIBLE EQUIPMENT WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL PATCH AND REPAIR ALL FIRE-PROOFING DAMAGE INCURRED DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR BUILDING OWNERS' AGENT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. CONTRACTOR TO NOTIFY ARCHITECT AND BUILDING MANAGER IF CONFLICTS EXIST.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMIANATING FROM CONSTRUCTION AREA.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY CONTRACT RESPONSIBILITY RESULTANT FROM ARCHITECT'S FAILURE TO DETECT SHOP DRAWING ERRORS AND OMISSIONS IN CONFLICT WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED THEREIN DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING OF ACCESS INTO ADJACENT TENANT SPACES WITH THE OWNER AS REQUIRED FOR PRICING AND CONSTRUCTION WORK FIGURED ON AN OVERTIME BASIS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO HAZARDOUS OR TOXIC MATERIALS, INCLUDING WITHOUT LIMITATION ASBESTOS, PCB'S AND UNDERGROUND STORAGE TANKS. IF CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, CONTRACTOR SHALL PROMPTLY NOTIFY THE BUILDING OWNERS' AGENT AND SHALL TAKE ALL APPROPRIATE SAFETY PRECAUTIONS IN PERFORMING THE WORK.
- IN ACCORDANCE WITH THE CBC CHAPTER 9 THE MAXIMUM FLAME SPREAD SHALL NOT EXCEED THE LIMITS OF TABLE 803.13 FOR THE FINISH MATERIALS ON THE CEILING AND INTERIOR WALLS. A CERTIFICATION OF MATERIALS SHALL BE REQUIRED TO PASS INSPECTION IN THE FIELD.
- CHANGES IN FLOOR GRADE GREATER THAN 1/4" OVER ANY MEASURABLE DISTANCE TO BE THE RESPONSIBILITY OF GENERAL CONTRACTOR. LESSER CHANGES IN FLOOR GRADE TO BE THE RESPONSIBILITY OF FLOORING CONTRACTOR.
- UPON COMPLETION OF THE WORK, OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE ARCHITECT TO PREPARE A "PUNCH LIST" OF REQUIRED CORRECTIONS, REMEDYING UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE TWO REPRODUCIBLE COMPOSITE SETS OF "AS-BUILT" DRAWINGS FOR HVAC, ELEC., FIRE AND LIFE SAFETY, SPRINKLER, AND PLUMBING WORK. ONE COMPLETED SET SHOULD BE SUBMITTED TO THE ARCHITECT, ONE SET TO THE BUILDING OWNER'S AGENT.

PARTITION NOTES

- THE CONTRACTOR SHALL VERIFY PARTITION LAYOUT IN FIELD WITH ARCHITECT BEFORE PROCEEDING.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED. THESE SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.
- ALL PARTITIONS ARE DIMENSIONED FINISH FACE TO FINISH FACE OF GYPSUM BOARD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISHED FLOOR.
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE LINE AND GRADE MARKINGS ON THE FINISH FLOOR FOR RECTIFYING UNLEVEL FLOOR CONDITIONS.
- DIMENSIONS NOTED "CLEAR" OR "CLR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED.
- PERIMETER PARTITIONS SHOWN WITHOUT DIMENSIONS AND ALIGNMENT CONDITIONS SHALL BE CENTERED ON COLUMN FURRING OR WINDOW MULLION. VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- THERE SHALL BE A MINIMUM OF 1'-0" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE PULL SIDE OF ALL DOORS.
- ALL LATCH SETS AND LOCK SETS ON ALL DOORS SHALL COMPLY WITH ALL ACCESSIBILITY CODES.
- BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMBS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION.
- THE CONTRACTOR SHALL UNDERCUT BUILDING STANDARD INTERIOR DOORS AS REQUIRED TO CLEAR FINISH FLOOR AND/OR THRESHOLD WITH SEAL BY 1/4". ALL RATED DOORS, IF ANY, SHALL BE ORDERED SO AS TO CLEAR FINISH FLOOR BY 1/4". ACOUSTICAL SWEEPS ARE REQUIRED @ ALL (N) DOORS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING FOR WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO HANDRAILS, CABINETS, COUNTERS, GRAB BARS, LOCKERS, FIXTURES, BACKING SHALL BE FIRE-RETARDANT TREATED WOOD BLOCKING, AS REQUIRED BY CODE, OR HEAVY GAUGE SHEET METAL STRAPPING AS DETAILED OR AS NECESSARY. U.O.N., PROVIDE 20 GAUGE METAL STUDS BEHIND ALL WALL MOUNTED ITEMS. REFER TO PARTITION TYPES FOR ADDITIONAL REQUIREMENTS.
- INSTALLATION OF ALUMINUM FRAMES SHALL BE SECURED RIGIDLY TO THE ADJACENT SURFACES. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. NO GAPS WITH BE ACCEPTED. ALL SCRATCH MARKS SHALL BE RESTORED USING FINISH TO MATCH EXISTING.

FINISH NOTES

- CONTRACTOR SHALL PROTECT EXPOSED CONCRETE SURFACES THAT ARE ADJACENT TO PAINTED SURFACES FROM OVERSPRAY/DRIPS/BRUSH MARKS.
- NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH JEOPARDIZE THE QUALITY OF APPEARANCE OF SUCH WORK.
- ALL COLORS ARE TO BE SELECTED BY THE ARCHITECT. CONTRACTOR SHALL PROVIDE THREE 8" X 10" BRUSH-OUT CARDS OF EACH OPAQUE FINISH COLOR AND OBTAIN ARCHITECT'S APPROVAL OF SAMPLES PRIOR TO APPLICATION. FOR TRANSPARENT FINISHES, PROVIDE THREE 8" X 10" SAMPLES OF EACH FINISHED IN THE SPECIES OF WOOD SPECIFIED AND OBTAIN ARCHITECT'S APPROVAL OF SAMPLES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL EXAMINE ALL SURFACES TO BE FINISHED UNDER THIS CONTRACT AND SEE THAT THE WORK OF OTHER TRADES HAS BEEN LEFT OR INSTALLED IN SATISFACTORY CONDITION TO RECEIVE PAINT, STAIN OR SPECIFIED FINISH. THE APPLICATION OF THE FIRST COAT SHALL INDICATE ACCEPTANCE OF THE SURFACE.
- ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. WOODWORK SHALL BE HAND-SANDED AND DUSTED CLEAN. ALL KNOT HOLES, PITCH POCKETS OR SAPPY PORTION SHALL BE SCRAPED AND SHELLACKED OR SEALED WITH KNOT SEALER. NAIL HOLES, CRACKS OR DEFECTS CAREFULLY PUTTIED AFTER FIRST COAT. WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE ANY OIL OR GREASE WITH MINERAL SPIRITS.
- INTERIOR WOODWORK FINISHES SHALL BE SANDED BETWEEN COATS. CRACKS, HOLES OR IMPERFECTIONS IN PLASTER OR WALLBOARD SHALL BE FILLED WITH PROPER PATCHING COMPOUND FOR THAT MATERIAL.
- INTERIOR GYPSUM WALL BOARD SURFACES SHALL BE WIPED WITH DAMP CLOTH JUST PRIOR TO APPLICATION OF FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED DURING THE SANDING PROCESS.
- AT COMPLETION OF PAINTING, ALL PAINTING MATERIALS AND EQUIPMENT SHALL BE REMOVED, ALL PAINT SPOTS REMOVED AND ALL AREAS THOROUGHLY CLEANED. ANY DIRT OR DEBRIS CAUSED BY WORK SHALL BE CLEANED UP AS WORK PROGRESSES.
- RETOUCH OR REFINISH PAINTED SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY GENERAL CONTRACTOR. THE COST OF SUCH WORK SHALL BE BORNE BY THE TRADE RESPONSIBLE FOR THE DAMAGE.
- PAINTED DOORS AND FRAMES TO BE SEMI-GLOSS FINISH ON COLOR TO MATCH ADJ. WALLS. U.O.N.
- FLOOR AND BASE FINISHES:
A. VERIFY THAT SUB-SURFACE IS SMOOTH, LEVEL, AND FREE FROM DEFECTS WHICH WOULD AFFECT THE INSTALLATION. DO NOT PROCEED WITH WORK UNTIL DEFECTS HAVE BEEN CORRECTED. THOROUGHLY CLEAN SUB-FLOOR PRIOR TO APPLICATION OF ADHESIVE.
B. PAINTED OR OTHERWISE FINISHED SURFACES SHALL BE PROTECTED FROM DAMAGE DURING FLOORING INSTALLATION.
- ALL PAINTS TO BE LOW-EMITTING PER CALGREEN SECTION 5.504.4.3
- ALL ADHESIVES AND SEALANTS TO BE LOW-EMITTING ACCORDING TO THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1108 AND CALGREEN SECTION 5.504.4.1
- ALL COMPOSITE WOOD PRODUCTS TO BE LOW-EMITTING AND MEET CURRENT FORMALDEHYDE LIMITS (PPM) AS SPECIFIED IN AIA'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AND PER CALGREEN SECTION 5.504.4.5
- PURCHASE MATERIALS THAT INCLUDE RESPONSIBLE EXTRACTION, HARVESTING, AND MANUFACTURING PROCESSES WITH REPUTABLE STANDARDS AND TRACKING, SUCH AS FOREST STEWARDSHIP COUNCIL (FSC) CERTIFIED WOOD PRODUCTS.

MILLWORK NOTES

- ALL MILLWORK TO BE FABRICATED PER WIC CUSTOM STANDARDS (U.O.N.)
- THE GENERAL CONTRACTOR SHALL SUBMIT A REPRODUCIBLE COPY (PDF) OF SHOP DRAWINGS OF ALL MILLWORK TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- ALL WOOD BACKING /BLOCKING/BRACING TO BE FIRE-RETARDANT TREATED.
- ALL CABINET DOORS TO HAVE CONCEALED EUROPEAN-STYLE SELF-CLOSING HINGES (U.O.N.)
- ALL DRAWERS TO HAVE MEDIUM-DUTY ACCURIDE FULL EXTENSION SLIDES OR EQUAL.
- REFER TO CABINET ELEVATIONS FOR FINISHES AND LOCATIONS OF PULLS.
- ALL WOODWORK FINISHES TO MATCH ARCHITECT'S SAMPLE AND BE SUBMITTED TO ARCHITECT FOR APPROVAL.
- SCRIBE ALL MILLWORK TO WALL WHERE APPLICABLE.

GLAZING GENERAL NOTES

- SUBMIT MANUFACTURER'S SHOP DRAWINGS, INCLUDING PLANS, ELEVATIONS, SECTIONS, AND DETAILS INDICATING DIMENSIONS, TOLERANCES, MATERIALS, FABRICATION, GLAZING, FASTENERS, HARDWARE, FINISH, OPTIONS AND ACCESSORIES.
- SUBMIT MANUFACTURER'S SAMPLES OF SELECTED FINISHES AND FOR EACH TYPE OF GLASS (12x12 INCH SIZE).
- ALL WINDOWS AND GLASS DOORS TO BE "CLEAR" 1" I.G.U.'S (INSULATED GLASS UNITS) W/ LOW E2 COATING, U.O.N. SEE SCHEDULE FOR SPECIFIC LOW-E AND LOW-E2 SPECIFICATIONS.
- ALL WINDOW AND GLASS DOOR LITES AT THE FOLLOWING HAZARDOUS LOCATIONS SHALL BE SAFETY GLASS AS PER CBC SECTION 2406
 - GLAZING IN FIXED AND EGRESS DOORS EXCEPT JALOUSIES.
 - GLAZING IN INGRESS AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 - GLAZING IN STORM DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
7.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
7.2 EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
7.3 EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
7.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
 - GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
 - GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
9.1 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE POOL SIDE OF THE GLAZING
9.2 THE GLAZING IS WITHIN 5' OF A SWIMMING POOL OR SPA WATER'S EDGE.
 - GLAZING IN WALLS ENCLOSED STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AN TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
- GLASS AND GLAZING SHALL BE INSTALLED PER PUBLISHED SPECIFICATIONS, STANDARDS, TESTS AND RECOMMENDED METHODS OF THE TRADE, INDUSTRY OR GOVERNMENTAL ORGANIZATIONS APPLYING WORK IN THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
FEDERAL SPECIFICATION 00-6-001043
FLAT GLAZE MARKETING ASSOC. (FGMA) "GLAZING MANUAL"
SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (16 CFT 1201) ISSUED BY THE CONSUMER PRODUCT SAFETY COMMISSION, JULY 6,1977
ASTM A 240, ASTM A 653, ASTM B 209, ASTM B 221, ASTM C 1048

FIRE NOTES

- THE BUILDING SHALL BE EQUIPPED WITH AN APPROVED NFPA 13 SPRINKLER SYSTEM THROUGHOUT. SPRINKLER DRAWINGS SHALL BE SUBMITTED AND APPROVED BY THE BERKELEY FIRE DEPARTMENT PRIOR TO INSTALLATION.
- THE APPLICANT SHALL ENSURE PROPER DRAINAGE, IN ACCORDANCE WITH THE BERKELEY ENGINEERING STANDARDS, IS AVAILABLE FOR THE FIRE SPRINKLER MAIN DRAIN AND INSPECTOR TEST ON THE BUILDING PLUMBING DRAWINGS.
- THE FIRE SPRINKLER SYSTEM WILL NOT BE APPROVED BY THE BERKELEY FIRE DEPARTMENT UNTIL THE FIRE PROTECTION UNDERGROUND HAS BEEN SUBMITTED AND APPROVED BY THE BERKELEY BUILDING DEPARTMENT.
- FIRE SPRINKLER SYSTEM WILL NOT BE PUT OUT OF SERVICE DURING DEMOLITION WORK IN THIS PERMIT. IF THIS BECOMES NECESSARY, GENERAL CONTRACTOR SHALL IMPLEMENT A PRE-PLANNED IMPAIRMENT PROGRAM COMPLIANT WITH §901.7.4. SYSTEMS SHALL BE RESTORED TO SERVICE PER §901.7.6.
- FIRE ALARM DEVICES (SPRINKLERS, SMOKE ALARMS, AND SMOKE DETECTORS) SHALL BE PERMITTED TO BE TEMPORARILY COVERED AS ALLOWED BY §3303.9.1. COVERINGS PLACED ON OR OVER DEVICES SHALL BE IMMEDIATELY REMOVED UPON COMPLETION OF THE WORK EFFECTING THE DEVICE PER §3303.10.
- DURING CONSTRUCTION:
A. THE MEANS OF EGRESS SHALL BE MAINTAINED DURING DEMOLITION. [§3312.2]
B. SMOKING SHALL BE PROHIBITED EXCEPT IN APPROVED AREAS. SIGNS SHALL BE POSTED IN ACCORDANCE WITH §910 [§3305.1]
C. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL NOT BE ACCUMULATED WITHIN BUILDINGS. [§3305.2.1]
D. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT OF WORK. [§3305.2.2]
E. RUBBISH CONTAINERS WITH A CAPACITY OF MORE THAN 40 GALLONS ARE USED TO TEMPORARILY COLLECT COMBUSTIBLE WASTE MATERIALS SHALL HAVE A CLOSE-FITTING LID AND EITHER BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS OR BE ASTM E1354 LISTED. [§3305.2.3]
F. MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OILY RAGS, SHALL BE STORED IN A LISTED DISPOSAL CONTAINER. [§3305.2.4]
G. COOKING SHALL BE PROHIBITED EXCEPT IN APPROVED DESIGNATED COOKING AREAS SEPARATED FROM COMBUSTIBLE MATERIALS BY A MINIMUM OF 10 FEET. [§3305.8]
H. PORTABLE GENERATORS USED AT CONSTRUCTION AND DEMOLITION SITES SHALL COMPLY WITH §1204. [§3309.1]
• PORTABLE GENERATORS MANUFACTURED AFTER JANUARY 1, 2021, SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2201. [§1204.2]
• PORTABLE GENERATORS SHALL NOT BE OPERATED WITHIN BUILDINGS OR ENCLOSED AREAS. [§1204.5]
• A LISTED PORTABLE FIRE EXTINGUISHER COMPLYING WITH §906 WITH A MINIMUM RATING OF 2-A-20-B-C
- IMMEDIATE ACCESS TO THE FIRE DEPARTMENT CONNECTION (FDC) SHALL BE MAINTAINED AT ALL TIMES WITHOUT OBSTRUCTION BY BUSHES, TREES, WALLS, OR ANY OTHER FIXED OR MOVEABLE OBJECTS. A METAL SIGN WITH RAISED LETTERS NOT LESS THAN 1 INCH IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ: "AUTOMATIC SPRINKLERS" OR "STANDPIPES" OR "TEST CONNECTION" OR A COMBINATION THEREOF AS APPLICABLE. WHERE THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING, A SIGN SHALL BE PROVIDED INDICATING THE PORTIONS OF THE BUILDING SERVED. [§912.4 AND §912.5]

GREEN BUILDING NOTES

- REDUCTION IN CEMENT USE: AS ALLOWED BY THE ENFORCING AGENCY, CEMENT USED IN CONCRETE MIX DESIGN SHALL BE REDUCED NOT LESS THAN 25 PERCENT. PRODUCTS COMMONLY USED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO: FLY ASH, SLAG, SILICA FUME AND RICE HULL ASH.
- TEMPORARY VENTILATION: THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30-PERCENT BASED ON ASHRAE 52.2-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION. [CGBCS 5.504.1]
- COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION: AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE CITY OF BERKELEY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM. [CGBCS 5.504.3]
- FILTERS: IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13. MERV 13 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. EXISTING MECHANICAL EQUIPMENT EXCEPTED. [CGBCS 5.504.5.3]
• LABELING. INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING. [CGBCS 5.504.5.3.1]
- ADHESIVES, SEALANTS AND CAULKS: ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL COMPLY WITH CALGREEN TABLE 5.504.4.1 AND 5.504.4.2 FOR VOC LIMITS. PRODUCT UNITS WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND CALIFORNIA CODE OF REGULATIONS, TITLE 17. [CGBCS 5.504.4.1]
- PAINTS AND COATINGS: ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN CALGREEN TABLE 5.504.4.3. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN CALGREEN TABLE 5.504.4.3 SHALL APPLY. [CGBCS 5.504.4.3]
- AEROSOL PAINTS AND COATINGS: AEROSOL PAINTS AND COATINGS SHALL MEET THE PWIR LIMITS FOR ROC IN CALIFORNIA CODE OF REGULATIONS, TITLE 17 AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT. ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49. [CGBCS 5.504.4.3.1]
- CARPET SYSTEMS: ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS." VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS.
HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CDPHP/DEDC/EBLB/IAQ/PAGES/VOC.ASPX
ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1. [CGBCS 5.504.4.1]
- COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SHOWN IN CALGREEN TABLE 5.504.4.5. [CGBCS 5.504.4.5]

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

MATERIALS & WASTE MANAGEMENT

- NON-HAZARDOUS MATERIALS**
BERM AND COVER STOCKPILES OF SAND, DIRT OR OTHER CONSTRUCTION MATERIAL WITH TARPS WHEN RAIN IS FORECAST OR IF NOT ACTIVELY BEING USED WITHIN 14 DAYS. USE (BUT DON'T OVERUSE) RECLAIMED WATER FOR DUST CONTROL.
- HAZARDOUS MATERIALS**
LABEL ALL HAZARDOUS MATERIALS AND HAZARDOUS WASTES (SUCH AS PESTICIDES, PAINTS, THINNERS, SOLVENTS, FUEL, OIL, AND ANTI-FREEZE) IN ACCORDANCE WITH CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
STORE HAZARDOUS MATERIALS AND WASTES IN WATER TIGHT CONTAINERS, STORE IN APPROPRIATE SECONDARY CONTAINMENT, AND COVER THEM AT THE END OF EVERY WORK DAY OR DURING WET WEATHER OR WHEN RAIN IS FORECAST.
FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR HAZARDOUS MATERIALS AND BE CAREFUL NOT TO USE MORE THAN NECESSARY. DO NOT APPLY CHEMICALS OUTDOORS WHEN RAIN IS FORECAST WITHIN 24 HOURS.
ARRANGE FOR APPROPRIATE DISPOSAL OF ALL HAZARDOUS WASTES.

UNIVERSAL WASTE

- VERIFICATION OF PROPER DISPOSAL OF ALL CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS (SEE BELOW LIST AND REFER TO DTSC WEBSITE FOR MORE INFORMATION) IS REQUIRED PER CAL GREEN SECTION 5.408.2
- THERE ARE EIGHT CATEGORIES OF WASTE THAT HAVE BEEN CLASSIFIED AS PROHIBITED UNIVERSAL WASTE — BATTERIES, ELECTRONIC WASTE, CRTS, CRT GLASS, LAMPS, MERCURY WASTES, NON-EMPTY AEROSOL CANS, AND PV MODULES.

CONSTRUCTION ENTRANCES AND PERIMETER

- ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM SITE AND TRACKING OFF SITE.
SWEEP OR VACUUM ANY STREET TRACKING IMMEDIATELY AND SECURE SEDIMENT SOURCE TO PREVENT FURTHER TRACKING. NEVER HOSE DOWN STREETS TO CLEAN UP TRACKING.

WASTE MANAGEMENT

- PRIOR TO CONSTRUCTION, COMPLETE A CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN SECTION 5.408 AND LOCAL ORDINANCES.
DIVERT AT LEAST 65% OF JOB SITE CONSTRUCTION AND DEMOLITION WASTE FROM LANDFILL VIA RECYCLING OR REUSE, CHECK LOCAL ORDINANCES FOR MORE STRINGENT REQUIREMENTS AND ADDITIONAL TOOLS FOR COMPLIANCE, SUCH AS ONLINE SUBMITTAL AND TRACKING FORMS.
COVER WASTE DISPOSAL CONTAINERS SECURELY WITH TARPS AT THE END OF EVERY WORK DAY AND DURING WET WEATHER.
CHECK WASTE DISPOSAL CONTAINERS FREQUENTLY FOR LEAKS AND TO MAKE SURE THEY ARE NOT OVERFILLED.
NEVER HOSE DOWN A DUMPSTER ON THE CONSTRUCTION SITE.
CLEAN OR REPLACE PORTABLE TOILETS, AND INSPECT THEM FREQUENTLY FOR LEAKS AND SPILLS.
DISPOSE OF ALL WASTES AND DEBRIS PROPERLY. RECYCLE MATERIALS AND WASTES THAT CAN BE RECYCLED (SUCH AS ASPHALT, CONCRETE, AGGREGATE BASE MATERIALS, WOOD, GYP BOARD, PIPE, ETC.)
DISPOSE OF LIQUID RESIDUES FROM PAINTS, THINNERS, SOLVENTS, GLUES, AND CLEANING FLUIDS AS HAZARDOUS WASTE.

BMPs (CONTINUED)

EQUIPMENT MANAGEMENT & SPILL CONTROL

- MAINTENANCE AND PARKING**
DESIGNATE AN AREA, FITTED WITH APPROPRIATE BPMS, FOR VEHICAL AND EQUIPMENT PARKING AND STORAGE.
PERFORM MAJOR MAINTENANCE, REPAIR JOBS, AND VEHICAL AND EQUIPMENT WASHING OFF SITE. IF REFUELING OR VEHICAL MAINTENANCE MUST BE DONE ONSITE, WORK IN A BERMED AREA AWAY FROM STORM DRAINS AND OVER A DRIP PAN BIG ENOUGH TO COLLECT FLUIDS. RECYCLE OR DISPOSE OF FLUIDS AS HAZARDOUS WASTE.
IF VEHICAL OR EQUIPMENT CLEANING MUST BE DONE ONSITE, CLEAN WITH WATER UNTO A BERMED AREA THAT WILL NOT ALLOW RINSE WATER TO RUN INTO GUTTERS, STREETS, STORM DRAINS, OR SURFACE WATERS. DO NOT CLEAN VEHICAL OR EQUIPMENT ONSITE USING SOAPS, SOLVENTS, DEGREASERS, STEAM CLEANING EQUIPMENT, ETC.

SPILL PREVENTION AND CONTROL

- KEEP SPILL CLEANUP MATERIALS (RAGS, ABSORBENTS, ETC.) AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
INSPECT VEHICLES AND EQUIPMENT FREQUENTLY FOR AND REPAIR LEAKS PROMPTLY. USE DRIP PANS TO CATCH LEAKS UNTIL REPAIRS ARE MADE.
CLEAN UP SPILLS OR LEAKS IMMEDIATELY AND DISPOSE OF CLEANUP MATERIALS PROPERLY. DO NOT HOSE DOWN SURFACES WHERE FLUIDS HAVE SPILLED.
USE DRY CLEANUP METHODS (ABSORBENT MATERIALS, CAT LITTER, AND/OR RAGS). SWEEP UP SPILLED DRY MATERIALS IMMEDIATELY. DO NOT TRY TO WASH THEM AWAY WITH WATER, OR BURY THEM.
CLEAN UP SPILLS ON DIRT AREAS BY DIGGING UP AND PROPERLY DISPOSING OF CONTAMINATED SOIL.
REPORT SIGNIFICANT SPILLS IMMEDIATELY. YOU ARE REQUIRED BY LAW TO REPORT ALL SIGNIFICANT RELEASES OF HAZARDOUS MATERIALS, INCLUDING OIL, TO REPORT A SPILL: 1) DIAL 911 OR YOUR LOCAL EMERGENCY RESPONSE NUMBER. 2) CALL THE GOVERNOR'S OFFICE OF EMERGENCY SERVICES WARNING CENTER, (800) 852-7550 (24 HOURS).

PAVING / ASPHALT WORK

- AVOID PAVING AND SEAL COATING IN WET WEATHER, OR WHEN RAIN IS FORECAST BEFORE FRESH PAVEMENT WILL HAVE TIME TO CURE.
COVER STORM DRAIN INLETS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, FOG SEAL, ETC.
COLLECT AND RECYCLE OR APPROPRIATELY DISPOSE OF EXCESS ABRASIVE GRAVEL OR SAND. DO NOT SWEEP OR WASH IT INTO GUTTERS.
DO NOT USE WATER TO WASH DOWN FRESH ASPHALT CONCRETE PAVEMENT.

SAWCUTTING & ASPHALT/CONCRETE REMOVAL

- COMPLETELY COVER OR BARRICADE STORM DRAIN INLETS WHEN SAWCUTTING. USE FILTER FABRIC, CATCH BASIN INLET FILTERS, OR DRAIN BAGS TO KEEP SLURRY OUT OF THE STORM DRAIN SYSTEM.
SHOVEL, ABSORB, OR VACUUM SAW-CUT SLURRY AND DISPOSE OF ALL WASTE AS SOON AS YOU ARE FINISHED IN ONE LOCATION OR AT THE END OF EACH WORK DAY (WHICHEVER IS SOONER). IF SAWCUT SLURRY ENTERS A CATCH BASIN, CLEAN IT UP IMMEDIATELY.

CONCRETE, GROUT & MORTAR APPLICATION

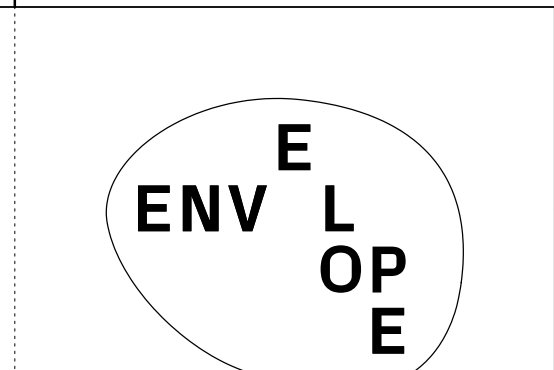
- STORE CONCRETE, GROUT AND MORTAR UNDER COVER, ON PALLETS AND AWAY FROM DRAINAGE AREAS. THESE MATERIALS MUST NEVER REACH A STORM DRAIN.
WASH OUT CONCRETE EQUIPMENT/TRUCKS OFFSITE OR IN A CONTAINED AREA, SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL OR ONTO SURROUNDING AREAS. LET CONCRETE HARDEN AND DISPOSE OF AS GARBAGE.
COLLECT THE WASH WATER FROM WASHING EXPOSED AGGREGATE CONCRETE AND REMOVE IT FOR APPROPRIATE DISPOSAL OFFSITE.

DEWATERING

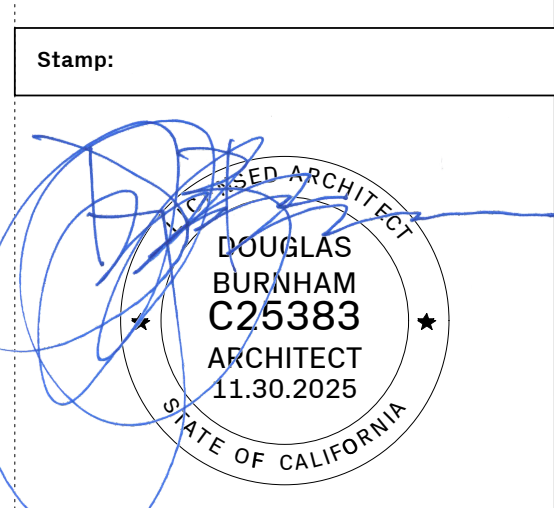
- EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE, AND ALL RUNOFF THAT DISCHARGES FROM THE SITE. DIVERT RUN-ON WATER FROM OFFSITE AWAY FROM ALL DISTURBED AREAS OR OTHERWISE ENSURE COMPLIANCE.
WHEN DEWATERING, NOTIFY AND OBTAIN APPROVAL FROM THE LOCAL MUNICIPALITY BEFORE DISCHARGING WATER TO A STREET GUTTER OR STORM DRAIN. FILTRATION OR DIVERSION THROUGH A BASIN, TANK, OR SEDIMENT TRAP MAY BE REQUIRED.
IN AREAS OF KNOWN CONTAMINATION, TESTING IS REQUIRED PRIOR TO REUSE OR DISCHARGE OF GROUNDWATER. CONSULT WITH THE ENGINEER TO DETERMINE WHETHER TESTING IS REQUIRED AND HOW TO INTERPRET RESULTS. CONTAMINATED GROUNDWATER MUST BE TREATED OR HAULED OFF-SITE FOR PROPER DISPOSAL.

PAINTING & PAINT REMOVAL

- PAINTING/CLEANUP**
NEVER CLEAN BRUSHES OR RINSE PAINT CONTAINERS INTO A STREET, GUTTER, STORM DRAIN, OR SURFACE WATERS.
FOR WATER-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE, RINSE TO THE SANITARY SEWER ONCE YOU HAVE GAINED PERMISSION FROM THE LOCAL WASTEWATER TREATMENT AUTHORITY. NEVER POUR PAINT DOWN A DRAIN.
FOR OIL-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE AND CLEAN WITH THINNER OR SOLVENT IN A PROPER CONTAINER. FILTER AND REUSE THINNERS AND SOLVENTS. DISPOSE OF RESIDUE AND UNUSABLE THINNER/SOLVENTS AS HAZARDOUS WASTE.



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PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
830 Bancroft Way
Berkeley, CA 94710

Sheet Information:

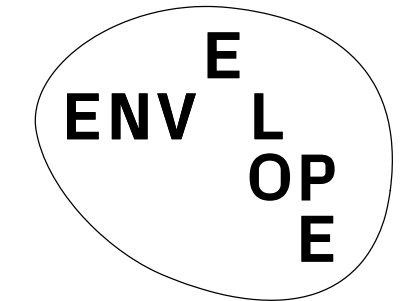
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GENERAL NOTES

Sheet Number:

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NOTES ON OCCUPANCY AND INTENDED USES

THE CORE MISSION OF VISION WALKERS COLLECTIVE IS TO EXPAND EQUITABLE ACCESS TO EFFECTIVE MENTAL AND BEHAVIORAL HEALTH TREATMENTS THROUGH OFFERING VOCATIONAL TRAINING AND SKILL DEVELOPMENT PROGRAMS FOR INDIVIDUALS SEEKING TO BECOME THERAPIST PRACTITIONERS. THE TRAINING PROGRAMS WILL BE FEE BASED, THOUGH VWC WILL ALSO OFFER GRANTS TO SUPPORT TRAININGS FOR INDIVIDUALS ON BOTH LICENSURE AND NON-LICENSURE PATHS TO PROFESSIONAL DEVELOPMENT. PROFESSIONAL THERAPY SERVICES WILL ALSO BE OFFERED FOR INDIVIDUALS AND GROUPS IN THE BUILDING.

THE LARGER GROUP SPACES, LABELED AS "VOCATIONAL TRAINING ROOMS" ARE INTENDED TO BE USED BY TEACHERS AND GROUPS AVERAGING 20-30 STUDENTS AT A TIME. STUDENTS WILL PRIMARILY BE IN SEATED OR LAYING POSITIONS ON MATS SPREAD THROUGHOUT THE ROOM, AND WILL BE INSTRUCTED ON VARIOUS HOLISTIC HEALING MODALITIES, WITH A SIMILAR SET UP OF FLOOR MATS + CUSHIONS, GROUP THERAPY SESSIONS WILL ALSO BE HELD IN THESE ROOMS.

THE SMALLER ADJACENT "VOCATIONAL TRAINING ROOMS" (102B, 103B, 105B) ARE EACH AN EXTENSION OF THEIR ADJACENT TRAINING ROOM, AND WILL BE USED DURING THE TRAINING AND GROUP THERAPY SESSIONS AS A SPACE FOR THE PARTICIPANTS TO BREAK INTO SMALLER GROUPS FOR VARIOUS INSTRUCTIONAL ACTIVITIES.

THE "OFFICE" SPACES WILL SERVE AS INDIVIDUAL TREATMENT ROOMS FOR PROFESSIONAL THERAPISTS AND THEIR PATIENTS, AS WELL AS AN EXPANDED SPACE FOR ONE-ON-ONE OR SMALL GROUP VOCATIONAL TRAINING AND THERAPY SESSIONS. SOME OFFICES WILL BE OUTFITTED WITH DESKS AND UTILIZED AS TRADITIONAL OFFICE SPACE.

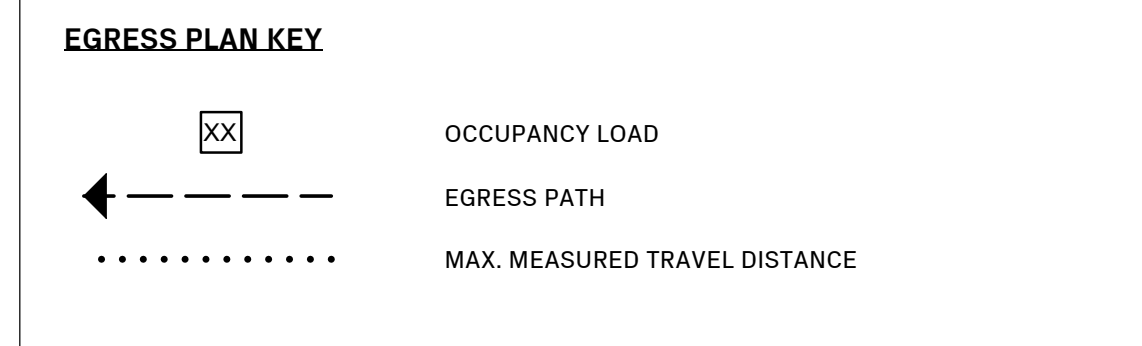
SHEET NOTES

1. THE EDUCATIONAL ROOMS WILL NOT BE USED AS ASSEMBLY SPACES WITHOUT FIXED SEATING AND WILL BE LIMITED TO EDUCATIONAL PURPOSES ONLY
2. LOCATION OF OCCUPANT LOAD SIGN
3. LOCATION OF ILLUMINATED EXIT SIGN + TACTILE SIGN WITH THE WORD "EXIT", SEE 17/60.08 FOR DETAILS
4. LOCATION OF ILLUMINATED EXIT SIGN + TACTILE SIGN WITH THE WORD "EXIT ROUTE", SEE 17/60.08 FOR DETAILS
5. PROVIDE EMERGENCY EGRESS LIGHTING FOR THE ENTIRE EGRESS PATH, INCLUDING THE EXTERIOR SPACES, AROUND THE EXIT POINTS
6. PROVIDE EMERGENCY EGRESS LIGHTING, SUCH THAT THE AVERAGE ILLUMINATION IS 1 FOOT-CANDLE (FC) ALONG THE EGRESS PATH. PROVIDE LIGHTING FOR THE STAIRCASES, IF THERE IS NONE EXISTING AT THIS TIME.
7. PROVIDE PANIC HARDWARE

OCCUPANCY LOAD BY FUNCTION AND ACCESSIBILITY

*PER CBC TABLE 1004.5

BUSINESS AREA	1:150 GROSS
EDUCATIONAL: SHOPS AND OTHER VOCATIONAL ROOM AREAS	1:50 NET
KITCHENS, COMMERCIAL	1:200 GROSS
ACCESSORY STORAGE ROOMS / MECHANICAL EQUIPMENT ROOM	1:300 GROSS
NON-CONTRIBUTING	1:0



PROPOSED OCCUPANT LOAD TABLE

*PER CBC TABLE 1004.5

ROOM	OCCUPANCY GROUP	SQ.FT.	OCC. FACTOR	TOTAL OCC.
GROUND FLOOR				
100	ENTRY (NON-CONTRIBUTING)	165	0	153
100B	UTILITY	236	300	0
126	VOCATIONAL TRAINING	716	50	15
127	VOCATIONAL TRAINING	449	50	9
124	VOCATIONAL TRAINING	876	50	18
125	VOCATIONAL TRAINING	449	50	2
123	BUSINESS AREA	215	150	2
122	STORAGE	372	300	2
120	VOCATIONAL TRAINING	2368	50	48
121	VOCATIONAL TRAINING	442	50	9
119	KITCHEN	300	200	2
105	BUSINESS AREA	199	150	2
106	BUSINESS AREA	188	150	2
107	BUSINESS AREA	365	150	3
101	BUSINESS AREA	126	150	1
102	BUSINESS AREA	135	150	1
104	BUSINESS AREA	132	150	1
103	BUSINESS AREA	138	150	1
100B	WC	229	150	2
108	BUSINESS AREA	160	150	2
109	BUSINESS AREA	160	150	2
114	KITCHENETTE	87	200	1
113	BUSINESS AREA	124	150	1
116B	WC	400	0	0
116C	STORAGE / UTILITY	31	300	1
112	BUSINESS AREA	121	150	1
111	BUSINESS AREA	126	150	1
110	BUSINESS AREA	141	150	1
115	VOCATIONAL TRAINING	583	50	12
116A	ENTRY (NON-CONTRIBUTING)	315	0	0
118A	LAUNDRY / STORAGE	116	300	1
118B	STORAGE / UTILITY	87	300	1
118C	TRASH	75	300	1
117	BUSINESS AREA HALLWAY + CIRCULATION	234	150	2
		3364	0	0
SECOND FLOOR				
200	VOCATIONAL TRAINING	3697	50	46
200B	WC	2081	0	42
201	BUSINESS AREA	71	150	0
202	STORAGE	324	300	3
	HALLWAY + CIRCULATION	241	300	1
		980	0	0
	BUSINESS AREA	3368	150	26
	VOCATIONAL TRAINING	7964	50	162
	KITCHEN	387	200	7
	STORAGE / UTILITY	1052	300	7
	NON-CONTRIBUTING*	5524	0	0
TOTAL		17921		199

GROUND FLOOR EXITING

REQUIRED NUMBER OF EXITS (PER CBC TABLE 1006.3.3)

NUMBER OF OCCUPANTS EXITING: 199
NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 2

EXIT WIDTH

EXIT A (BANCROFT WAY): REQUIRED 32", PROVIDED 68 1/2"
EXIT B (SIXTH ST.): REQUIRED 32", PROVIDED 79"

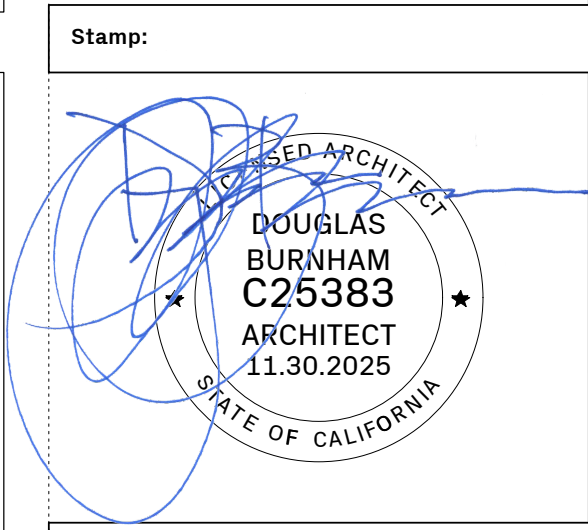
REQUIRED EXIT SEPARATION

LONGEST DIAGONAL: 184'-7"
MIN. EXIT SEPARATION REQUIRED: 61'-6"
EXIT SEPARATION PROVIDED: 111'-0"

EXIT SEPARATION PROVIDED MEETS 1/3 THE LONGEST DIAGONAL REQUIREMENT. (PER CBC SECTION 1007.1.1)

ALLOWABLE EXIT TRAVEL DISTANCE (PER CBC TABLE 1017.2)

ALLOWABLE TRAVEL DISTANCE: 300'-0"
MAX MEASURED TRAVEL DISTANCE: 136'-0"



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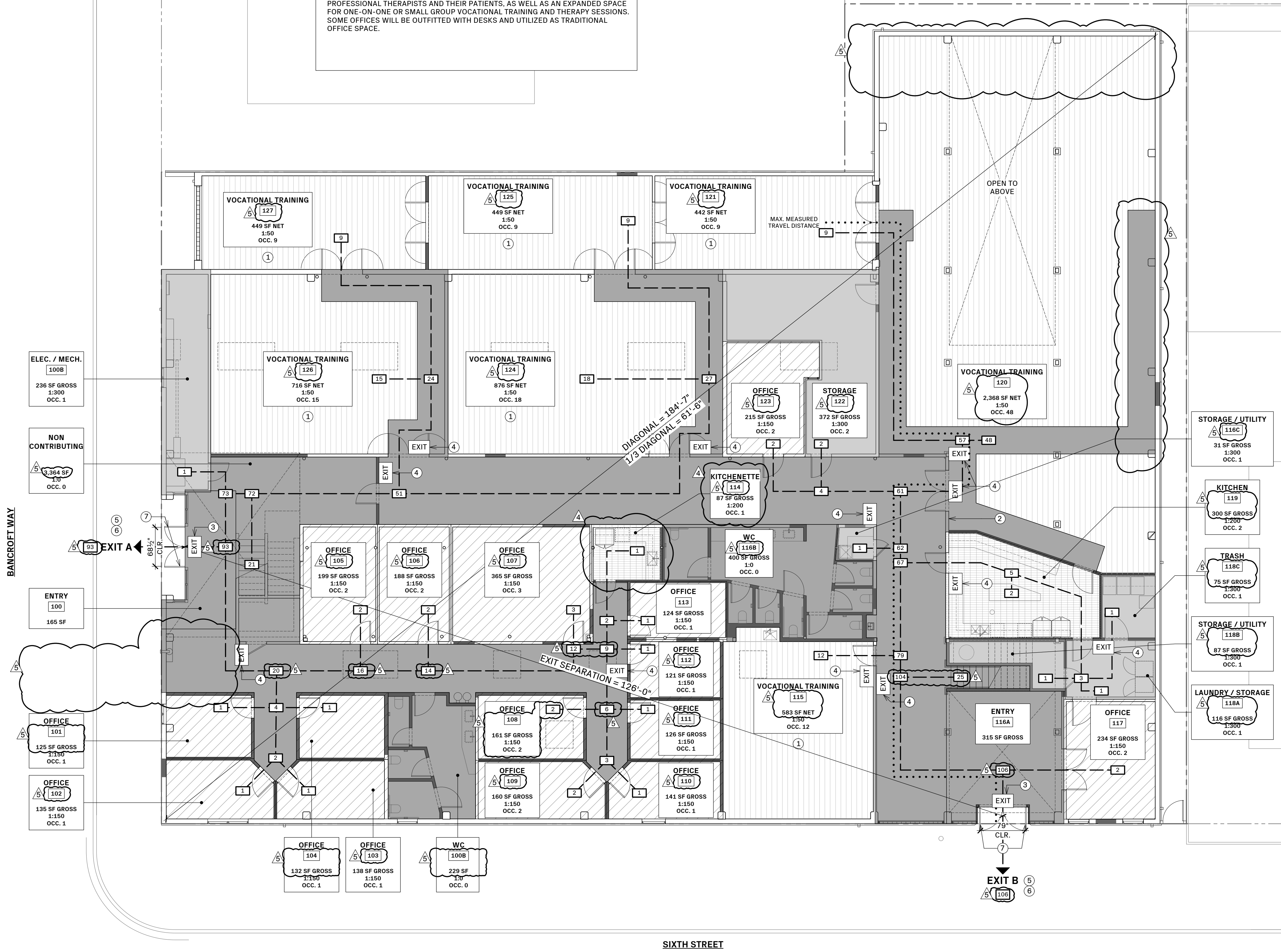
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VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

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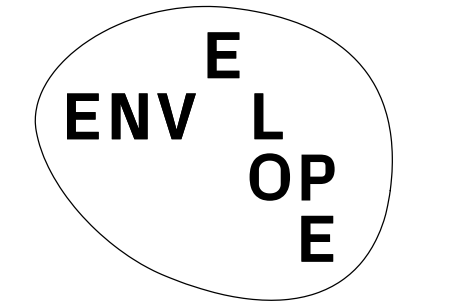
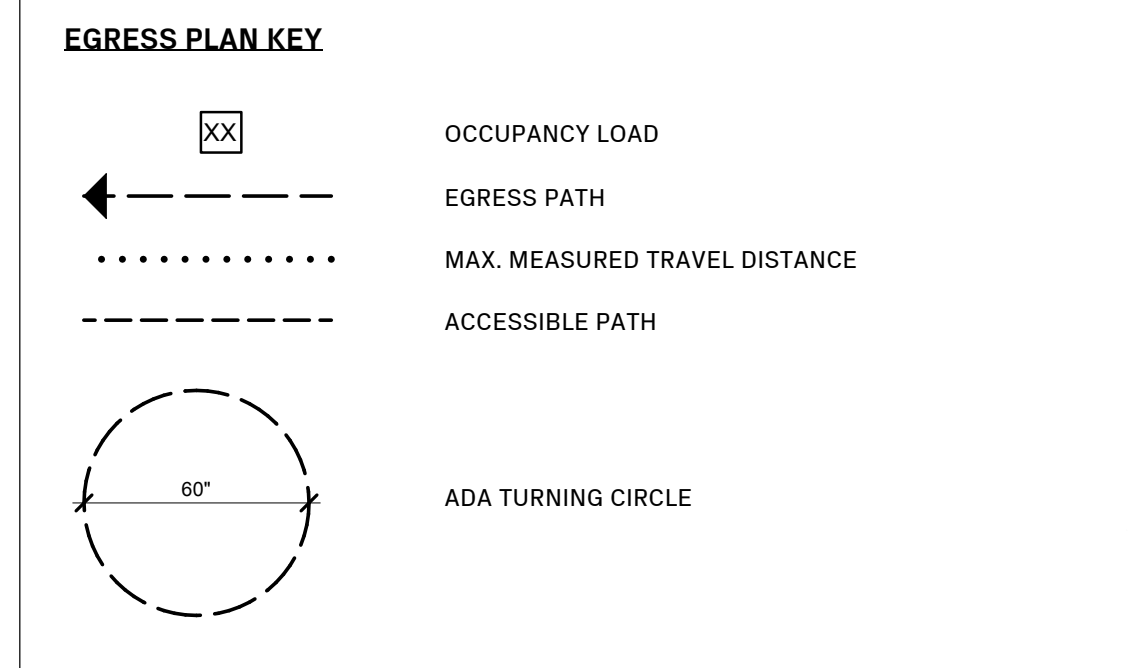
SHEET NOTES

1. THE EDUCATIONAL ROOMS WILL NOT BE USED AS ASSEMBLY SPACES WITHOUT FIXED SEATING AND WILL BE LIMITED TO EDUCATIONAL PURPOSES ONLY.
2. LOCATION OF ILLUMINATED EXIT SIGN + TACTILE SIGN WITH THE WORD "EXIT ROUTE". SEE 17/A0.08 FOR DETAILS.
3. LOCATION OF ILLUMINATED EXIT SIGN + TACTILE SIGN WITH THE WORD "EXIT STAIR DOWN". SEE 17/A0.08 FOR DETAILS.
4. PROVIDE EMERGENCY EGRESS LIGHTING, SUCH THAT THE AVERAGE ILLUMINATION IS 1 FOOT-CANDLE (FC) ALONG THE EGRESS PATH. PROVIDE LIGHTING FOR THE STAIRCASES, IF THERE IS NONE EXISTING AT THIS TIME.
5. NOT USED

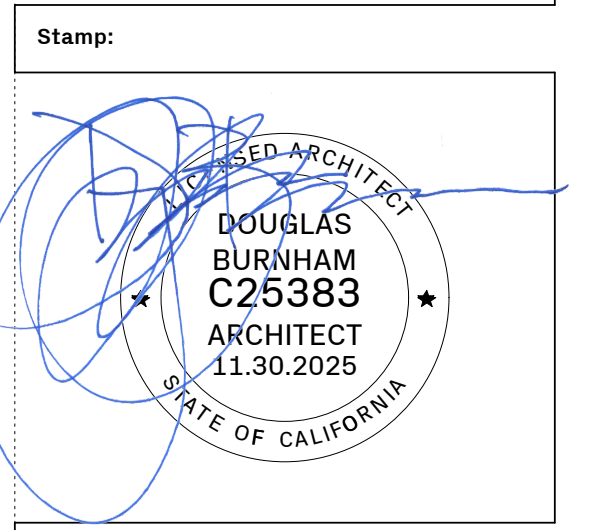
OCCUPANCY LOAD BY FUNCTION AND ACCESSIBILITY

*PER CBC TABLE 1004.5

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NON-CONTRIBUTING	1:0



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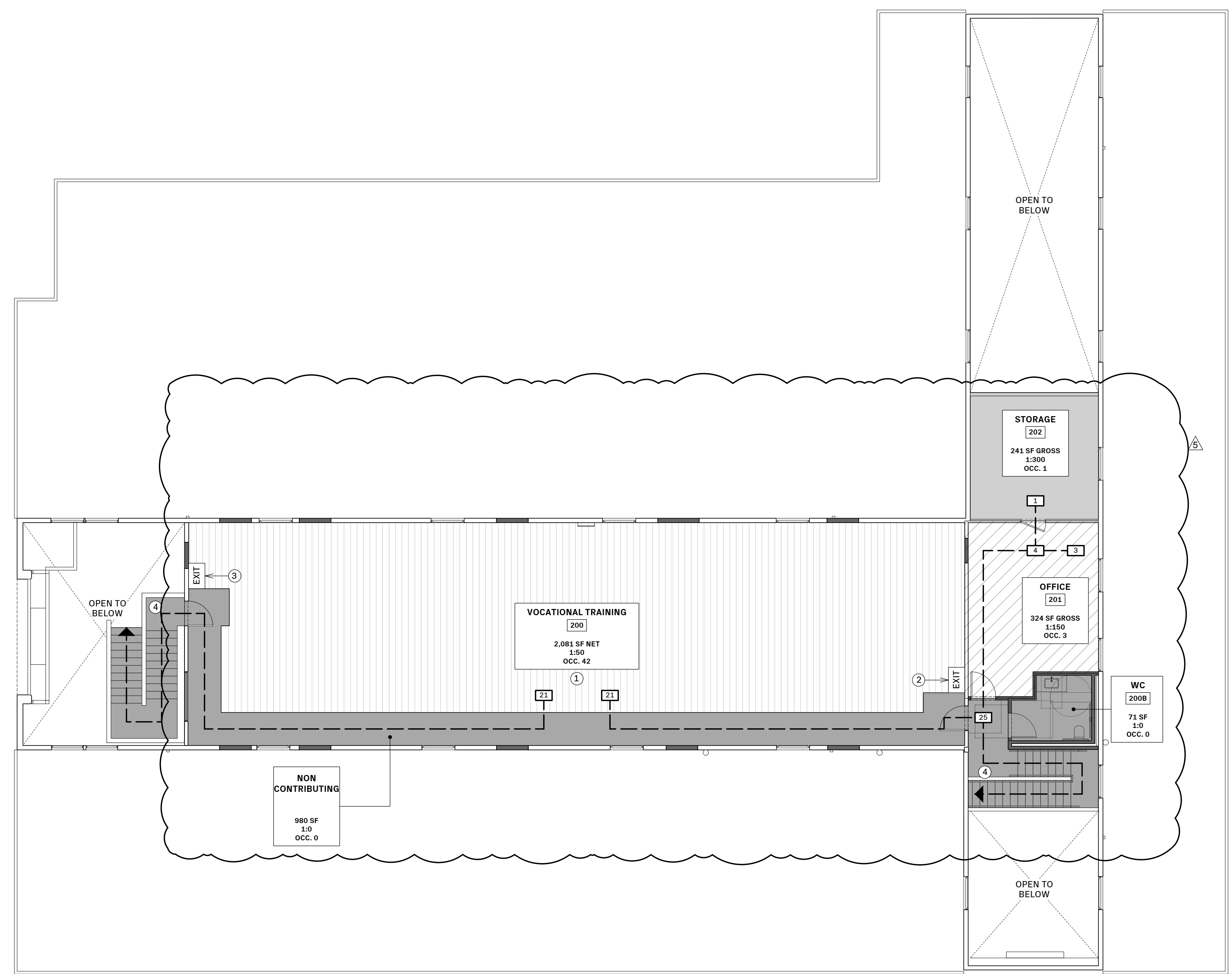
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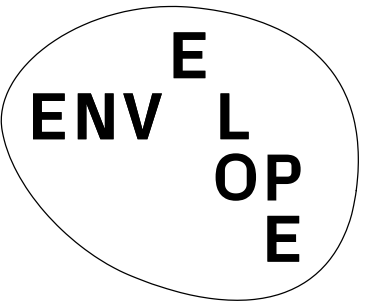
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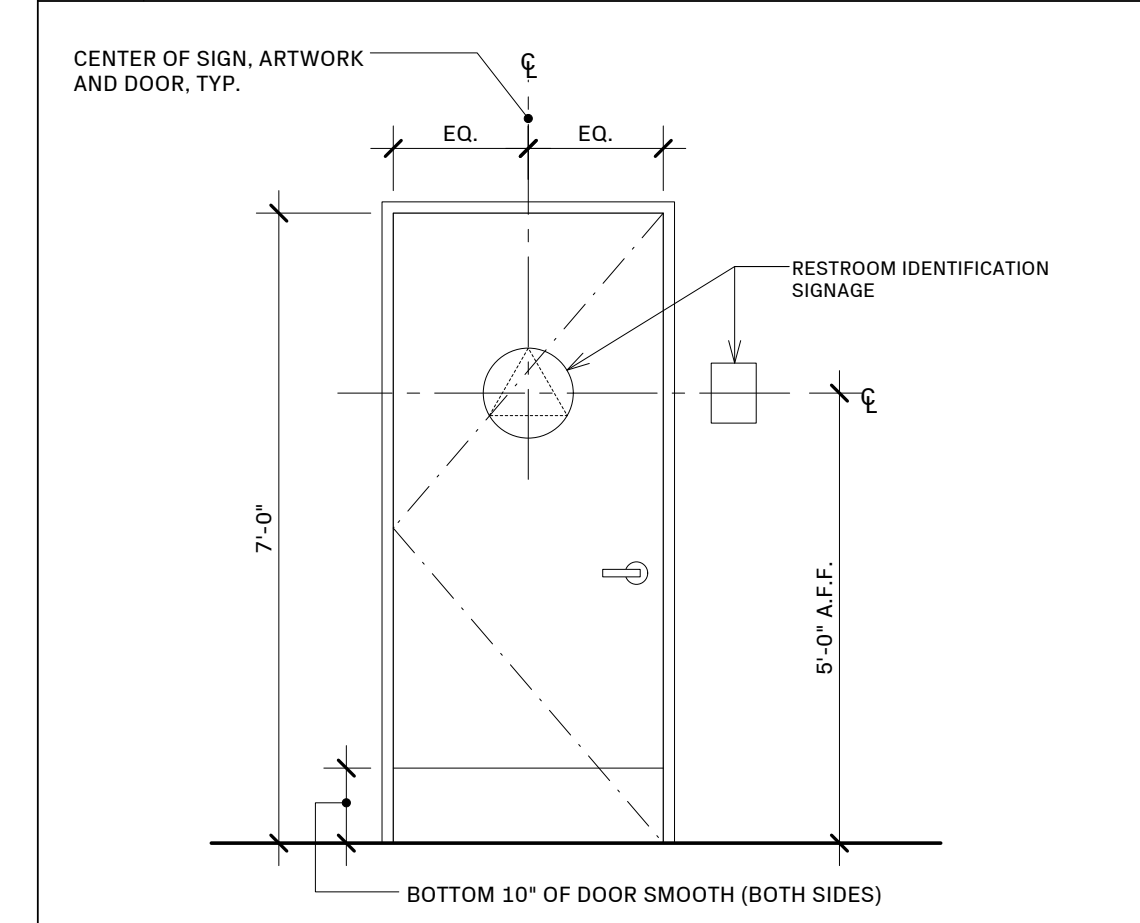
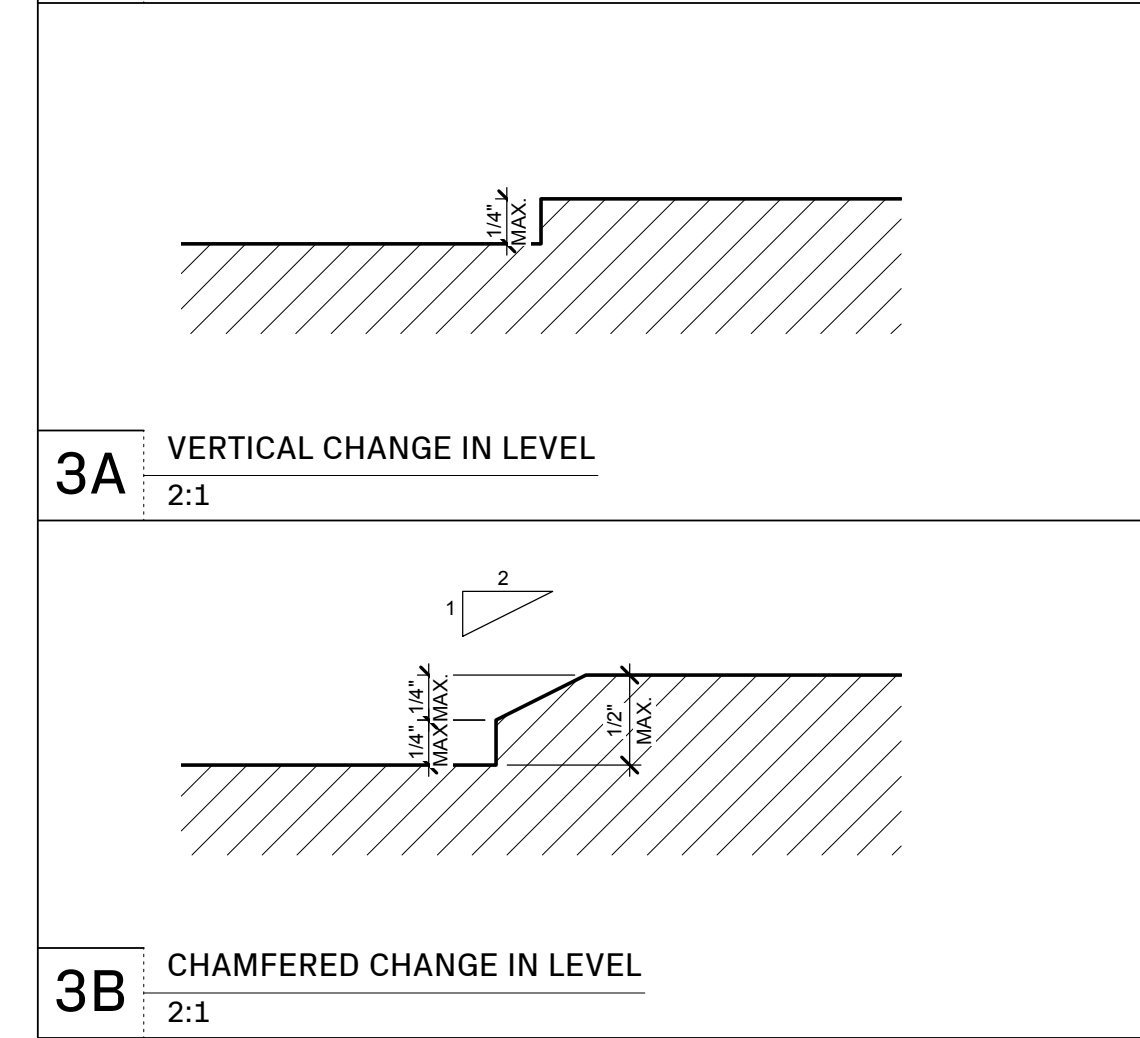
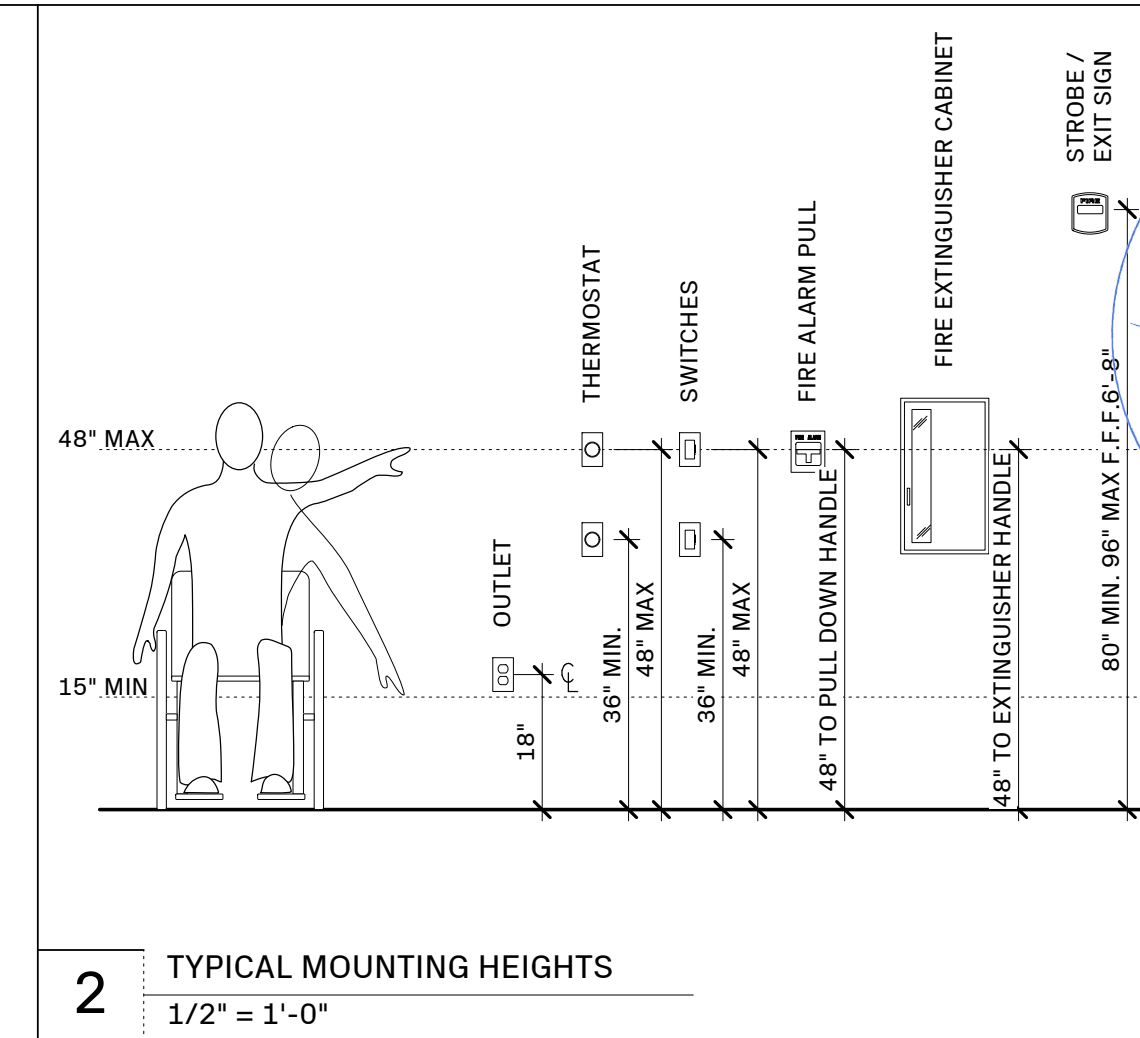
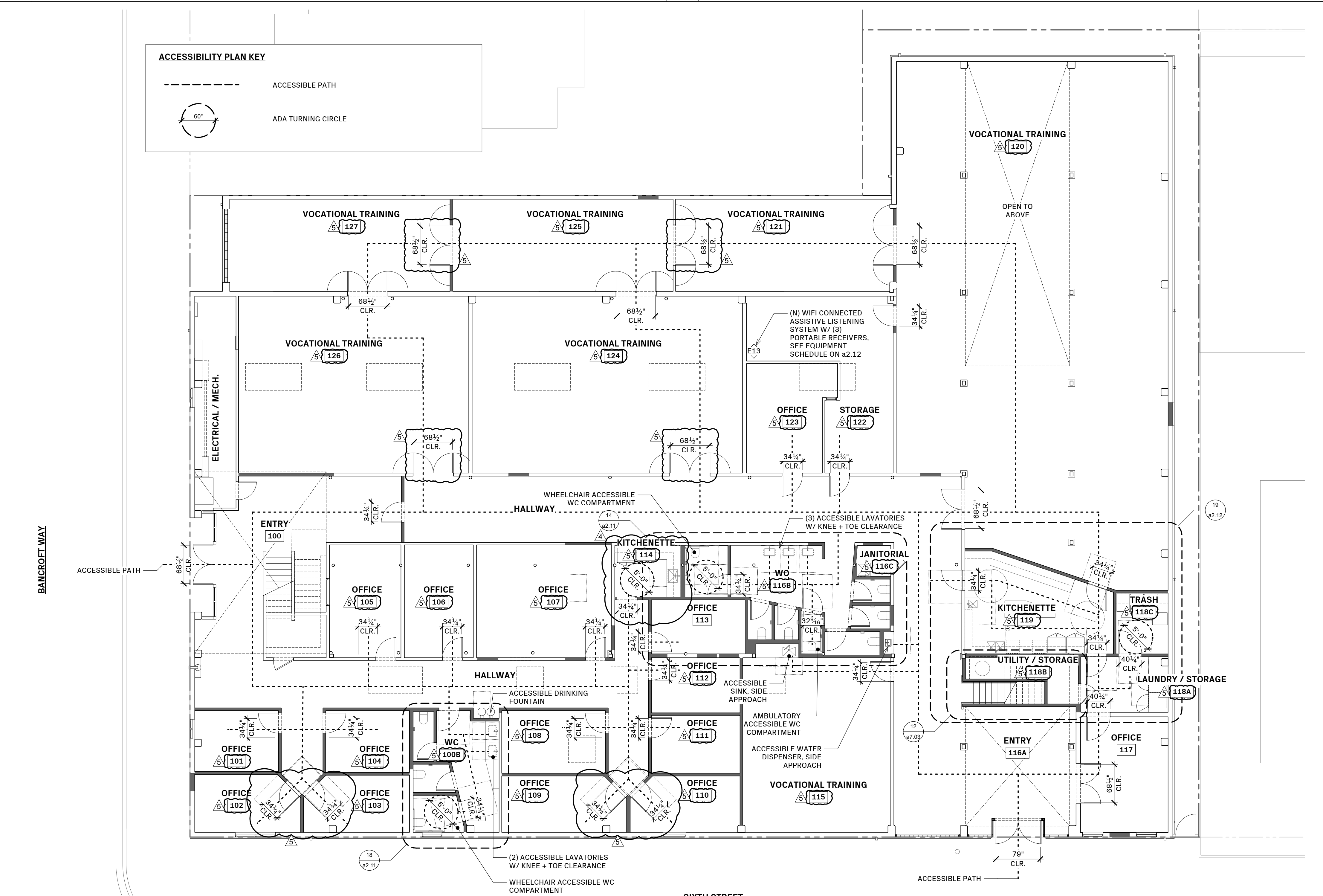
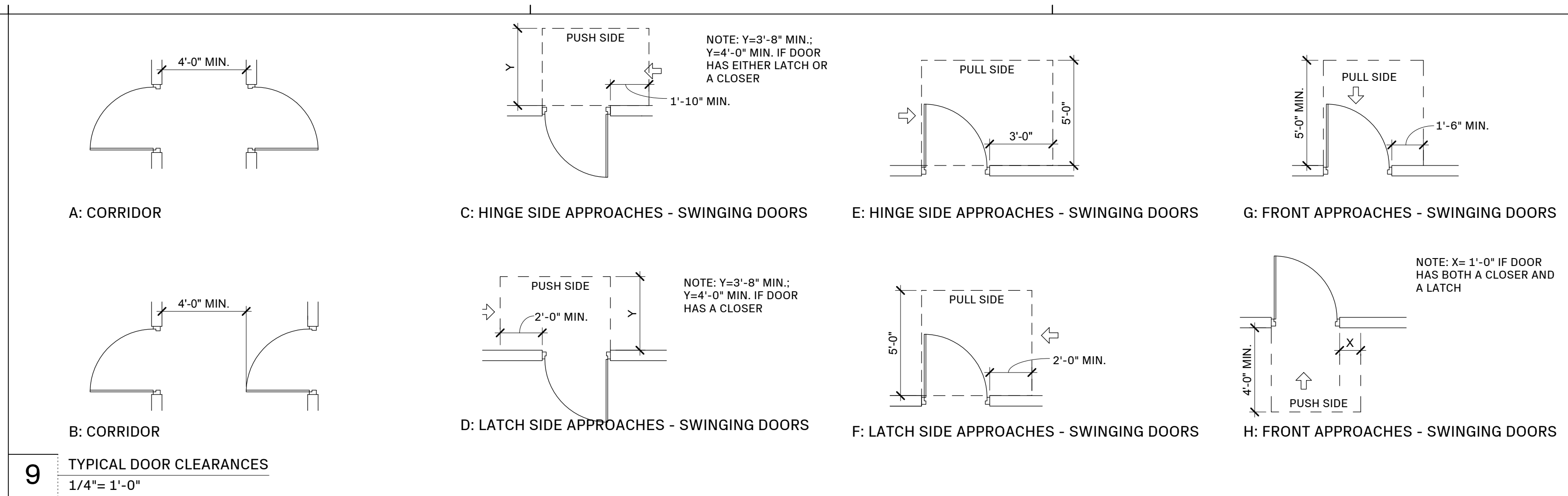
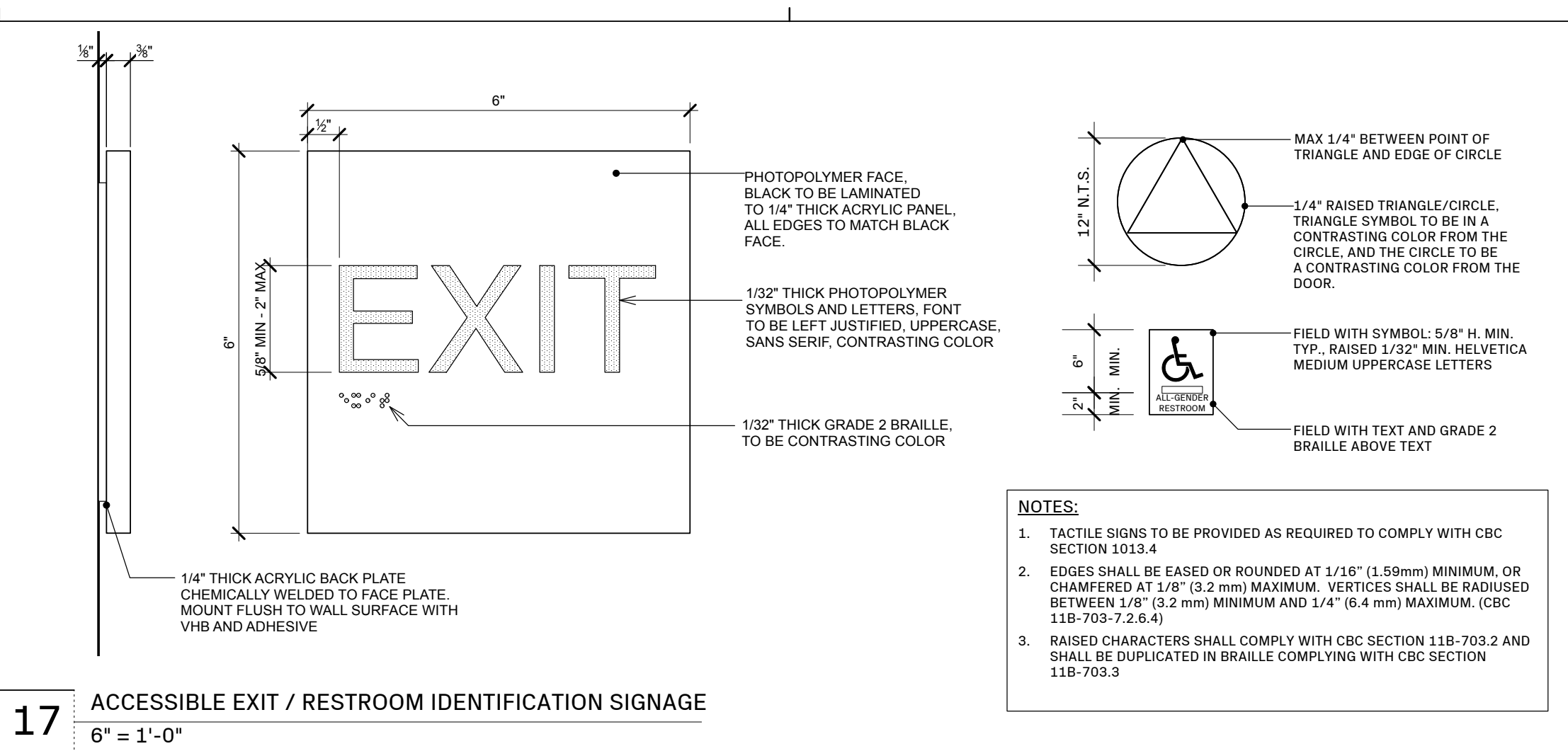
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CODE-ACCESSIBILITY

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Page Number: 5 OF 29

Form #165

Code Compliance Checklist CALGREEN NON-RESIDENTIAL

Project Information Permit Number:

Project Address:

Select One: New Building [N] Addition [A] Alteration

Building and Safety Permit Service Center

Projects for new buildings, additions of 1,000 square feet or greater and/or building alterations with a permit valuation of \$200,000 or above are subject to the provisions of the California Green Building Standards Code. This checklist is provided by the City of Berkeley in order to demonstrate compliance with the code and facilitate permit approval.

Instructions:

1. Read and understand the requirements of all mandatory measures listed in this checklist.
2. Mark all mandatory measures that are applicable to the proposed project.
3. Coordinate the construction drawings with the mandatory measures.
4. Incorporate this checklist into the submitted set of construction drawings on full sized sheets.

Building and Safety
1947 Center St., 3rd floor
Berkeley, CA 94704
510-981-7440 TTY 6903
buildingandsafety@berkeleyca.gov
berkeleyca.gov

Last Revised 05/17/23

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the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals. [CGBSC 5.410.1]

Additional. [A] All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. [CGBSC 5.410.1.1]

Commissioning. [N] For newly constructed buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed by trained personnel with experience in projects of comparable size and complexity. All building operating systems covered by Title 24, Part 6, California Energy Code as well as process equipment and controls, and renewable energy systems shall be included in the scope of the commissioning requirements. [CGBSC 5.410.2]

Owner's or Owner representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following: [CGBSC 5.410.2.1]
(Environmental and sustainability goals, Energy efficiency goals, Indoor environmental quality requirements, Project program, including facility functions and hours of operation, and need for after hours operation, Equipment and systems expectations, Building occupant and operation and maintenance (O&M) personnel expectations)

Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover: [CGBSC 5.410.2.2]

- Heating, ventilation, air conditioning systems and controls
- Renewable energy systems
- Indoor lighting system and controls
- Landscape irrigation systems
- Water heating system
- Water reuse systems

Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following: [CGBSC 5.410.2.3]

- General project information
- Commissioning team information.
- Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.
- Commissioning goals.
- Systems to be commissioned.

Plans to test systems and components shall include:
(An explanation of the original design intent, Equipment and systems to be tested, including the extent of tests, Functions to be tested, Conditions under which the test shall be performed, Measurable criteria for acceptable performance.)

Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, testing methods utilized, and any readings and adjustments made. [CGBSC 5.410.2.4]

Documentation and training. [N] A systems manual and systems operations training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations. [CGBSC 5.410.2.5]

Commissioning report. [N] A report of commissioning process activities undertaken through design and construction phases of the building project shall be completed and provided to the owner or representative. [CGBSC 5.410.2.6]

Testing and adjusting. Testing and adjusting of systems shall be required for newly constructed buildings less than 10,000 square feet, or new systems to serve an addition or alteration, as applicable. [CGBSC 5.410.4]

- HVAC systems and controls
- Renewable energy systems
- Indoor and outdoor lighting and controls
- Landscape irrigation systems
- Water heating systems
- Water reuse systems

Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system. [CGBSC 5.410.4.3]

HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, balance the system in accordance with the procedures defined by the Testing and Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural

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Code Compliance Checklist - CALGREEN NON-RESIDENTIAL

Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device for future EV charging as "EV CAPABLE" and identify the overcurrent protective devices serving EVCS as "EV CHARGER". Raceway termination locations shall be permanently and visibly marked as "EV CAPABLE". [CGBSC 5.106.5.3.1.4]

Raceways. Listed raceways and associated conductors shall be sized to accommodate a dedicated 208/240-volt branch circuit for a future EV charger. The raceway shall not be less than nominal 1-inch inside diameter. Raceways shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Construction documents shall identify the raceway termination point. [CGBSC 5.106.5.3.1 and 5.106.5.3.2]

Electric Vehicle Charging Stations (EVCS). One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger. The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel. [CGBSC 5.106.5.3.2]

EVCS Accessibility / Location. When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3. Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s). [CGBSC 5.106.5.3.4]

EV Spaces

- **New Nonresidential Occupancies.** When residential parking is provided: [CGBSC 5.106.5.3 and BMC 19.37.040]
 - 20% of spaces shall be EV CAPABLE with RACEWAY, panel service capacity and electrical system sufficient to charge all required spaces at a minimum of 40 amperes.
 - 10% of spaces shall be an ELECTRIC VEHICLE CHARGING STATION (EVCS)

Note: Calculation for EV CAPABLE spaces and EVCS shall for CGBSC 5.106.5.3 shall be rounded up to the nearest whole number.

Light pollution reduction. [N] Outdoor lighting systems shall be designed and installed to comply with Backlight, Uplight and Glare rating requirements in CAL Green Table 5.106.8 or comply with the City of Berkeley's ordinances, whichever is more stringent. [CGBSC 5.106.8]

Water Efficiency and Conservation

Indoor Water Use: Metering Devices

- **New buildings or additions in excess of 50,000 square feet.** Separate sub-meters shall be installed as follows:
 - For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gallons, including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.
 - Where separate sub-meters for individual building tenants are unfeasible, for water supplied to the following subsystems:
 - a. Makeup water for cooling towers where flow through is greater than 500 gpm.
 - b. Makeup water for evaporative coolers greater than 6 gpm.
 - c. Steam and hot-water boilers with energy input more than 500,000 Btu/h.

Excess consumption. [N] A separate sub-meter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day. [CGBSC 5.303.1.2]

Indoor Water Use: Water Conservation

- **Water closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the US EPA WaterSense Specification for Tank-type Toilets. [CGBSC 5.303.3.1]

Urinals

- **Wall-mounted urinals.** The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. [CGBSC 5.303.3.2.1]
- **Floor-mounted urinals.** The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush. [CGBSC 5.303.3.2.2]

Showerheads

- **Single showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the US EPA WaterSense Specification for Showerheads. [CGBSC 5.303.3.3.1]
- **Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. [CGBSC 5.303.3.3.2]

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Standards: Associated Air Balance Council National Standards or as approved by the City of Berkeley. [CGBSC 5.410.3.1]

Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. [CGBSC 5.410.4.4]

Operation and maintenance (O&M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties for each system. O&M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations. [CGBSC 5.410.4.5]

Environmental Quality

- **Fireplaces.** Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code Section 150. [CGBSC 5.503.1]
- **Woodstoves.** Woodstove and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. [CGBSC 5.503.1.1]

Pollutant Control: Mechanical Systems

- **Temporary ventilation.** The permanent HVAC system shall only be used during construction if necessary to condition the building within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30-percent based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. [CGBSC 5.504.1]
- **Covering of duct openings & protection of mechanical equipment during construction.** At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the City of Berkeley to reduce the amount of dust, water and debris which may enter the system. [CGBSC 5.504.3]
- **Filters.** In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. Existing mechanical equipment exempted. [CGBSC 5.504.5.3]
 - **Labeling.** Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating. [CGBSC 5.504.5.3.1]
- **Environmental tobacco smoke (ETS) control.** Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of the City of Berkeley, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions. [CGBSC 5.504.7]

Pollutant Control: Finish Material

- **Adhesives, sealants and caulks.** Adhesives, sealants and caulks used on the project shall comply with CAL Green Table 5.504.4.1 and 5.504.4.2 for VOC limits. Product units which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces shall comply with statewide VOC standards and California Code of Regulations, Title 17. [CGBSC 5.504.4.1]
- **Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in CAL Green Table 5.504.4.3. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.2.1, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in CAL Green Table 5.504.4.3 shall apply. [CGBSC 5.504.4.3]
- **Aerosol paints and coatings.** Aerosol paints and coatings shall meet the PVMIR Limits for ROC in California Code of Regulations, Title 17 and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49. [CGBSC 5.504.4.3.1]
- **Carpet systems.** All carpet and carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. <https://www.cdph.ca.gov/Programs/CCDCDP/DCDC/DCDC/HTML/IAQ/Pages/VOC.aspx> All carpet adhesive shall meet the requirements of Table 5.504.4.1. [CGBSC 5.504.4.4]
- **Composite wood products.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as shown in

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Faucets and Fountains

- **Nonresidential lavatory faucets.** Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi. [CGBSC 5.303.3.4.1]
- **Kitchen faucets.** Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. [CGBSC 5.303.3.4.2]
- **Wash fountains.** Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [rim space (inches) at 60 psi]. [CGBSC 5.303.3.4.3]
- **Metering faucets.** Metering faucets shall not deliver more than 0.20 gallons per cycle. [CGBSC 5.303.3.4.4]
- **Metering faucets for wash fountains.** Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per cycle/20 [rim space (inches) at 60 psi]. [CGBSC 5.303.3.4.5]

Pre-Rinse Spray Valves

- **Pre-rinse spray valves.** When installed shall not exceed the maximum flow rate of CGBSC Table H-2 as a function of product class 1, 2, or 3. [CGBSC 5.303.3.4.6]

Commercial Kitchen Equipment

- **Food waste disposers.** Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/loaded) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. [CGBSC 5.303.4.1]

Outdoor Water Use

- **Outdoor potable water use in landscape areas.** Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. [CGBSC 5.304.1]

Note: The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.

Material Conservation and Resource Efficiency

Low-carbon Concrete

- **Reduction in cement use.** As allowed by the enforcing agency, cement used in concrete mix design shall be reduced not less than 25 percent. Products commonly used to replace cement in concrete mix designs include, but are not limited to fly ash, slag, silica fume, and rice hull ash. [CGBSC 5.405.1 and BMC 19.37.040]

Exception: Minimum cement reductions in concrete mix designs approved by the Engineer of Record may be lower where high early strength is needed for concrete products or to meet an accelerated project schedule.

Water Resistance and Moisture Management

- **Sprinklers.** Design and maintain landscape irrigation systems to prevent spray on structures. [CGBSC 5.407.2.1]
- **Entries and openings.** Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows: [CGBSC 5.407.2.2]
 - **Exterior door protection.** Primary exterior entries shall be covered to prevent water intrusion by using non-absorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: [CGBSC 5.407.2.2.1]
 - a. An installed awning at least 4 feet in depth.
 - c. The door is recessed at least 4 feet.
 - b. The door is protected by a roof overhang at least 4 feet in depth.
 - d. Other methods which provide equivalent protection.
 - **Flashing.** Install flashings integrated with a drainage plane. [CGBSC 5.407-2.2.2]

Construction Waste Reduction, Disposal and Recycling

- **Construction waste management plan & excavated soil and land clearing debris.** Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste and a minimum of 100 percent of excavated soil, land-clearing debris, concrete and asphalt. Provide a completed City of Berkeley [Construction Waste Management Plan](#). [CGBSC 5.408.1 and CGBSC 5.408.3 and BMC 19.37.040]

Universal waste. [A] Additions and alterations to a building or tenant space shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. [CGBSC 5.408.2]

Building Maintenance and Operation

- **Recycling by occupants.** Provide readily accessible areas that serve the entire building and are identified for

I certify that I have read and acknowledged all of the Code Requirements noted above. I accept full responsibility for complying with all of the above requirements, as applicable to my project. I further agree that if I fail to comply with the code requirements, due to error or omission, I will correct all deficiencies prior to final inspection.

Name: Signature: Date:

Check One: Contractor Owner Owner's Agent

ENV LOPE

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LICENSED ARCHITECT NO. C25383

Stamp:

Issue - Date:

PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
830 Bancroft Way
Berkeley, CA, 94710

Sheet Information:

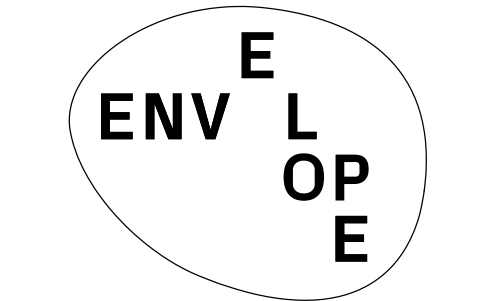
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Sheet Name: CALGREEN CHECKLIST

Sheet Number: a0.09

Page Number: 6 OF 29

SYMBOL	MANUFACTURER / DESCRIPTION	SYMBOL	MANUFACTURER / DESCRIPTION	SYMBOL	MANUFACTURER / DESCRIPTION	SYMBOL	MANUFACTURER / DESCRIPTION
CF-01	(N) PAINTED INTERIOR GYPSUM BOARD - CEILING NOTES: PREPPING + PAINTING OF PROPOSED GYPSUM BOARD CEILINGS 1. SHALL BE INSTALLED IN ACCORDANCE WITH MOST CURRENT EDITION OF APPLICABLE BUILDING CODE. 2. ALL EXPOSED CORNERS AND EDGES SHALL HAVE CORNER BEADS AND CASING BEADS RESPECTIVELY. 3. FINISH SHALL BE LEVEL 4 U.O.N. 4. USE WATERPROOF GYPSUM BOARD AT ALL WET AREAS. 5. PAINT TO BE SEMI-GLOSS LATEX AT UN-TILED KITCHEN + BATH AREAS AND MATTE/EGGSHELL AT ALL OTHER AREAS. 6. COLOR TO BE SELECTED BY ARCHITECT. ALLOW FOR 2-3 COLORS PER ROOM FOR HALLS + LARGER CLASSROOMS; 1 COLOR PER ROOM FOR OFFICES, UTILITY, + OTHER SMALL ROOMS.	FF-03	(N) CARPET FLOOR MANUF: EGE STRUCTURE PRODUCT: ECO WALL TO WALL CARPET COLOR: #0913650: VOCATIONAL TRAINING 120, 121, STORAGE 122 #0913910: VOCATIONAL TRAINING 124, 125, 126, 127, HALLWAYS, OFFICES, STAIRS #0913605: VOCATIONAL TRAINING 200 DESCRIPTION: MADE FROM 100% REGENERATED PAR NYLON MATERIAL ACOUSTIC BACKING MADE OF 100% RECYCLED POLYESTER, PVC FREE RATED CLASS 33 - COMMERCIAL - HEAVY FIRE CLASSIFICATION: ASTM CLASS 1 CRADLE TO CRADLE BRONZE CERTIFICATION FLOOR PREP + INSTALL: PROVIDE LEVEL (+/- 2MM), SOLID AND FIRM FLOOR SURFACE, WITHOUT CRACKS AND EDGES. ALIGN SLAB WITH ADJACENT SLABS USING SELF-LEVELING COMPOUND WHERE NECESSARY. FLOOR MUST BE CLEAN, DRY AND EVENLY ABSORBENT. CARPET LENGTHS MUST ALWAYS BE PLACED IN THE SAME DIRECTION AND BE FITTED SELVEDGE TO SELVEDGE. FOLLOW ALL MANUFACTURER INSTRUCTIONS.	MT-01	PERFORATED SECURITY SCREENS MANUF.: McNICHOLS PRODUCT: WINDSOR 2045 PAINT: PT-02 NOTES: SEE DETAILS	WF-04	(N) TILE WALLS - WC MANUF: FIRECLAY PRODUCT: NATURAL PRESS FINISH: SATIN COLOR: INDIGO; GROUT TO MATCH TILE: CUSTOM BUILDING PRODUCTS GROUT #92 ADMIRAL BLUE OR SIM. SIZE: 4" SQUARE NOTES: USE WATERPROOF GYPSUM BACKING BOARD TO +6"-0" ABOVE FINISH FLOOR MIN. INCLUDE BULLNOSE TILE AT TOP + COVE TILE AT BOTTOM IF POSSIBLE; IF NOT AVAILABLE: SCHLUTER-DILEX-AHKA 3/8" PROFILE TOP MOUNTED COVED BASE + SCHLUTER-JOLLY AT TOP OF TILE TRANSITION; TEXTURED ALUMINUM FINISH TSDA DARK ANTHRACITE
CF-02	PAINTED (E) FRAMING + DECKING UNDERSIDE - CEILING NOTES: PREPPING + TOUCH-UP / REPAIR + PAINTING OF EXISTING FRAMING + DECKING AS NEEDED THROUGHOUT. PAINT IS TO BE SEMI-GLOSS LATEX IN KITCHEN + BATH AREAS + MATTE / EGGSHELL AT ALL OTHER AREAS. COLOR IS TO BE SELECTED BY ARCHITECT. ALLOW FOR 2-3 COLORS PER ROOM FOR HALLS + LARGER CLASSROOMS; 1 COLOR PER ROOM FOR OFFICES, UTILITY, + OTHER SMALL ROOMS.	FF-05	(N) TILE FLOOR - KITCHEN MANUF: FIRECLAY PRODUCT: NATURAL PRESS FINISH: SATIN + NON-SLIP ABRASION COLOR: RED IRON OXIDE; GROUT TO MATCH TILE: CUSTOM BUILDING PRODUCTS GROUT #95 SABLE BROWN OR SIM. SIZE: 6" SQUARE NOTES: TOTAL AREA APPROX. 230 SF 6" COVE BASE TILE AT ENTIRE PERIMETER	MW-01	MILLWORK: KITCHEN MATERIAL: PLASTIC LAMINATE MANUF: TBD COLOR: TBD FINISH: TBD NOTES: TBD	WF-06	FRP WALL FINISH MANUF: PANOLAM COLOR: TBD
CF-03	CLEAR SEALED (E) FRAMING + DECKING UNDERSIDE - CEILING NOTES: 1. SANDBLAST (E) FRAMING + DECKING. 2. STAIN AS NECESSARY TO MATCH NEWER MEMBERS TO OLDER MEMBERS TO CREATE UNIFORM APPEARANCE. COORDINATE STAIN IN FIELD WITH ARCHITECT. 3. CLEAR SEAL W/ VARETHANE OR OTHER WATER BASED CLEAR SEALER.	FF-06	(E) UNFINISHED PLYWOOD FLOOR NOTES: (E) PLYWOOD DECKING AT 2ND FLOOR IS TO REMAIN UNFINISHED UNTIL FUTURE PROJECT PHASE. PATCH HOLES AS NEEDED FOR SAFETY.	PT-01	PAINT: EXTERIOR WALLS MANUF: BENJAMIN MOORE COLOR: BOCA RATON BLUE 711 SHEEN: TBD NOTES: TBD		
CF-04	(E) WOOD PANEL - CEILING NOTES: (E) WOOD PANEL CEILING TO REMAIN AS SHOWN ON DRAWINGS. PATCH / REPAIR AS NEEDED + MATCH (E) FINISH.	FF-07	(N) LVT FLOOR - UPPER LEVEL WC MANUF: TBD PRODUCT: TBD FINISH: TBD COLOR: TBD SIZE: TBD NOTES: TBD	PT-02	PAINT: SECURITY SCREENS + STOREFRONT MANUF: BENJAMIN MOORE COLOR: COPPER CLAY 2172-10 SHEEN: TBD NOTES: TBD		
CT-01	COUNTERTOP MANUF: ECO-TERR COLOR: COSTA MESA TERRAZZO FINISH: HONED NOTES:	GL-01	GLASS BLOCK - REPLACE (E) EMBEDDED GLASS BLOCK NOTES: 1. CONDUCT A DETAILED SURVEY OF THE EXISTING GROUND FLOOR GLASS BLOCK, IDENTIFYING + QUANTIFYING ALL DAMAGED OR MISSING BLOCKS ALONG THE ENTIRE GROUND FLOOR FACADE. IN ADVANCE OF THE SURVEY RESULTS, ASSUME REPLACEMENT OF 25% OF ALL GROUND FLOOR GLASS BLOCK OPENINGS PER THE BELOW FOR PRICING ESTIMATE. 2. REMOVE AND REPLACE ANY GLASS BLOCKS THAT ARE CRACKED ON THE EXTERIOR, SHOWING OBVIOUS SIGNS OF LEAKAGE, OR WHICH HAVE BEEN INADEQUATELY GLOUED WITH GLASS OR PLASTIC. GLASS BLOCKS THAT MAY BE DAMAGED (I.E. ON THE INTERIOR SIDE ONLY) AND DO NOT PRESENT AN IMMEDIATE CONCERN FOR WATER INTRUSION, WILL BE EARMARKED FOR FUTURE REPLACEMENT. A. COMPLETELY REMOVE DAMAGED GLASS BLOCK, GLASS SHARDS AND CHIP OUT MORTAR AROUND PERIMETER OF OPENING. B. APPLY A BED OF MORTAR TO THE INTERIOR SURFACE OF THE OPENING, AND INSERT GLASS BLOCK UNIT INTO OPENING. CLEAN ANY STRAY MORTAR OR RESIDUE OFF THE FACE OF THE BLOCK AND SURROUNDING CONCRETE SURFACES. C. WHEN MORTAR HAS COMPLETELY SET, SEAL THE PERIMETER WITH A GLASS BLOCK SEALANT ON INTERIOR AND EXTERIOR. 3. INCLUDE PROVIDING AND INSTALLING A SAMPLE GLASS BLOCK REPLACEMENT.	WF-01	(E) PAINTED INTERIOR WALLS NOTES: PREPPING + TOUCH-UP/REPAIR + PAINTING OF EXISTING GYPSUM BOARD AND CONCRETE WALLS AS NEEDED THROUGHOUT MANUF: BENJAMIN MOORE FINISH: PAINT TO BE SEMI-GLOSS LATEX IN KITCHEN + BATH AREAS AND MATTE/EGGSHELL AT ALL OTHER AREAS COLOR: TBD, BRUSH OUT SAMPLES: GREAT HALL: WHITE DOVE OC-17 BEACH HAVEN 218 TWISTED OAK PATH 226 CLASSROOMS + HALLS + OFFICES: WHITE DOVE OC-17 OATMEAL 268 ART CLASSROOM + KITCHEN + STORAGE: CHANTILLY LACE OC-65 UPSTAIRS CLASSROOM: SMOKY GREEN CC-700 DUCTS + SPRINKLER PIPES + CONDUITS: TO BE PAINTED TO MATCH ADJACENT WALL/CEILING COLOR IN GREAT HALL OR ADJACENT TO SANDBLASTED WOOD. MATCH THE EXISTING RUST RED/BROWN COLOR OF THE SPRINKLER PIPES. LEX CAN PROVIDE A COLOR MATCH		
CT-02	BUTCHERBLOCK COUNTERTOP MANUF: GREEN MOUNTAIN WOOD: REDWOOD THICKNESS: 2" FINISH: NATURAL OIL	GL-02	GLASS BLOCK - (N) ENCLOSURE MANUF: SEVES PRODUCT: 4" PREMIER SERIES, ALPHA (CLEAR) + ALPHA 1S (1-SIDE SANDBLASTED) SIZE: 7-3/4" x 7-3/4" x 3-7/8" NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS, COORDINATE WITH STEEL TUBE FRAMES AND NEW CONCRETE SILL WALLS IN EXISTING OPENINGS IN CONCRETE WALLS. SEE ELEVATIONS; GRAY TONE DESIGNATES ALPHA 1S BLOCKS. SANDBLASTED SIDE IS TO FACE THE INTERIOR. OTHERS ARE ALPHA CLEAR BLOCKS. APPROXIMATE TOTAL QUANTITY (V.I.F.): -ALPHA (CLEAR): 779 BLOCKS -ALPHA 1S (1-SIDE SANDBLASTED): 242 BLOCKS	WF-02	(E) PAINTED INTERIOR GYPSUM BOARD - MURAL SURFACE PREP. NOTES: PREPPING EXISTING GYPSUM BOARD WALLS AT LOCATIONS FOR NEW MURAL IN ENTRY + HALLWAY FINAL SPEC TBD		
FF-02	EXPOSED CONCRETE FLOOR MANUF: ECO SAFETY PRODUCTS PRODUCT: SOYCRETE CONCRETE STAIN + SEALER, OR SIMILAR COLOR: SEMI-TRANSPARENT; COLOR TBD: SAMPLE "LEATHER BROWN" AND "DESERT MOUNTAIN" FLOOR PREP + INSTALL: FILL OPEN TRENCHES, HOLES AND LARGE CRACKS; BEADBLAST ENTIRE SURFACE TO CREATE MIN SURFACE PROFILE OF CSP-3; APPLY ONE COAT CONCRETE STAIN + SEALER PER MANUFACTURER INSTRUCTIONS; APPLY 1 COAT ECO-TUFF CLEARCOAT (OR SIMILAR) WITH MATTE FINISH DESCRIPTION: ZERO VOC, CERTIFIED BIOPREFERRED, RED LIST FREE	MI-01	MIRROR: WALL MOUNTED STYLE: 1/4" FRAMELESS MIRROR W/ FLAT POLISHED EDGE COLOR: SEE ELEVATIONS SIZE: ADHERE W/ MASTIC OR FASTEN W/ CLIPS TO WALL NOTES:	WF-03	(N) PAINTED INTERIOR GYPSUM BOARD - WALLS NOTES: PREPPING + PAINTING OF PROPOSED GYPSUM BOARD WALLS 1. SHALL BE INSTALLED IN ACCORDANCE WITH MOST CURRENT EDITION OF APPLICABLE BUILDING CODE 2. ALL EXPOSED CORNERS AND EDGES SHALL HAVE CORNER BEADS AND CASING BEADS RESPECTIVELY. 3. FINISH SHALL BE LEVEL 4 U.O.N. 4. USE WATERPROOF GYPSUM BOARD AT ALL WET AREAS. 5. PAINT TO BE SEMI-GLOSS LATEX AT UN-TILED KITCHEN + BATH AREAS AND MATTE/EGGSHELL AT ALL OTHER AREAS 6. SEE WF-01 FOR COLORS		



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VWC Bancroft
830 Bancroft Way
Berkeley, CA, 94710

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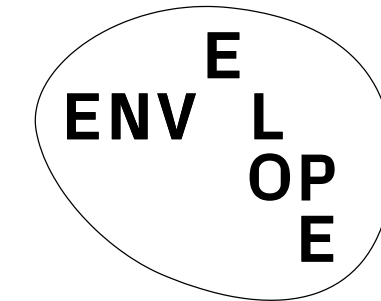
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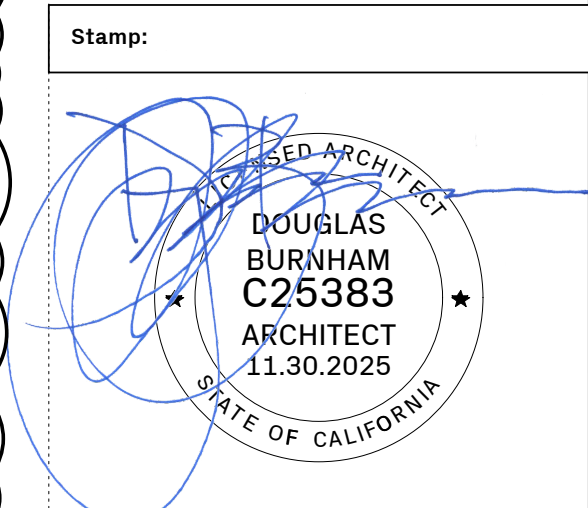
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Sheet Name: DOOR SCHEDULE
Sheet Number: a0.11
Page Number: 8 OF 29

NO.	ROOM	TYPE	LOCATION	(N) / (E) / (REUSE)	WIDTH	HEIGHT	MTRL	FRAME	FINISH	RATING	TRANSOM	DOOR NOTES	HARDWARE NOTES
GROUND FLOOR													
D-100.2	100	DBL SWING	ENTRY	(N)	6'-0", V.I.F.	7'-0", V.I.F.	AL	AL	PM	NR		(E) DOUBLE ENTRY DOORS WITHIN (E) GLASS ALUMINUM STOREFRONT TO BE REMOVED + REPLACED WITH (N) OUT-SWINGING SOLID ENTRY DOORS + HARDWARE. INTEGRATE CONCEALED ROD DEVICE THROUGH TOP + BOTTOM, CONNECT TO SECURITY / ENTRY SYSTEM	C1, D1, G2, H2, I1 (BOTH DOOR LEAVES)
D-100.3	100	SWING	ENTRY + ELECTRICAL/MECH.	(N)	3'-0"	6'-8"	WD	MF	PWD	NR		DEMO + REMOVE (E) HOLLOW CORE WOOD DOOR + FRAME. REPLACE WITH ADJACENT DOOR + FRAME + HARDWARE CURRENTLY AT ENTRY OF OFFICE 101. EXISTING FRAME TO BE PRIMED AND PAINTED PRIOR TO REINSTALL	A6, C1, REUSE (E) DOOR CLOSER
D-100.5	100	SWING	ENTRY + STORAGE	(N)	3'-0"	6'-8", V.I.F.	WD	WD	PWD	1 HR		(N) DOOR IN (N) WALL	A6, C1
D-100.6	100	SWING	ENTRY + HALLWAY	(N)	3'-0"	6'-8"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	C1, D1, E1, J1 (KEYPAD ON ENTRY SIDE)
D-102A	126	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	6'-8"	DL	MF	SG	NR		(N) DOOR IN (N) ENLARGED OPENING, WOOD FRAME TRUE DIVIDED LITE	A4, A7, C1, E1, K1
D-102B.1	127	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	7'-0"	DL	MF	SG	NR		(N) DOOR IN (N) ENLARGED OPENING, WOOD FRAME TRUE DIVIDED LITE. COORDINATE SHOTCRETE FRAMED OPENING AROUND DOOR FRAME	A1, A7, C1, E1, K1
D-102B.2	127	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	7'-0"	EZ	EZ	PWD	NR		(N) DOOR IN (N) OPENING	A4, C3, F1, K1
D-103A	124	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	6'-8"	DL	MF	SG	NR		(N) DOOR IN (N) ENLARGED OPENING, WOOD FRAME TRUE DIVIDED LITE	A4, A7, C1, E1, K1
D-103B	125	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	7'-0"	DL	MF	SG	NR		(N) DOOR IN (N) ENLARGED OPENING, WOOD FRAME TRUE DIVIDED LITE. COORDINATE SHOTCRETE FRAMED OPENING AROUND DOOR FRAME	A1, A7, C1, E1, K1
D-104A	123	SWING	OFFICE	(E)	3'-0"	6'-8"	WD	MF	PWD	NR		(E) DOOR TO REMAIN; DOOR + FRAME TO BE PRIMED AND PAINTED	A4, REUSE (E) DOOR CLOSER + OTHER HARDWARE IF POSSIBLE, OTHERWISE C1, D1, E1
D-104B.1	122	SWING	VOCATIONAL TRAINING	(REUSE)	3'-0"	6'-8"	WD	MF	PWD	NR		DEINSTALL (E) SOLID CORE WOOD DOOR (WITH GLASS LITE); REPLACE WITH (E) DOOR + HARDWARE CURRENTLY AT (E) KITCHEN 105C (WITHOUT GLASS LITE); DOOR + FRAME TO BE PRIMED AND PAINTED PRIOR TO REINSTALL	A4, REUSE (E) DOOR CLOSER + OTHER HARDWARE IF POSSIBLE, OTHERWISE C1, D1, E1
D-104B.2	122	SWING	VOCATIONAL TRAINING	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL	A4, C1, D1, E1
D-105A.1	120	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	6'-8"	DL	MF	SG	NR		(N) DOUBLE DOOR, FRAME + HARDWARE IN (N) OPENING, WOOD FRAME TRUE DIVIDED LITE	A4, A7, C1, E1, F2, K1
D-105A.3	120	EXT. GATE	VOCATIONAL TRAINING / EXTERIOR GATE	(N)	3'-0"	4'-8" +/-, V.I.F.	MT	WD	PM	NR		DEMO + REMOVE (E) HOLLOW CORE WOOD DOOR + FRAME; REPLACE WITH (N) WOOD FRAME TRUE DIVIDED LITE; ENSURE DOOR OPENING HEIGHT ALLOWS FOR FUTURE FINISH FLOOR ELEVATION	EXTERIOR GRADE HINGES + HASP FOR PADLOCK
D-105B.1	121	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	7'-0"	DL	MF	PWD	NR		(N) DOOR IN ENLARGED OPENING	A1, A7, C1, E1, K1
D-105B.2	121	DBL SWING	VOCATIONAL TRAINING	(N)	6'-0"	7'-0"	EZ	EZ	PWD	NR		(N) DOOR IN ENLARGED OPENING	A4, C3, F1, K1
D-105C.1	119	SWING	KITCHEN	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		REMOVE (E) DOOR; REPLACE W/ (N) DOOR W/ GLASS LITE; DOOR + FRAME TO BE PRIMED AND PAINTED PRIOR TO REINSTALL	A4, REUSE (E) DOOR CLOSER + OTHER HARDWARE IF POSSIBLE, OTHERWISE C1, D1, E1, M1
D-105C.2	119	SWING	KITCHEN	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		(N) DOOR, FRAME + HARDWARE IN (N) OPENING	A4, C1, D1, E1, F1
D-106	105	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-107	106	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR, FRAME + HARDWARE IN (N) OPENING	A5, C1, D1, E1, F1, G1, H1
D-108	107	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-109A	101	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-109B	102	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-109C	104	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-109D	103	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-110A	100B	SWING	WC	(N)	3'-0"	7'-0"	WD	WD	PWD	NR		(N) DOOR IN (N) WALL	A1, C1, D1, E1, F1
D-110B	100B	SWING	WC	(N)	2'-6"	7'-0"	WD	WD	PWD	NR		(N) DOOR IN (N) WALL	A7, B1, C1, F1, L1
D-110C	100B	SWING	WC	(N)	2'-10"	7'-0"	WD	WD	PWD	NR		(N) DOOR IN (N) WALL	A7, B1, C1, F1, L1
D-110D	100B	SWING	WC	(N)	3'-0"	7'-0"	WD	WD	PWD	NR		(N) DOOR IN (N) WALL	A7, B1, C1, D1, E1, F1, L1
D-111A	108	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-111B	109	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-112	114	SWING	KITCHEN	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		(N) DOOR, FRAME + HARDWARE IN (N) OPENING	A1, C1, D1, E1, F2
D-113	113	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-114A.1	116B	SWING	WC	(N)	2'-8"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, F1, L1
D-114A.2	116B	SWING	WC	(N)	2'-8"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, F1, L1
D-114A.3	116B	SWING	WC	(N)	2'-8"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, F1, L1
D-114A.4	116B	SWING	WC	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, D1, E1, F1, L1
D-114A.5	116B	SWING	WC	(N)	2'-8"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, F1, L1
D-114A.6	116B	SWING	WC	(N)	2'-8"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, F1, L1
D-114A.7	116B	SWING	WC	(N)	3'-0"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, 1" UNDERCUT FOR VENTILATION	A7, B1, C1, D1, E1, F1, L1
D-114B	116C	SWING	JANITORIAL	(N)	2'-6"	7'-0"	WD	MF	PWD	NR		(N) DOOR IN (N) WALL, LOUVER DOORS FOR VENTILATION	A6, C1, D1, E1, F1
D-115A	112	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-115B	111	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-115C	110	SWING	OFFICE	(N)	3'-0"	7'-0"	WD	WD	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR IN (N) WALL	A5, C1, D1, E1, F1, G1, H1
D-115D	115	SWING	VOCATIONAL TRAINING	(N)	3'-0"	7'-0"	WD	WD	PWD	NR		(N) DOOR, FRAME + HARDWARE IN (N) OPENING	A4, C1, D1, E1, F1
D-116A.1	116A	DBL SWING	ENTRY	(N)	6'-10"	8'-9"	STL	MF	PM	NR		(N) EXTERIOR DOOR + FRAME IN (N) GLASS BLOCK ENCLOSURE, INTEGRATE CONCEALED ROD DEVICE THROUGH TOP + BOTTOM, CONNECT TO SECURITY / ENTRY SYSTEM	C1, D1, G2, H2, I1 (BOTH DOOR LEAVES)
D-116A.2	117	DBL SWING	ENTRY	(N)	6'-0"	8'-10 1/2", V.I.F.	DL	MF	SG	NR		(N) DOOR, FRAME + HARDWARE IN (N) CMU BLOCK WALL OPENING, SEE ELEVATION, WOOD FRAME TRUE DIVIDED LITE	A4, A7, C2, E1, J1, K1
D-116B	118A	SWING	LAUNDRY/STORAGE	(N)	3'-0"	6'-8"	WD	MF	PWD	NR	FULL WIDTH x 2'-0" HIGH	(N) DOOR, FRAME + HARDWARE IN (N) OPENING, W/ GLASS LITE	A1, C1, D1, E1, F1, M1
D-116C.1	NOT USED												
D-116C.2	118B	SWING	UTILITY/STORAGE	(N)	3'-0"	6'-8"	WD	WD	PWD	1 HR		(N) DOOR, FRAME + HARDWARE IN (N) OPENING	A6, C1, D1
D-116D	118C	SWING	TRASH	(N)	3'-6"	7'-0"	STL	MF	PM	NR		(N) DOOR, FRAME + HARDWARE IN (N) OPENING, LOUVER DOORS FOR VENTILATION	A6, C1, D1, E1, F2
D-117.1	117	SWING	OFFICE	(N)	3'-6"	7'-0"	WD	MF	PWD	NR		(N) DOOR, FRAME + HARDWARE IN (E) CMU BLOCK WALL OPENING	A3, C1, D1, E1, F1, F2, G1, H1
SECOND FLOOR													
D-200.1	200	SWING	VOCATIONAL TRAINING	(N)	3'-0"	6'-8"	WD	WD	PWD	NR		(N) DOOR + FRAME	A4, C1, D1
D-200.2	200	SWING	VOCATIONAL TRAINING	(N)	3'-0"	6'-8"	WD	WD	PWD	NR		(N) DOOR + FRAME	A4, C1, D1
D-201	201	SWING	OFFICE	(N)	3'-0"	6'-8"	WD	WD	PWD	NR		(N) DOOR + FRAME	A4, C1, D1
D-202	202	SWING	STORAGE / UTILITY	(E)	3'-0"	6'-8"	WD	WD	PWD	1 HR		(E) DOOR + FRAME	(E) TO REMAIN
D-200B	200B	SWING	WC	(N)	3'-0"	6'-8"	WD	WD	PWD	NR		(N) DOOR + FRAME	A7, B1, C1, D1, E1, F1, L1

SCHEDULE NOTES

MATERIAL / CONSTRUCTION	FRAME	FINISH	RATING
AL ALUMINUM	AL ALUMINUM	AA ANODIZED ALUMINUM	NR NOT RATED
HM HOLLOW METAL	MF METAL FRAME	MT METAL	#HR FIRE RESISTANCE RATING
STL STEEL	STL STEEL FRAME	PM PAINTED METAL	STC# ACOUSTIC RATING
GL GLASS	WD WOOD FRAME	PWD PAINTED WOOD	
WD SOLID CORE WOOD (1 3/4")	EZ EZYJAMB (TAPE-IN FLUSH)	SG STAIN GRADE WOOD	
HWD HOLLOW CORE WOOD			
PMP PERFORATED METAL PANEL			
DL DIVIDED LITE WOOD (FR) + GLASS (SATIN ETCHED)			
EZ EZYDOR (FLUSH SOLID CORE DOOR FOR EZYJAMB)			

SHEET NOTES

- ENSURE FUNCTIONALITY OF ALL EXISTING TO REMAIN DOORS + REPLACE/REPAIR HARDWARE AS NEEDED. ALL EXISTING TO REMAIN DOORS + FRAMES TO BE PRIMED + PAINTED TO MATCH ADJACENT WALL COLOR U.O.N.
- ALL HARDWARE TO BE ADA COMPLIANT, EXCEPT AT MECHANICAL CLOSETS, NON-ADA WC'S, ETC. MAXIMUM EFFORT TO OPERATE ALL INTERIOR AND EXTERIOR DOORS SHALL NOT EXCEED 5 POUNDS.
- ALL EGRESS DOORS SHALL OPEN FREELY IN THE DIRECTION OF TRAVEL, WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ACCESS-/KEYPAD-CONTROLLED DOORS SHALL NOT RESTRICT / BLOCK ACCESS IN THE DIRECTION OF EXIT. KEYPAD CONTROLS SHOULD BE TIED INTO EXISTING KNOX KEY SWITCH AT BUILDING LOBBIES, AND TESTED PRIOR TO OCCUPANCY.
- PROVIDE ACOUSTIC GASKETING + DOOR SWEEPS AT ALL (E) TO REMAIN AND (N) CLASSROOM AND OFFICE DOORS.

DOOR HARDWARE SCHEDULE

- A: CYLINDER LATCH / LOCK SETS**
MANUFACTURER: SCHLAGE ND SERIES
LEVER: BROADWAY
NOTE: PROVIDE SAMPLE SETS FOR APPROVAL OF BROADWAY AND LATTITUDE LEVER TYPES WITH ND73 FUNCTION.
FINISH: SATIN NICKEL
1 ND10: PASSAGE
2 ND25: EXIT LOCK W/ EXTERIOR BLANK PLATE
3 ND12: EXIT LOCK
4 ND70: CLASSROOM LOCK, EXTERIOR LOCKDOWN ONLY
5 ND73: CORRIDOR LOCK
6 ND81: ACCESSIBLE STOREROOM LOCK
7 ND172: DOUBLE DUMMY TRIM
- B: CYLINDER DEADBOLTS**
1 MANUFACTURER: SCHLAGE B SERIES
MODEL: B560 SINGLE CYLINDER DEADBOLT
NOTES: OS-OCC INDICATOR
FINISH: SATIN NICKEL
- C: HINGES**
1 MANUFACTURER: ABS DHBB179 OR SIMILAR
FINISH: SATIN NICKEL
NOTE: USE QUANTITY OF HINGES PER DOOR
2 WIDE THROW HINGE, T.B.D.
3 MANUFACTURER: EZYCONCEPT
MODEL: R0CYORK CONCEALED HINGES
FINISH: SATIN CHROME
NOTE: USE QUANTITY OF HINGES PER DOOR
- D: DOOR CLOSERS**
1 MANUFACTURER: LCN 4040XP SERIES
FINISH: TO BE SELECTED BY ARCHITECT
- E: KICK PLATE**
1 MANUFACTURER: IVES OR EQUAL
SIZE: 10" HIGH x FULL WIDTH OF DOOR
FINISH: TO BE SELECTED BY ARCHITECT
NOTE: MOUNT ON PUSH SIDE
- F: DOOR STOPS**
1 MANUFACTURER: IVES
MODEL: FS410 FLOOR MOUNTED DOOR STOP
FINISH: SATIN NICKEL
2 MANUFACTURER: IVES
MODEL: FS40 / FS41 / FS42 / FS43 FLOOR STOP + DOOR HOLDER
FINISH: TO BE SELECTED BY ARCHITECT
NOTE: SPECIFIC MODEL DEPENDS ON DOOR CLEARANCE, V.I.F.
3 MANUFACTURER: IVES
MODEL: RB471 / RB472 ROLLER BUMPER
FINISH: SATIN NICKEL
NOTE: SPECIFIC MODEL DEPENDS ON DOOR CLEARANCE, V.I.F.
- G: WEATHER STRIP / GASKET**
1 MANUFACTURER: ACOUSTICAL SURFACES OR EQUAL
MODEL: STC RATED DOOR FRAME SOUND GASKET
FINISH: TO BE SELECTED BY ARCHITECT
2 MANUFACTURER: T.B.D.
MODEL: DOOR FRAME WEATHER SEAL
FINISH: TO BE SELECTED BY ARCHITECT
- H: THRESHOLD / DOOR BOTTOM**
1 MANUFACTURER: ASSA ABLOY / PEMKO
MODEL: STC411APK ACOUSTIC AUTOMATIC DOOR BOTTOM
FINISH: TO BE SELECTED BY ARCHITECT
2 MANUFACTURER: ASSA ABLOY / PEMKO
MODEL: 209 SERIES WEATHER SEAL DOOR BOTTOM
FINISH: TO BE SELECTED BY ARCHITECT
- I: PANIC / PUSH BAR**
1 MANUFACTURER: VON DUPRIN
MODEL: 98 SERIES
FINISH: TO BE SELECTED BY ARCHITECT
NOTES:
47 + 48: CONCEALED VERTICAL ROD DEVICE AT TOP + BOTTOM
996: LEVER TRIM AT EXTERIOR W/ O2 TYPE LEVER
RX2: DOUBLE REQUEST TO EXIT
AX: ACCESSIBLE DEVICE
- J: KEY PAD**
1 MANUFACTURER: SCHLAGE
MODEL: TOUCH KEYLESS TOUCHSCREEN LEVER W/ BROADWAY LEVER + CENTURY TRIM
FINISH: SATIN NICKEL
- K: FLUSH BOLT**
1 MANUFACTURER: IVES
MODEL: FB61P TOP + BOTTOM BOLTS FOR WOOD DOORS
FINISH: TO BE SELECTED BY ARCHITECT
- L: HOOKS**
1 MANUFACTURER: IVES
MODEL: 507 RHODES COAT + HAT HOOK
FINISH: SATIN NICKEL
NOTE: INSTALL ON INTERIOR SIDE OF DOOR, COORDINATE FLOOR STOP INSTALLATION TO PREVENT HOOK FROM DAMAGING WALL
- M: DOOR LITE INSERT**
1 MANUFACTURER: ACTIVAR OR SIM.
MODEL: V2 SLIMLINE VISION KITS
FINISH: T.B.D.
SIZE: T.B.D.
NOTE: PROVIDE ALTERNATE PRICING FOR OIL RUBBED BRONZE, AGED BRONZE, AND SATIN BRASS FINISH FOR ALL HARDWARE

Banks Landt Lighting Design
461 Second Street, #659
San Francisco, CA 94107

Project: VWC Bancroft
Issue: Issue for EE
Date: 11/22/25

Banks Landt Lighting Design
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San Francisco, CA 94107

Project: VWC Bancroft
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Date: 11/22/25

**VWC BANCROFT
LIGHTING FIXTURE SCHEDULE**

General Notes

1. Fixture finishes to be confirmed by Architect.
2. Contractor to provide all necessary accessories and components for complete installation.
3. Contractor to confirm driver compatibility with lighting controls system prior to ordering.
4. Shop drawings are to be provided for continuous linear fixtures for approval prior to ordering. Drawings to be prepared by the manufacturer showing all details of construction, lengths of required runs, lamp layout, power location, finishes and list of materials. Drawings must be to scale.
5. Fixture mounting heights are TBD. Pendant and vertical surface mounted fixtures are to be mounted X-X" AFF. Refer to architectural drawings for more information.

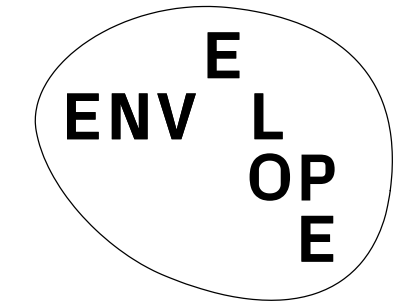
Type	Description	Manufacturer / Catalog Number	Location	Lamp	Driver/ Trans.	Watts/ Unit	Voltage	Notes
F- TYPES								
F1	WALL RECESSED LED STEPLIGHT - 5" W X 3" L	MODERN FORMS - STEP LIGHT Fixture: SL-LED100-3000K-FINISH PER ARCH-3.2-228	Stairs	White LEDs (Provided by Manufacturer) 3000K	Integral, Electronic - (Dimmable)	3.2	EA 120V	1. Mounting height per Architectural Drawings. 2. Finish to be confirmed by Architect. 3. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
F2	SURFACE MOUNTED LINEAR TRACK SYSTEM	LUMENTURE - J BEAM Track rail: JT-LENGTH PER PLAN-FINISH PER ARCH Track heads: T65-300-1500-40-FINISH PER ARCH-J-ACCESSORIES AS REQ'D	Classroom	White LEDs (Provided by Manufacturer) 1800K-3000K	Integral, Electronic - (Dimmable)	16	EA 120V	1. Finish to be confirmed by Architect. 2. Contractor shall not discard manufacturer supplied optics, prior to confirmation with lighting designer. 3. Contractor to provide all necessary accessories and components for complete installation. 4. Contractor to provide all necessary accessories and components for complete installation. 5. See general notes.
F3A	CEILING SURFACE MOUNTED LUMINAIRE - 13" DIA., 1.14" H	JUNO - SLIM FORM LED Fixture: JSF 0 13IN 18LM-SWW5-90CRI-MVOLT ZT-WH	Restrooms & Kitchen	White LEDs (Provided by Manufacturer) 2700K	Integral, Electronic - (Dimmable)	19.8	EA 120V-277V	1. Finish to be confirmed by Architect. 2. Contractor to confirm ceiling thickness and fixture compatibility prior to installation. 3. See general notes.
F3B	CEILING SURFACE MOUNTED LUMINAIRE - 7" DIA., .75" H	JUNO - SLIM FORM LED Fixture: JSF-7IN 10LM-SWW5-90CRI-MVOLT ZT-WH LGL	Restrooms	White LEDs (Provided by Manufacturer) 2700K	Integral, Electronic - (Dimmable)	9.1	EA 120V-277V	1. Finish to be confirmed by Architect. 2. Contractor to confirm ceiling thickness and fixture compatibility prior to installation. 3. See general notes.
F4	SURFACE MOUNTED LINEAR LINE VOLTAGE COVE LIGHT	TROV - L45 Fixture: L45-L-LENGTH PER PLAN-06-27-90-MULT-120-FINISH PER ARCH	Classroom	White LEDs (Provided by Manufacturer) 2700K	Integral, Electronic - (Dimmable)	6	LF 120V-277V	1. Fixture lengths to be confirmed with architectural dwgs and field conditions. 2. Contractor to provide all necessary accessories and components for complete installation. 3. Fixture/wire connections to be clean and concealed from all view/side lines. 4. See general notes.
F4 (ALT)	WALL MOUNT LINEAR (INDIRECT) LUMINAIRE	FINELITE - HP2 Fixture: HP2-WH-LENGTH PER PLAN-H-9TW-F-96LG-120/277-SC-FC-10%-MB-FE-FINISH TBD PER ARCH-OPTIONS AS REQ'D	Classroom	White LEDs (Provided by Manufacturer) 2700K-6500K	Integral, Electronic - (Dimmable)	7	LF 120V-277V	1. Fixture lengths to be confirmed with architectural dwgs and field conditions. 2. Contractor to provide all necessary accessories and components for complete installation. 3. Fixture/wire connections to be clean and concealed from all view/side lines. 4. See general notes.
F5	SURFACE MOUNTED LINEAR LED STRIP - 48" L	LITHONIA LIGHTING - ZL1D Fixture: ZL1D-48"SMR-3000-FST-MVOLT-30K-90CRI-FINISH PER ARCH-ACCESSORIES AS REQ'D	BOH	White LEDs (Provided by Manufacturer) 3000K	Integral, Electronic - (Dimmable)	30	LF 120V-277V	1. Fixture lengths to be confirmed with architectural dwgs and field conditions. 2. Contractor to provide all necessary accessories and components for complete installation. 3. See general notes.
F6	SURFACE MOUNTED LINEAR LED TAPE-IN CHANNEL UNDER CABINET LIGHT	KELVIK - CH 502 A Fixture channel: CH-502-A-LENGTH PER PLAN- FR-CP-EC Fixture LED strip: UNI-DW-1-300-1830K-24V-NA Remote driver: ULV96-120-277 VAC-96W-34V	Undercabinet Millwork	White LEDs (Provided by Manufacturer) 1800K-3000K	Remote, Magnetic - (Dimmable)	NA 4.3 96	LF 120V Primary / 24V Secondary LF	1. Fixture requires remote driver. Driver to be located in accessible location. 2. Fixture lengths to be confirmed with architectural dwgs and field conditions. 3. Contractor to provide all necessary accessories and components for complete installation. 4. Fixture/wire connections to be clean and concealed from all view/side lines. 5. Refer to architectural package for mounting intent and required dimensions. This sketch is not intended for construction. Refer to architectural drawings for additional information. 6. See general notes.
F7	SURFACE MOUNTED UPLIGHT LUMINAIRE - 8.6" L X 8.6" W X 8.1 H	LIGMAN LIGHTING - QUARTER 1 SURFACE Fixture: UQU-31343-37W-W-W27-SU04-120/277-DIM-SGBT	Classroom	White LEDs (Provided by Manufacturer) 2700K	Integral, Electronic - (Dimmable)	37	EA 220V-240V	1. Mounting height per Architectural Drawings. 2. Finish to be confirmed by Architect. 3. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
F8	CEILING SUSPENDED LINEAR (DIRECT ONLY) LUMINAIRE	FINELITE - HP3 Fixture: HP3-FD-4'-V-030-DSO-96LG-120/277-SC-FC-10%-FA50-C4-FE-FINISH TBD PER ARCH-OPTIONS AS REQUIRED	Classroom	White LEDs (Provided by Manufacturer) 2700K	Integral, Electronic - (Dimmable)	8.6	EA 120V-277V	1. Mounting height per Architectural Drawings. 2. Finish to be confirmed by Architect. 3. Contractor to provide all necessary accessories and components for complete installation. 4. Fixture lengths to be confirmed with architectural dwgs and field conditions. 5. See general notes.
F9	SURFACE MOUNTED LUMINAIRE	VISUAL COMFORT & CO. - BOXIE LARGE OUTDOOR FLUSH MOUNT Fixture: 7000WBX-LARGE-9-30-FINISH PER ARCH-120-277	Entry	White LEDs (Provided by Manufacturer) 3000K	Integral, Electronic - (Dimmable)	25	EA 120V-277V	1. Contractor to provide all necessary accessories and components for complete installation. 3. See general notes.

**VWC BANCROFT
LIGHTING FIXTURE SCHEDULE**

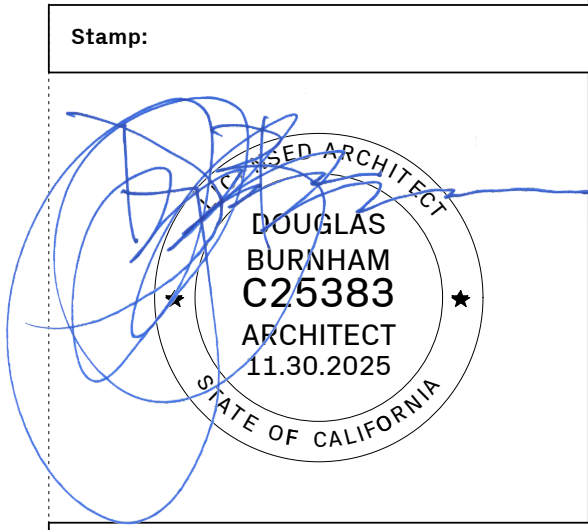
General Notes

1. Fixture finishes to be confirmed by Architect.
2. Contractor to provide all necessary accessories and components for complete installation.
3. Contractor to confirm driver compatibility with lighting controls system prior to ordering.
4. Shop drawings are to be provided for continuous linear fixtures for approval prior to ordering. Drawings to be prepared by the manufacturer showing all details of construction, lengths of required runs, lamp layout, power location, finishes and list of materials. Drawings must be to scale.
5. Fixture mounting heights are TBD. Pendant and vertical surface mounted fixtures are to be mounted X-X" AFF. Refer to architectural drawings for more information.

Type	Description	Manufacturer / Catalog Number	Location	Lamp	Driver/ Trans.	Watts/ Unit	Voltage	Notes
D1	CEILING SUSPENDED PENDANT - 34.8" DIA. X 13.7" H	Vin Lighting - Washi Paper A series Fixture: Washi Paper A series-15A-FINISH PER ARCH	Classroom	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D2A	CEILING SUSPENDED PENDANT - 13" DIA. 8" H	GRAY PANTS - SCRAPLIGHTS PEBBLE PENDANT 'ALKI' Fixture: SCRAP-GP2007-B-WHT-EXT-E26	Entry/ Reception	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D2B	CEILING SUSPENDED PENDANT - 14" DIA. 13" H	GRAY PANTS - SCRAPLIGHTS PEBBLE PENDANT 'ALLYN' Fixture: SCRAP-GP2008-B-WHT-EXT-E26	Entry/ Reception	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D2C	CEILING SUSPENDED PENDANT - 14" DIA. 25" H	GRAY PANTS - SCRAPLIGHTS PEBBLE PENDANT 'DENNY' Fixture: SCRAP-GP2009-B-WHT-EXT-E26	Entry/ Reception	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D2D	CEILING SUSPENDED PENDANT - 22" DIA. 14" H	GRAY PANTS - SCRAPLIGHTS PEBBLE PENDANT 'MADISON' Fixture: SCRAP-GP2006-B-WHT-EXT-E26	Entry/ Reception	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D3	WALL MOUNTED SCENCE - 9" H, 4-3/4" D	IN COMMON WITH - CERAMIC UP DOWN SCENCE Fixture: CERAMIC UP DOWN SCENCE-TERRACOTTA-2200K-3000K	Corridors	Lamp: Tala Sphere I SPHR-G50-4W-2000-2800K-E12-MP-120V	Integral, Electronic - (Dimmable)	3.2	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D4	CEILING SUSPENDED PENDANT - 21.7" DIA. X 21.7" H	Vin Lighting - Akari Spherical Pendant Fixture: Akari Spherical Pendant-55A-FINISH PER ARCH	Hallway	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D5	WALL MOUNTED SCENCE - 5.5" DIA.	MushLume Lighting - Radiate Scence Small Fixture: RADIATE SCENCE SMALL-NATURAL MYCELIUM-WALL WIRED-HARDWARE COLOR PER ARCH	Offices	Lamp: Tala Sphere II SPHR-G75-6W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	6	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D7A	CEILING SUSPENDED PENDANT - LARGE 23"	MUSHLUME LIGHTING - HEMI PENDANT LARGE Fixture: HEMI PENDANT LARGE-HARDWIRED-FINISH PER ARCH	Vocational Training room	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D7B	CEILING SUSPENDED PENDANT - MEDIUM 18"	MUSHLUME LIGHTING - HEMI PENDANT MEDIUM Fixture: HEMI PENDANT MEDIUM-HARDWIRED-FINISH PER ARCH	Vocational Training room	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D8	CEILING SUSPENDED PENDANT - 21.7" DIA. X 21.7" H	Vin Lighting - Washi Paper EN series Fixture: Washi Paper EN Series-56EN-FINISH PER ARCH	Offices	Lamp: Tala Sphere III SPHR-G100-7W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	7	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D9	WALL MOUNTED SCENCE - 9.8" DIA.	MushLume Lighting - Journey Inward Small Fixture: JOURNEY INWARD SMALL- NATURAL MYCELIUM-WALL WIRED-HARDWARE COLOR PER ARCH	Restroom	Lamp: Tala Sphere II SPHR-G75-6W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	6	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D10	CEILING SUSPENDED SHOP LIGHTS - 12" DIA.	BARNLIGHT - MARATHON SERIES Fixture: BLE-C-YDM12-FINISH PER ARCH-SBK	Storage/ Laundry	White LEDs (Provided by Manufacturer) 3000K	Integral, Electronic - (Dimmable)	23	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D11	WALL MOUNTED BARN LIGHT - 16" DIA.	BARNLIGHT - ORIGINAL SERIES Fixture: BLE-C-WH16-FINISH PER ARCH-SBK	Facade Signage	White LEDs (Provided by Manufacturer) 3000K	Integral, Electronic - (Dimmable)	23	EA 120V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.
D12	CEILING SUSPENDED PENDANT	MUUTO - FLUID PENDANT Fixture: FLUID PENDANT LARGE	Kitchen	Lamp: Tala Sphere I SPHR-G50-4W-2000-2800K-E26-MP-120V	Integral, Electronic - (Dimmable)	4	EA 120V-277V	1. Mounting height per Architectural Drawings. 2. Contractor to provide all necessary accessories and components for complete installation. 4. See general notes.



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Issue - Date:

PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

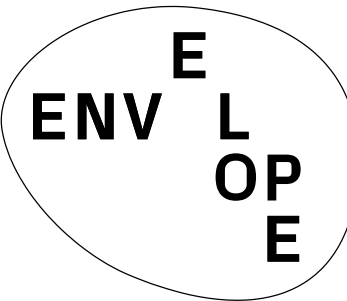
Project Name:
VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

DATE	11.18.2025
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NORTH	SCALE
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Sheet Name:
LIGHT FIXTURE SCHEDULE

Sheet Number:
a0.12



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Project Name:

VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

Sheet Information:

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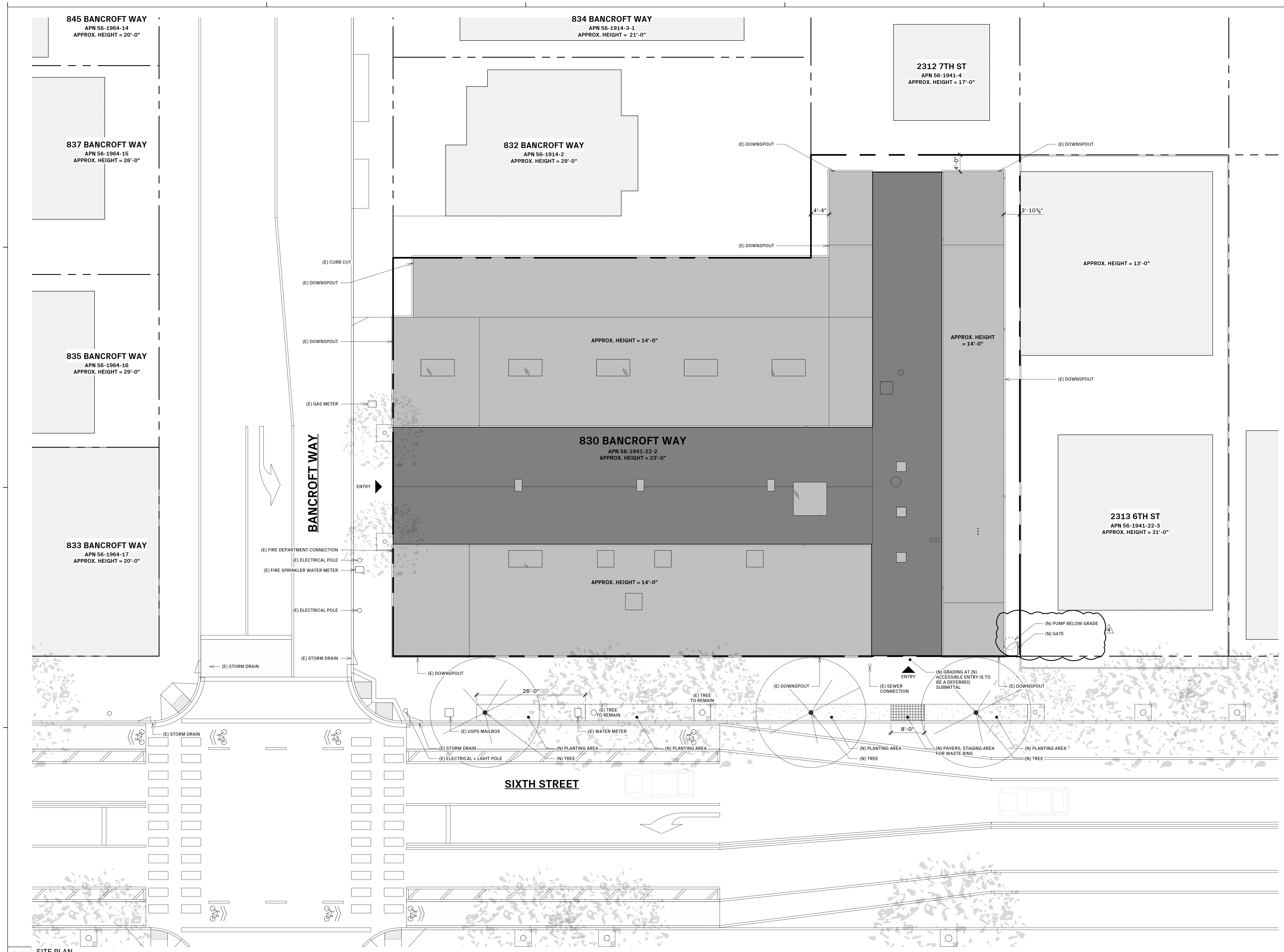
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SITE PLAN

Sheet Number:

a1.00

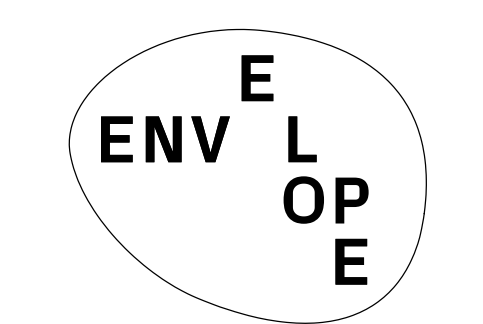
Page Number: 10 OF 29



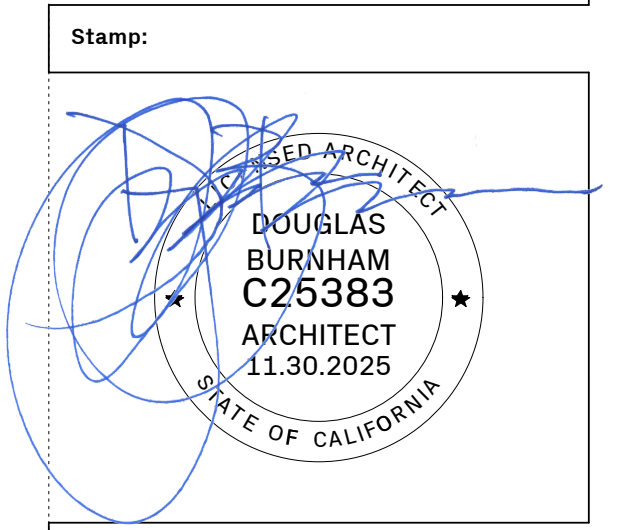
DEMOLITION LEGEND:

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) CASEWORK/EQUIPMENT TO BE DEMOLISHED
	(E) TILE FLOOR / PAVERS TO BE DEMOLISHED
	(E) CARPET FLOOR TO BE DEMOLISHED
	(E) FLOOR / CEILING TO BE DEMOLISHED

- SHEET NOTES**
- (E) TO REMAIN FIRE RISER + FDC
 - DEMO PORTION OF (E) NONBEARING WALL
 - (N) OPENING IN (E) NONBEARING WALL
 - DEMO (E) STAIR
 - DEMO (E) CONCRETE CURB AT DOOR
 - REMOVE (E) DOOR/WINDOW + FRAME / STOREFRONT
 - REMOVE (E) TELEPHONE LINES / CABLES / DEFUNCT EQUIPMENT, TYP. THROUGHOUT
 - DEMO (E) NONBEARING WALL
 - DEMO PLATFORM LANDING
 - DEMO RAMP
 - DEMO FRAMING
 - DEMO FURRED OUT WALL
 - REMOVE (E) CONCRETE STEP
 - REMOVE (E) ROLL-UP GATE
 - REMOVE (E) PLUMBING FIXTURE
 - REMOVE (E) CASEWORK
 - ROOM NAMES REFLECT LAST APPROVED USES FROM 2001 USE PERMIT MODIFICATION #UP_A1463_MOD#01-70000024
 - EXCAVATE FOR (N) FOUNDATION AT ENTRY, S.S.D.
 - TRENCH AS NEEDED FOR (N) PLUMBING FIXTURES IN THIS ZONE, SEE PLUMBING DRAWINGS
 - REMOVE (E) DOOR IN (E) STOREFRONT FRAME
 - ENLARGE (E) OPENING FOR (N) DOOR



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PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

Sheet Information:

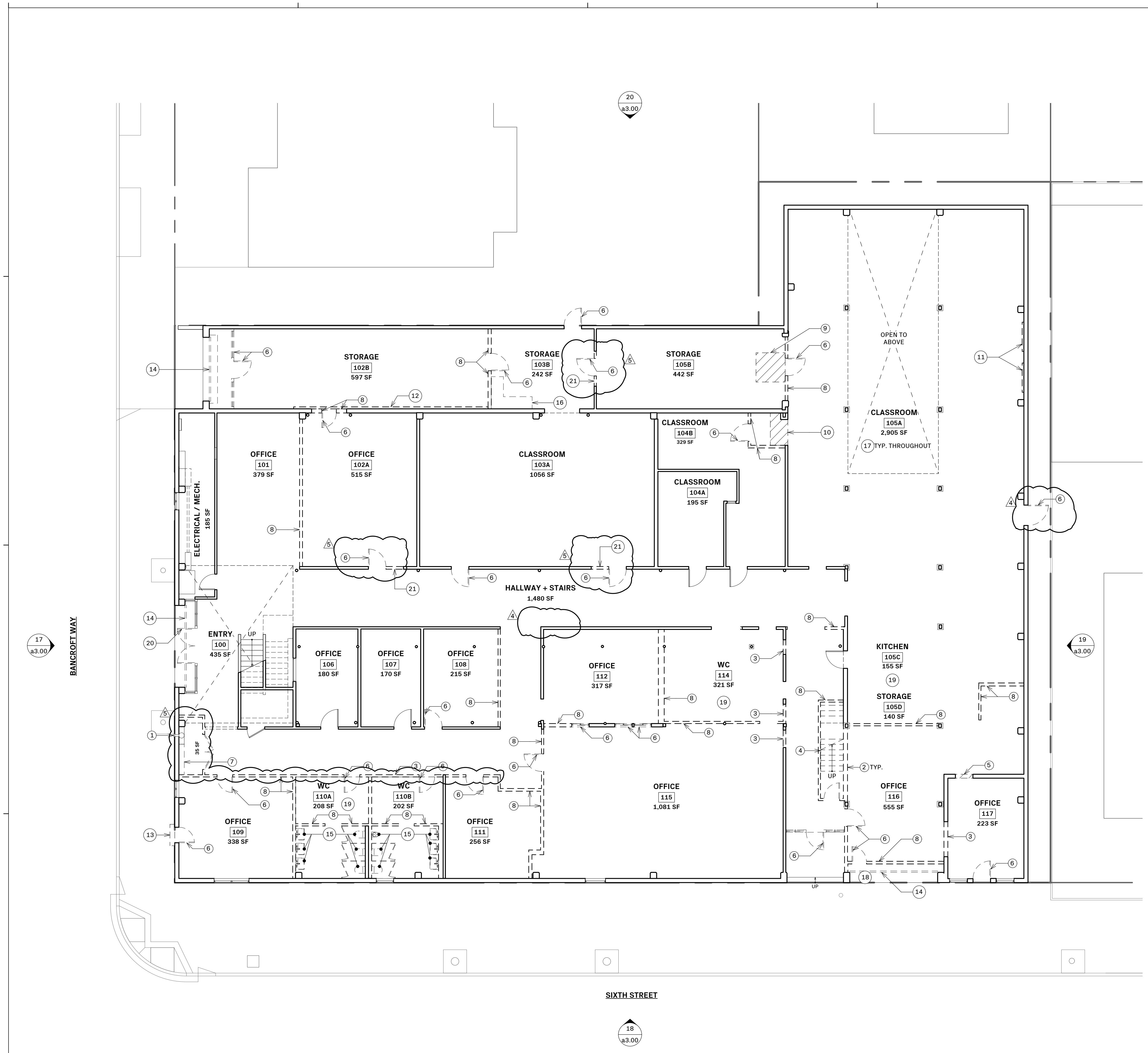
DATE	11.18.2025
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Sheet Name:
 EXISTING/DEMO GROUND FLOOR PLAN

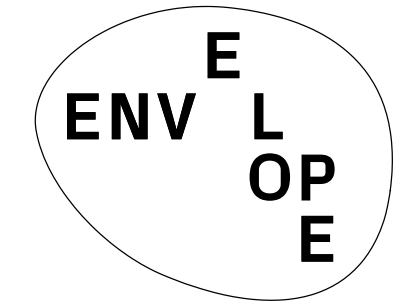
Sheet Number:

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Page Number: 11 OF 29



20 EXISTING/DEMOLITION FLOOR PLAN: GROUND LEVEL
 1/8" = 1'-0"



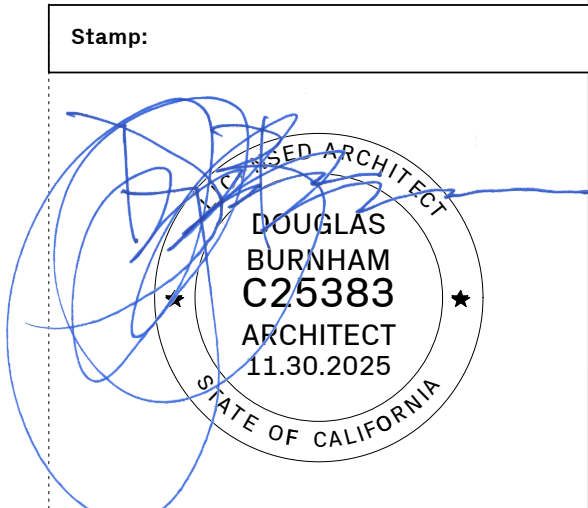
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SHEET LEGEND:

(E) WALL TO REMAIN
(N) WALL
(N) TILE FLOOR FINISH
(N) CARPET FLOOR FINISH
CONCRETE FLOOR FINISH
(F) PORTABLE FIRE EXTINGUISHER CABINET (MAX. TRAVEL DISTANCE BETWEEN CABINETS = 75 FT.)

- SHEET NOTES**
- (N) FILL IN (E) OPENING
 - (N) DOOR
 - (N) STAIR
 - WASTE BIN STORAGE
 - (N) GLASS BLOCK ENCLOSURE AT (E) OPENING
 - (N) GATE
 - (N) DOWNSPOUT
 - (N) SECURITY SCREEN FASTENED TO (E) STOREFRONT
 - USE TOPPING SLAB OVER (E) SLAB TO ALIGN WITH ADJACENT FLOOR SLAB BEFORE INSTALLING FLOOR FINISH
 - (N) DOOR IN (E) STOREFRONT FRAME
 - BUILT-IN PLANTER BOX
 - FILL IN OPENING TO DOOR ROUGH OPENING SIZE W/ SHOTCRETE
 - MULLION MOUNTED CARD READER
 - WALL MOUNTED CARD READER

- PROPOSED NOTES**
- A. GROUND LEVEL GLASS BLOCK REPAIR/REPLACEMENT**
- CONDUCT A DETAILED SURVEY OF GROUND FLOOR GLASS BLOCK, IDENTIFYING + QUANTIFYING ALL DAMAGED OR MISSING BLOCKS ALONG THE ENTIRE GROUND FLOOR FACADE.
 - REMOVE AND REPLACE ANY GLASS BLOCKS THAT ARE CRACKED ON THE EXTERIOR, SHOWING OBVIOUS SIGNS OF LEAKAGE, OR WHICH HAVE BEEN INADEQUATELY CLOSED WITH GLASS OR PLASTIC. GLASS BLOCKS THAT MAY BE DAMAGED (I.E. ON THE INTERIOR SIDE ONLY) AND DO NOT PRESENT AN IMMEDIATE CONCERN FOR WATER INTRUSION, WILL BE EARMARKED FOR FUTURE REPLACEMENT.
 - COMPLETELY REMOVE DAMAGED GLASS BLOCK, GLASS SHARDS AND CHIP OUT MORTAR AROUND PERIMETER OF OPENING.
 - APPLY A BED OF MORTAR TO THE INTERIOR SURFACE OF THE OPENING, AND INSERT GLASS BLOCK UNIT INTO OPENING. CLEAN ANY STRAY MORTAR OR RESIDUE OFF THE FACE OF THE BLOCK AND SURROUNDING CONCRETE SURFACES.
 - WHEN MORTAR HAS COMPLETELY SET, SEAL THE PERIMETER WITH A GLASS BLOCK SEALANT ON INTERIOR AND EXTERIOR.
 - INCLUDE PROVIDING AND INSTALLING A SAMPLE GLASS BLOCK REPLACEMENT.
- B. GROUND LEVEL CONCRETE WATERPROOFING + PAINTING**
- SAFELY REMOVE ANY FLAKING OR PEELING EXTERIOR PAINT, COMPLYING WITH THE CAL/OSHA LEAD IN CONSTRUCTION REGULATION.
 - IDENTIFY AND REPAIR ANY LARGE CRACKS, HOLES OR DAMAGED AREAS IN THE CONCRETE USING A SUITABLE PATCHING COMPOUND.
 - AT THE BASE OF THE WALL, WHERE THE WALL MEETS THE FOUNDATION, APPLY A SPECIALIZED BASE SEALANT TO ENSURE A DURABLE AND WATERTIGHT SEAL.
 - WHERE WALL MEETS CONCRETE DRIVE OR SIDEWALKS: CLEAN GAP BETWEEN BASE OF WALL AND SIDEWALKS OF ANY DIRT AND DEBRIS. INSERT A BACKER ROD INTO THE GAP, AND APPLY CAULK AGAINST WALL AND SIDEWALK FOR A SEAMLESS FINISH. USE A SEALANT THAT MATCHES THE CONCRETE'S COLOR.
 - WHERE WALL MEETS FILL AND IS SLIGHTLY SUBMERGED (I.E. GREAT HALL EAST WALL + PARTIAL SOUTH + NORTH WALLS): REMOVE 1-2 FT OF FILL MATERIAL AWAY FROM WALL AND FOUNDATION. APPLY WATERPROOFING MEMBRANE TO CONCRETE WALL FROM T.O. FOUNDATION TO 8" ABOVE GRADE. INSTALL A CONTINUOUS DRAINAGE PIPE AROUND PERIMETER. FILL WITH GRAVEL TO 1" FROM WALL, THEN BACKFILL TO FILL REMAINING CHANNEL.
 - PRIME AND PAINT ENTIRE CONCRETE FACADE SURFACE.
 - PRIMER TO BE SHERWIN WILLIAMS LOXON XP WATERPROOFING MASONRY PRIMER/SEALER, OR SIMILAR.
 - PROTECTIVE FLAT COAT TO BE PREMIUM EXTERIOR, ULTRA-LOW VOC, ACRYLIC PAINT, DUNN-EDWARDS EVERSHIELD OR SIMILAR.
 - FINAL COAT TO BE BENJAMIN MOORE AURA EXTERIOR PAINT OR SIMILAR, COLOR SPEC TBD.
 - INCLUDE CAREFULLY TAPING ALL CONCRETE BLOCK AND OTHER OPENINGS.



Issue - Date:

PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
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PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

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Sheet Information:

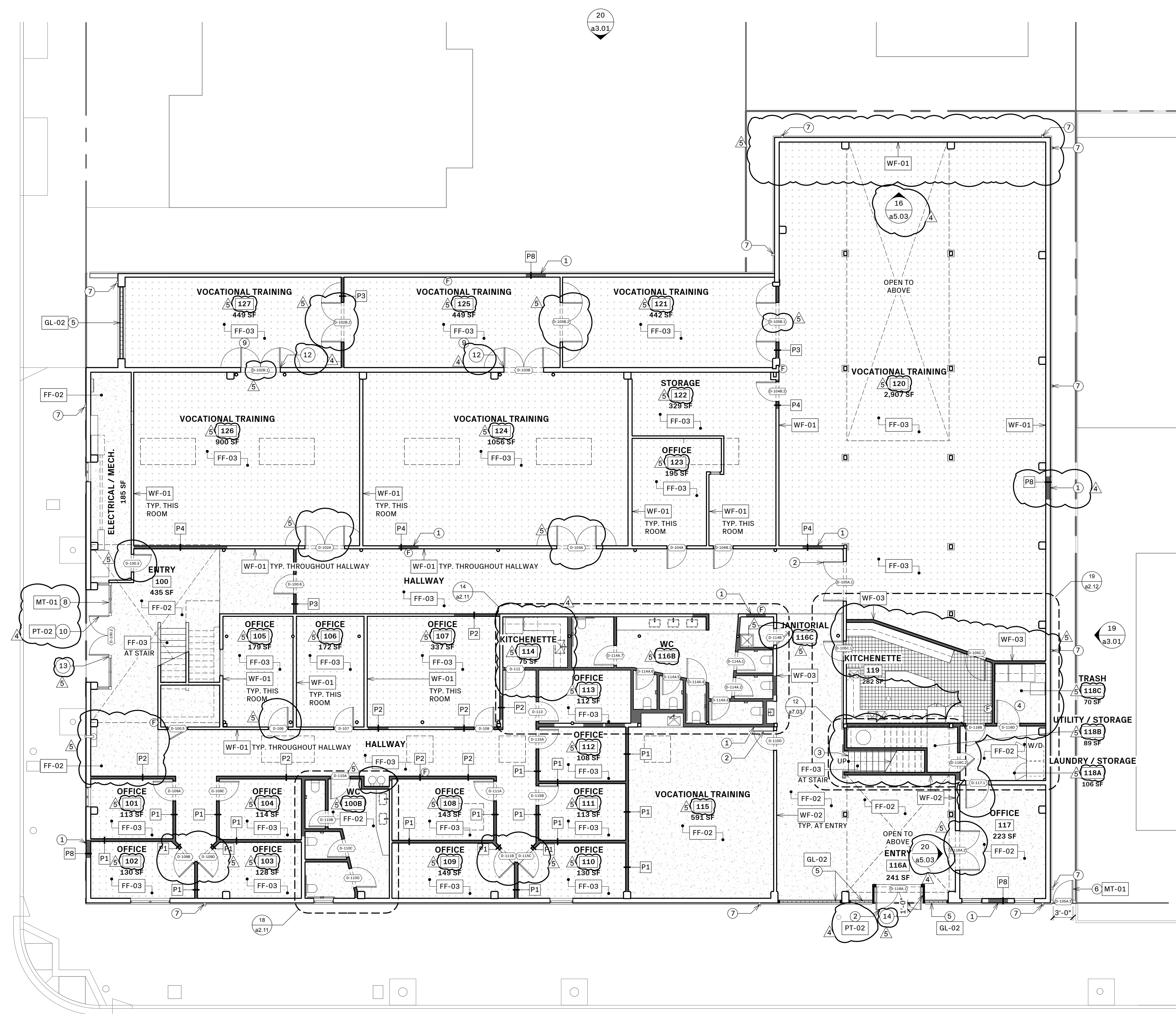
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Sheet Name:

PROPOSED GROUND FLOOR PLAN

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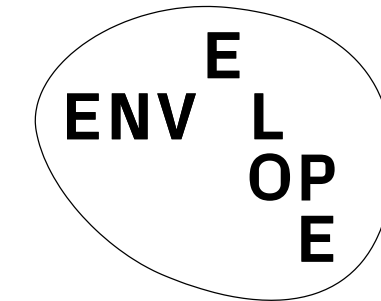


WORK ON THE UPPER LEVEL IS LIMITED TO THE MINIMUM REQUIRED FOR EGRESS AND OTHER BASIC LIFE SAFETY MEASURES. OTHER THAN ACCESSING UTILITY EQUIPMENT BY AUTHORIZED QUALIFIED PERSONNEL, THE UPPER LEVEL SPACE WILL NOT BE USED UNTIL AFTER A FUTURE PHASE RENOVATION.

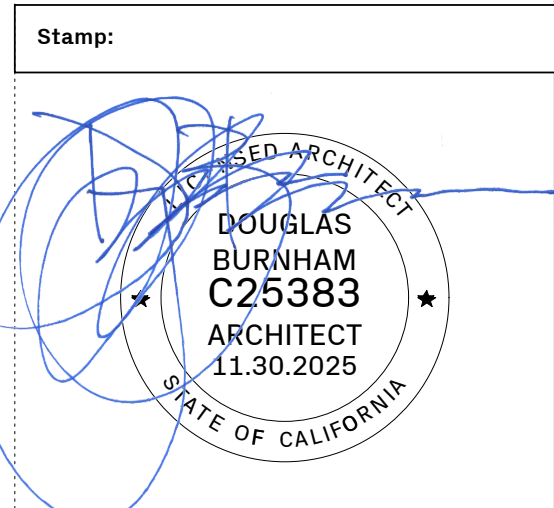
DEMOLITION LEGEND:

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) CASEWORK/EQUIPMENT TO BE DEMOLISHED
	(E) TILE FLOOR / PAVERS TO BE DEMOLISHED
	(E) CARPET FLOOR TO BE DEMOLISHED
	(E) FLOOR / CEILING TO BE DEMOLISHED

- SHEET NOTES**
1. DEMO (E) STAIR
 2. DEMO (E) FLOOR AS SHOWN
 3. DEMO (E) NONBEARING WALL
 4. REMOVE (E) WINDOW
 5. (N) OPENING FOR (N) WINDOW
 6. REMOVE (E) SKYLIGHT
 7. (N) OPENING IN ROOF FOR (N) SKYLIGHT
 8. REMOVE (E) DOOR/WINDOW + FRAME
 9. REMOVE (E) ROLL-UP GATE
 10. ROOM NAMES REFLECT LAST APPROVED USES FROM 2001 USE PERMIT MODIFICATION #UP-A1463_MOD#01-7000024
 11. (N) OPENING IN (E) NONBEARING WALL



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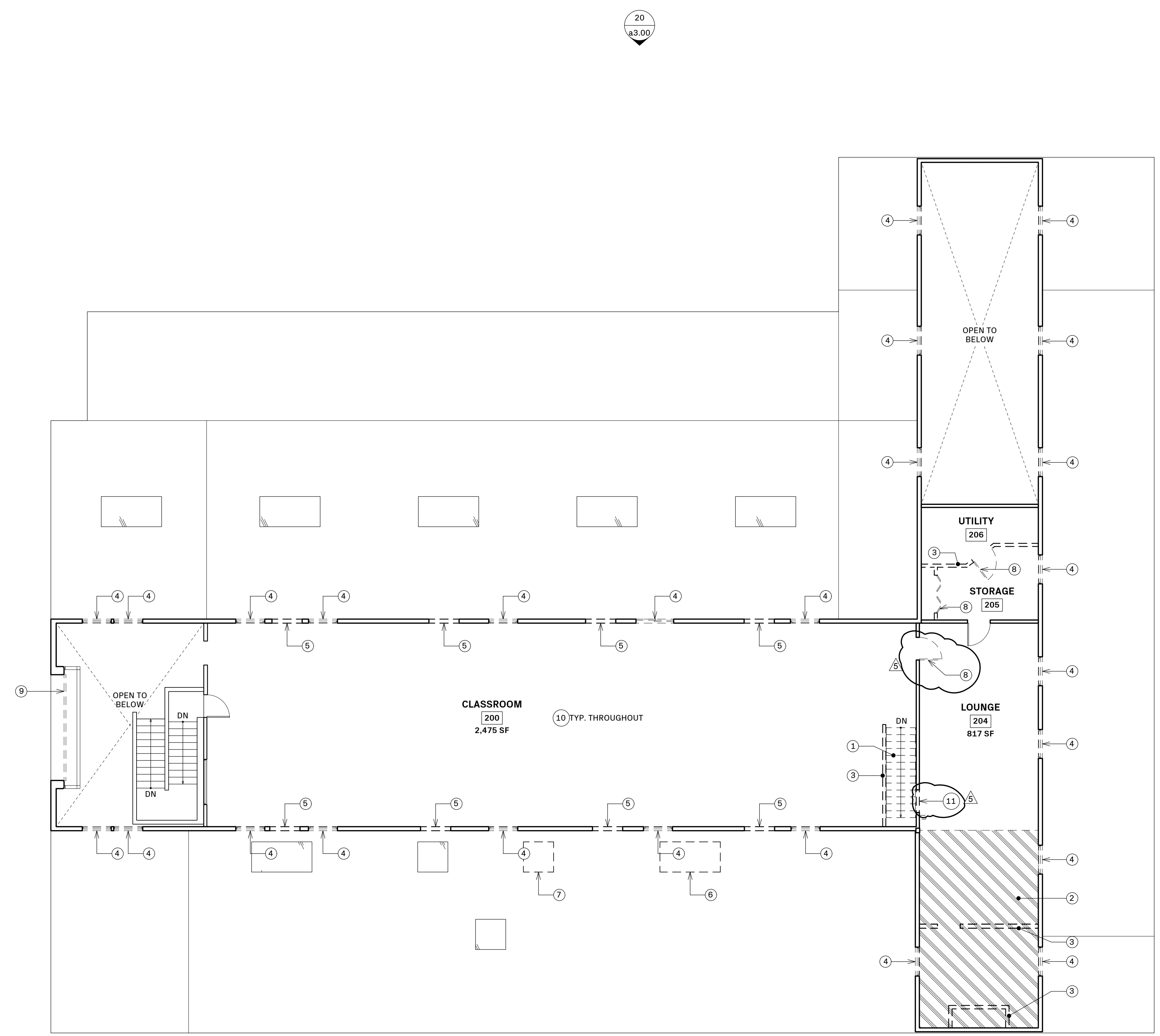
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 EXISTING/DEMO SECOND FLOOR PLAN

Sheet Number:

a2.02

Page Number: 13 OF 29



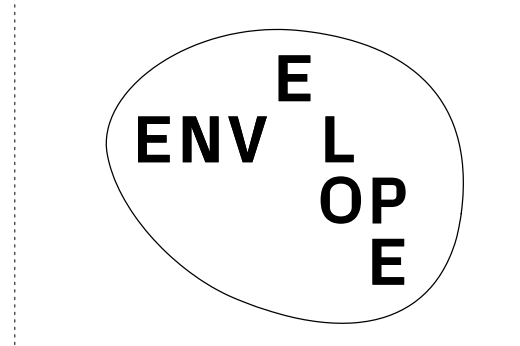
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SHEET LEGEND:

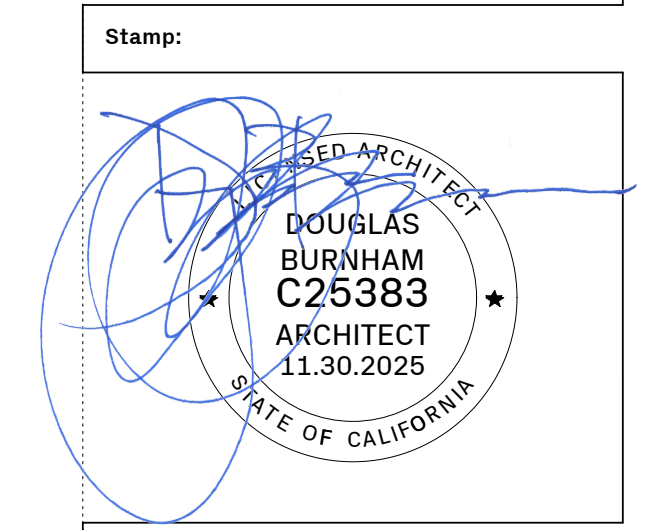
	(E) WALL TO REMAIN
	(N) WALL
	(N) TILE FLOOR FINISH
	(N) CARPET FLOOR FINISH
	CONCRETE FLOOR FINISH
	PORTABLE FIRE EXTINGUISHER CABINET (MAX. TRAVEL DISTANCE BETWEEN CABINETS = 75 FT.)

- SHEET NOTES**
- (E) ELECTRICAL PANEL AT (N) LOCATION (T.B.D.)
 - (N) FILL IN FLOOR AT DEMOLISHED STAIR
 - (N) FILL IN (E) OPENING IN WALL
 - (N) FULL HEIGHT WALL AT TOP OF (N) STAIR
 - (N) PARTIAL HEIGHT WALL BELOW
 - (N) STAIR
 - (N) GUARDRAIL
 - (N) STAIR LANDING, MATCH HEIGHT + FINISH OF (E) FLOOR
 - (N) CHASE FOR VENTILATION DUCTS TO ROOF
 - (N) VENTILATION DUCTS EXHAUST AT ROOF
 - (N) WINDOW IN REFRAMED OPENING HORIZONTALLY CENTERED AT (E) OPENING
 - INFILL WALL IN (E) OPENING
 - (N) DOWNSPOUT
 - (N) WINDOW IN (N) OPENING
 - (N) FILL IN WALL BETWEEN (E) BEAM + (N) STAIR LANDING

- PROPOSED NOTES**
- REMOVE AND REPLACE ANY WALL FRAMING MEMBERS THAT ARE SUBJECT TO ADVANCED DRY ROT. INCLUDE ANY NECESSARY SHORING IN SECTIONS WHERE ENTIRE LENGTHS ARE BEING REPLACED.
 - REMOVE ALL EXISTING UPPER FLOOR WINDOWS. REFRAME OPENINGS WHERE NECESSARY. INSTALL SPECIFIED WINDOWS WITH APPROPRIATE NAIL FLANGE TO ACCEPT STUCCO WALL FINISH. INCLUDE ALL NECESSARY WATERPROOFING, CONTINUOUS FLASHING, SEALANT, ETC TO ENSURE A WATERTIGHT WINDOW INSTALLATION. FOR MOTORIZED AWNING WINDOWS, PROVIDE CONCEALED, IN WALL ELECTRICAL CONNECTIONS, AS NEEDED.
 - MAXIMUM ACHIEVABLE R-VALUE FOR THE EXISTING FRAMING DEPTH WITH FIBERGLASS BATT INSULATION (KRAFT PAPER FACED).
 - EXTERIOR SHEATHING + CONTINUOUS WEATHER RESISTANT BARRIER
 - SHEATHING TO BE EXTERIOR GRADE PLYWOOD, MINIMUM 1/2" THICK. PLYWOOD TO BE GAPPED 1/8" AT ALL EDGES.
 - WATERPROOF MEMBRANE TO BE BITUTHENE, CONTINUOUS ON ALL EXTERIOR SURFACES AND AROUND CORNERS.
 - PROVIDE NEW BITUTHENE FLASHING AROUND ALL OPENINGS.
 - PROVIDE SHEET METAL FLASHING AND COUNTER-FLASHING AT WALL TO ROOF INTERSECTION.
 - INSTALL THREE-COAT STUCCO EXTERIOR WALL FINISH TO ALL UPPER LEVEL FACADE AREAS
 - COMPLY WITH STUCCO MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE BUILDING CODES FOR INSTALLATION OF METAL LATH AND STUCCO FINISH.
 - INSTALL SCRATCH + BROWN COATS TO A MINIMUM 3/8" THICKNESS FOR EACH APPLICATION TO A MINIMUM 3/4" TOTAL THICKNESS. USE SUFFICIENT PRESSURE TO FULLY EMBED LATH, FILLING ALL SPACES AND ENSURING CONSISTENT THICKNESS OF BASECOAT. ROD THE SURFACE TO TRUE PLANE AND FLOAT TO DENSIFY. TROWEL TO SMOOTH AND UNIFORM SURFACE TO RECEIVE FINISH.
 - APPLY INTEGRAL COLOR ACRYLIC FLAT FINISH COATING TO FULLY CURED BROWN COAT USING A STAINLESS STEEL TROWEL FOLLOWED BY FLOATING TO OBTAIN UNIFORM SAND-TYPE / FINE TEXTURE.
 - INSTALL CONTINUOUS EXPANSION AND CONTROL JOINTS INSTALLED IN LOCATIONS IN ACCORDANCE WITH ASTM C1063 AND ASTM C926. MANUFACTURER'S INSTRUCTIONS, AND APPROVED BY ARCHITECT PRIOR TO STUCCO INSTALL.
 - AFTER INSTALL, PROTECT STUCCO FROM UNEVEN AND EXCESSIVE EVAPORATION DURING DRY WEATHER, WINDY CONDITIONS AND DIRECT SUNLIGHT.
 - INCLUDE CREATING A 3' x 3' SAMPLE BOARD (PRIMED + PAINTED) FOR CLIENT AND ARCHITECT APPROVAL.



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830 Bancroft Way
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Sheet Information:

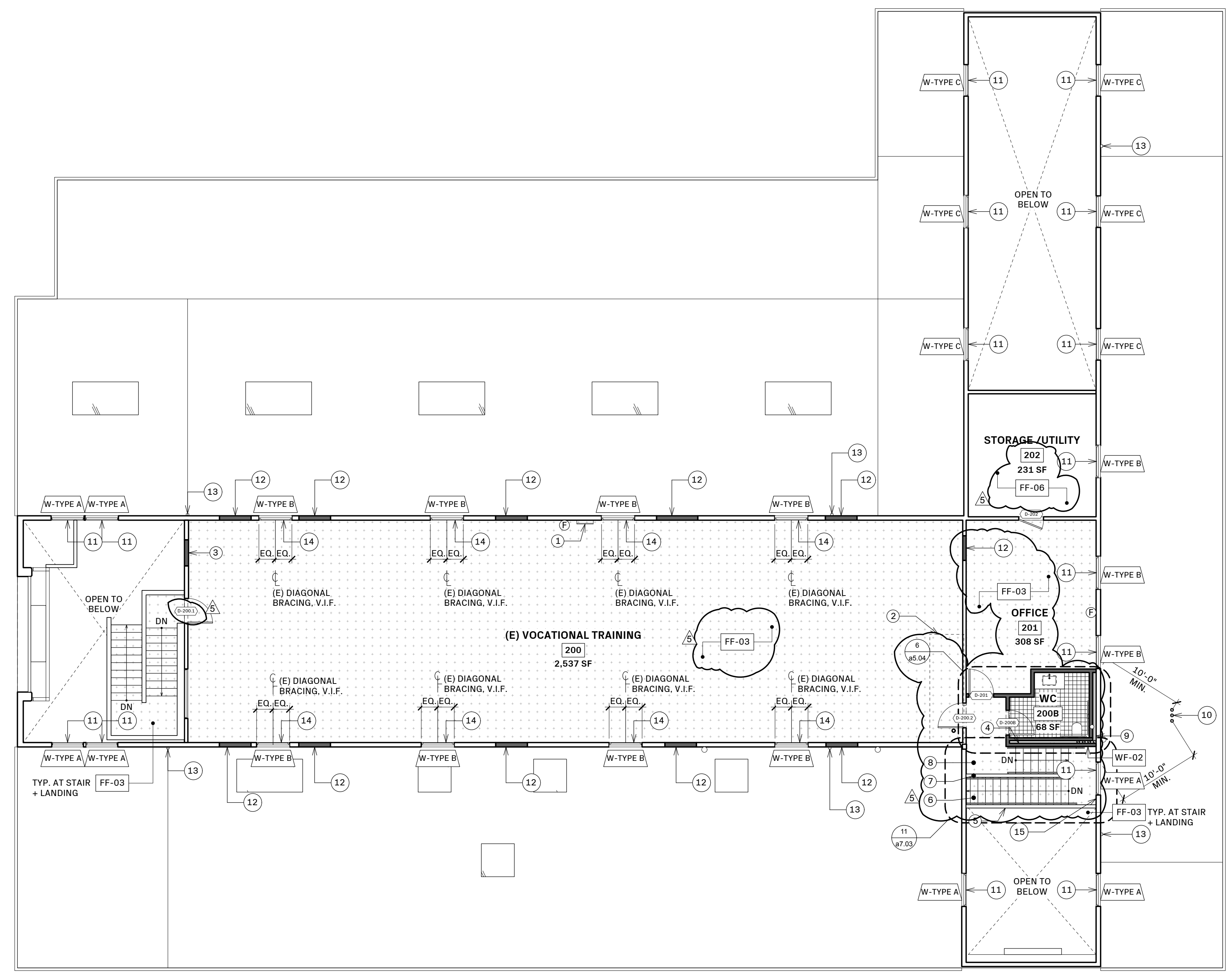
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PROPOSED SECOND FLOOR PLAN

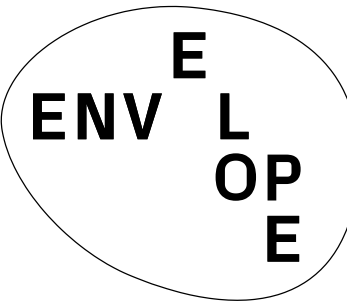
Sheet Number:

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WINDOW SCHEDULE

NO.	ROOM	LOCATION	QUANTITY	TYPE	WIDTH	HEIGHT	MANUFACTURER	MODEL	INTERIOR FINISH	EXTERIOR FINISH	GLAZING TYPE	HARDWARE GROUP	RATING	NOTES
W-TYPE A	100, 116A	ENTRY, OFFICE / ENTRY / STAIR	7	FIXED	4'-0"	4'-0"	ALL WEATHER	5000 SERIES ALUMINUM	DARK BRONZE ANODIZED	DARK BRONZE ANODIZED	TBD	TBD	0.30 U-FACTOR OR LOWER	(N) INSULATED WINDOW AT (E) LOCATION
W-TYPE B	200, 204, 205	VOCATIONAL TRAINING, OFFICE, STORAGE	11	HOPPER	4'-0"	4'-0"	ALL WEATHER	5000 SERIES ALUMINUM	DARK BRONZE ANODIZED	DARK BRONZE ANODIZED	TBD	TBD	0.30 U-FACTOR OR LOWER	(N) INSULATED + OPERABLE WINDOW AT (E) LOCATION
W-TYPE C	105A	VOCATIONAL TRAINING	6	AWNING (MOTORIZED)	3'-8"	3'-8"	ALL WEATHER	5000 SERIES ALUMINUM	DARK BRONZE ANODIZED	DARK BRONZE ANODIZED	TBD	TBD	0.30 U-FACTOR OR LOWER	(N) INSULATED + ELECTRONICALLY OPERABLE WINDOW AT (E) LOCATION



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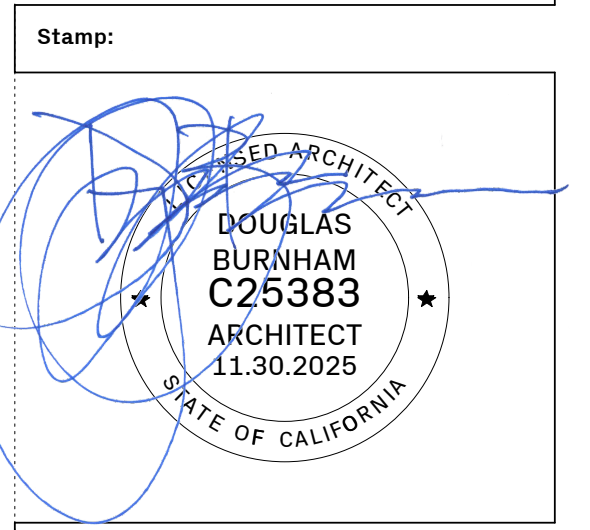
DEMOLITION LEGEND:

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) CASEWORK/EQUIPMENT TO BE DEMOLISHED
	(E) TILE FLOOR / PAVERS TO BE DEMOLISHED
	(E) CARPET FLOOR TO BE DEMOLISHED
	(E) FLOOR / CEILING TO BE DEMOLISHED

- SHEET NOTES**
1. REMOVE (E) LIGHTING FIXTURES
 2. REMOVE (E) FANS
 3. REMOVE (E) CEILING HUNG MECH. UNIT
 4. DEMOLISH (E) FLOOR / CEILING ASSEMBLY IN THIS ZONE
 5. DEMOLISH WOOD CEILING ABOVE
 6. REMOVE (E) SKYLIGHT
 7. DEMOLISH (E) CEILING FINISH ABOVE
 8. REMOVE (E) ROLL-UP DOOR

EXISTING ELECTRICAL LEGEND:

	(E) PENDANT LIGHT FIXTURE
	(E) PENDANT LIGHT FIXTURE
	(E) LED 4' TRACK + LIGHT FIXTURES
	(E) PENDANT LIGHT FIXTURE
	(E) POWER POINT



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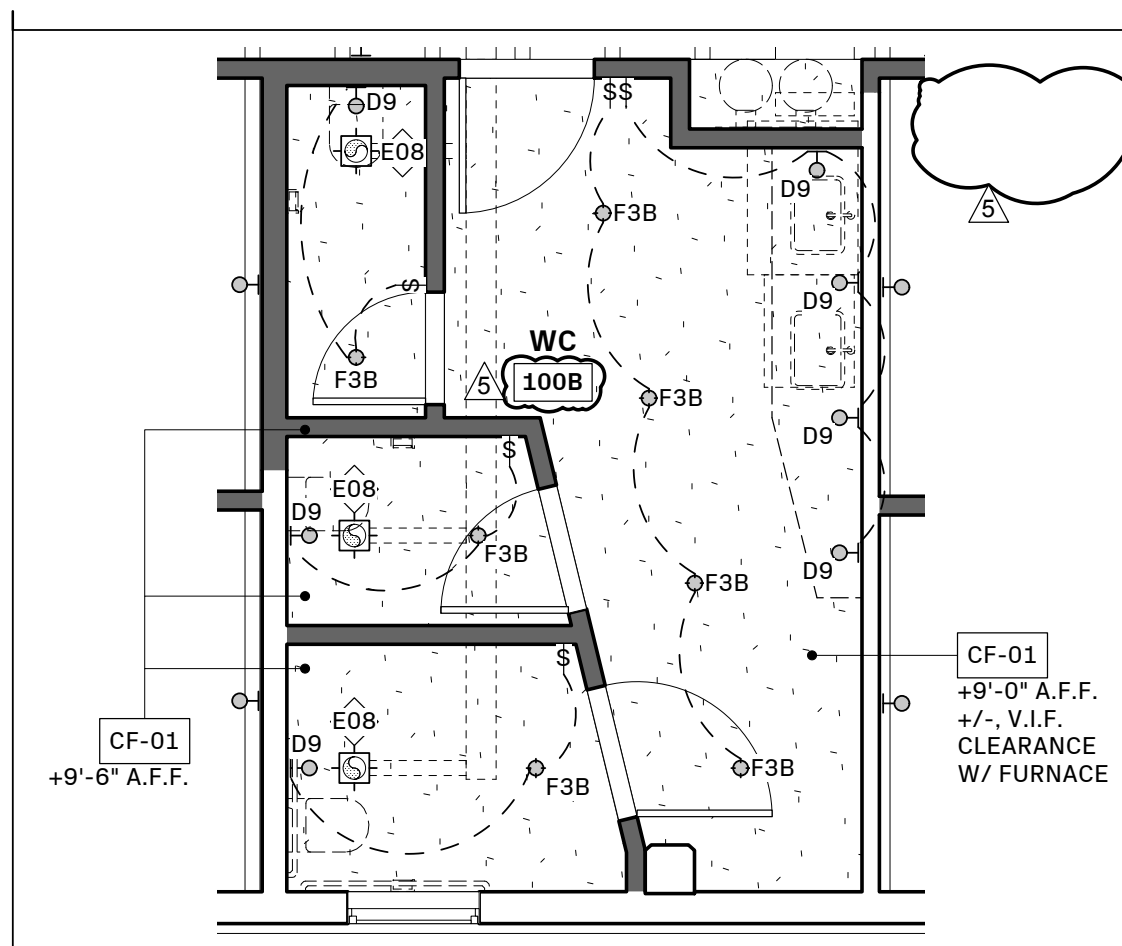
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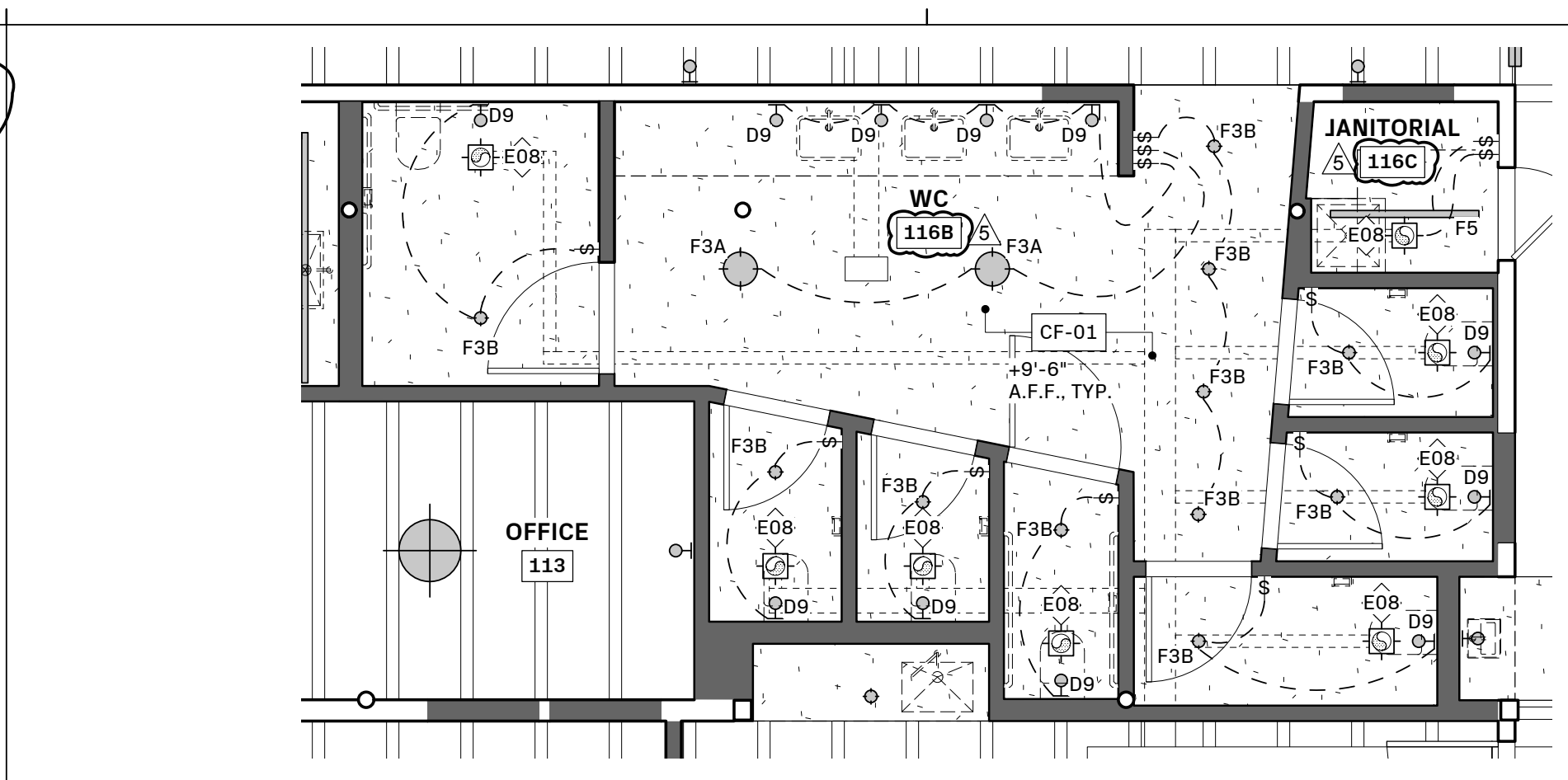
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 EXISTING/DEMO GROUND FLOOR - REFLECTED CEILING PLAN

Sheet Number:

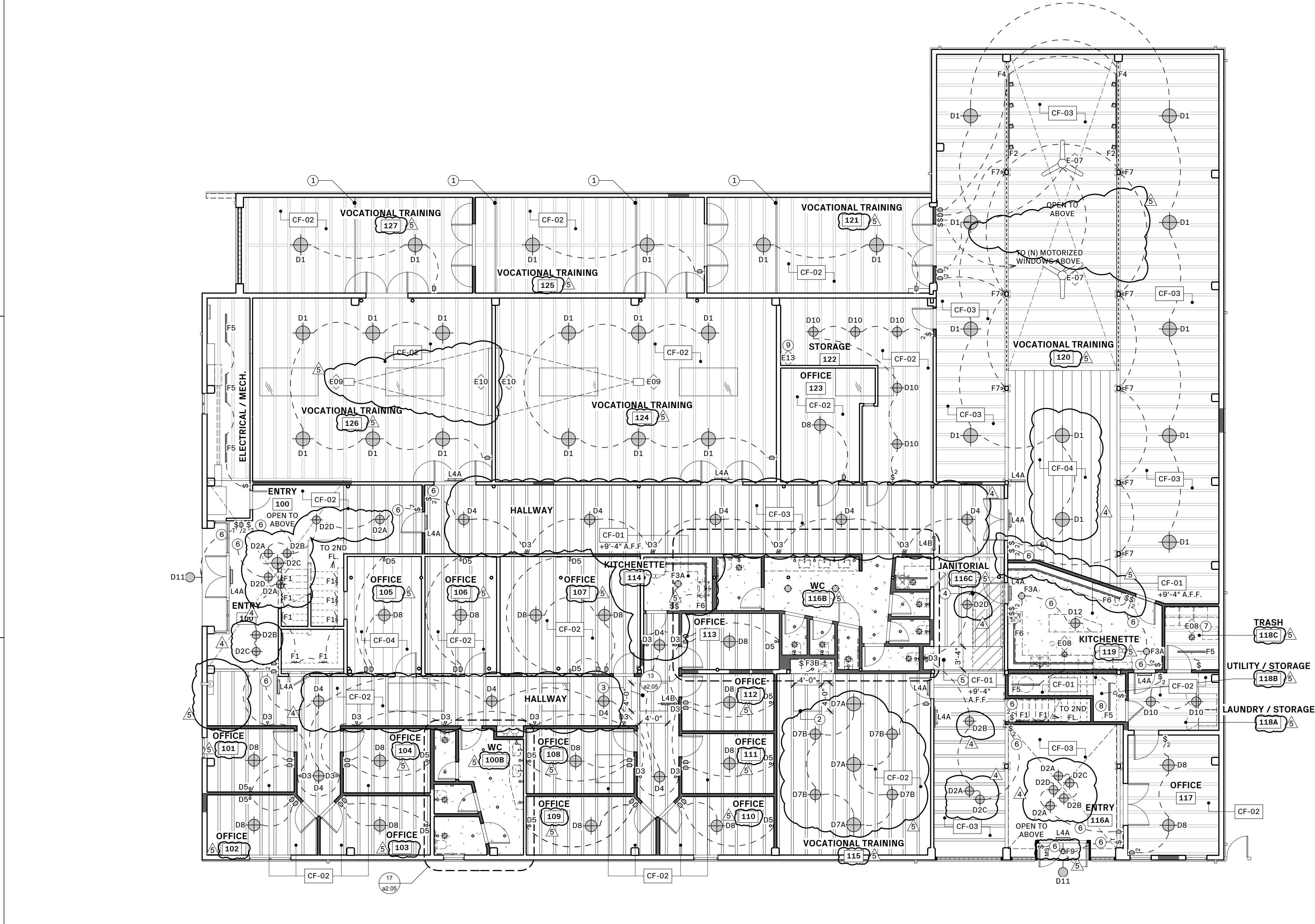
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17 ENLARGED REFLECTED CEILING PLAN: WC 100B
1/4" = 1'-0"



13 ENLARGED REFLECTED CEILING PLAN: WC 116B
1/4" = 1'-0"

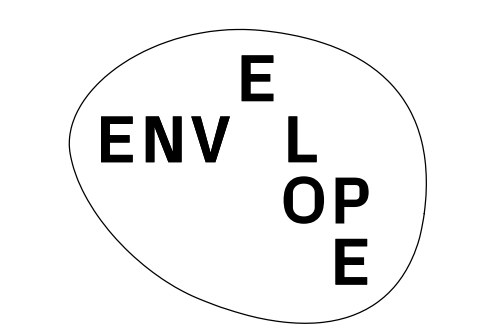


20 PROPOSED REFLECTED CEILING PLAN: GROUND LEVEL
1/8" = 1'-0"

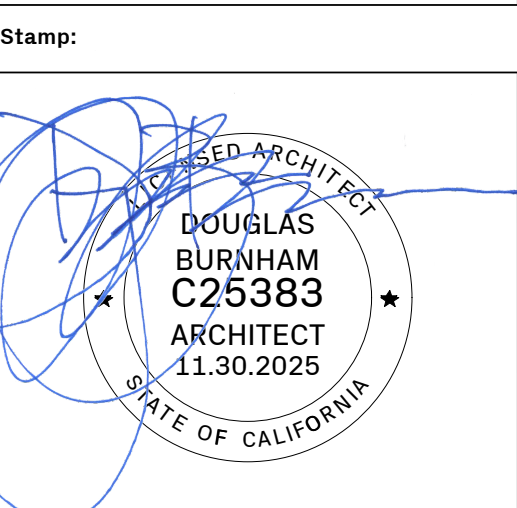
- SHEET NOTES**
- (E) STRUCTURAL BRACE TO REMAIN
 - (N) SKYLIGHT IN REFRAMED OPENING
 - (N) SKYLIGHT IN (N) OPENING
 - (N) INFILL UPPER LEVEL FLOOR ASSEMBLY AT DEMOLISHED STAIR
 - (N) SOFFIT FOR PIPES + DUCTS
 - CONNECT CIRCUIT TO EMERGENCY BACKUP POWER (EMERGENCY EGRESS LIGHTING)
 - DEDICATED EXHAUST FAN IN ROOM 116B IS TO HAVE CONSTANT OPERATION
 - (N) 1-HOUR FIRE RATED CEILING UNDER STAIR
 - (N) WIFI CONNECTED ASSISTIVE LISTENING SYSTEM W/ (3) PORTABLE RECEIVERS

- REFLECTED CEILING PLAN NOTES:**
- CONTRACTOR SHALL VERIFY COMPATIBILITY OF ALL ARCHITECTURAL MOUNTING CONDITIONS WITH LIGHTING FIXTURE AND HARDWARE ACCESSORIES. G.C. SHALL COORDINATE THE LOCATION OF ALL CEILING HEIGHTS AND CEILING ELEMENTS AGAINST ACTUAL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING.
 - ALL RECEPTALS TO BE +12" FROM CENTER LINE OF BOX TO F.F., U.O.N.
 - ALL (N) SWITCHES TO BE AT +48" FROM CENTER LINE OF BOX TO F.F., U.O.N.
 - WHERE NO NEW FIXTURES ARE SHOWN, ASSUME (E) FIXTURES REMAIN
 - USE EXISTING LIGHTING GRID POWER POINTS TO INSTALL (N) FIXTURES WHERE POSSIBLE.
 - ALL EXISTING CEILINGS AND SOFFITS THAT WILL REMAIN ARE TO BE PATCHED AND PAINTED, U.O.N.
 - COORDINATE ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS IN GYP BOARD CEILINGS TO BE FIBERGLASS OR PAINTED METAL.
 - FIRE SPRINKLER HEADS ARE TO BE RECONFIGURED AS NECESSARY TO ENSURE CODE COMPLIANT COVERAGE (UNDER SEPARATE PERMIT).
 - INTERLOCK BATHROOM LIGHT FIXTURES AND EXHAUST FANS

- REFLECTED CEILING PLAN LEGEND:**
- (N) 1/2" DRYWALL CEILING
 - (E) WOOD SLAT CEILING TO REMAIN
 - (N) SURFACE MOUNTED LIGHT FIXTURE
 - (N) PENDANT LIGHT FIXTURE
 - (N) RECESSED LIGHT FIXTURE
 - (N) WALL MOUNTED LIGHT FIXTURE
 - (N) CEILING MOUNTED LINEAR LIGHT FIXTURE
 - (N) CEILING EXHAUST FAN
 - (N) WALL MOUNTED EXIT SIGN: SINGLE SIDE
 - (N) WALL MOUNTED EXIT SIGN: DOUBLE SIDE
 - SWITCH
 - 2-WAY SWITCH
 - DIMMER SWITCH
 - 2-WAY DIMMER SWITCH
 - DOOR ACTIVATED SWITCH
 - MOTION SENSOR SWITCH
 - TIMER SWITCH



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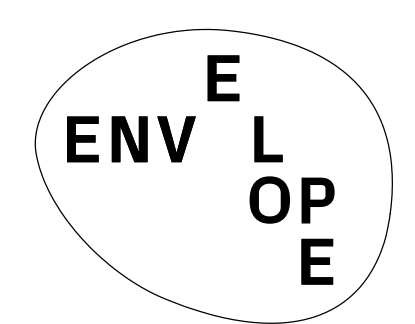
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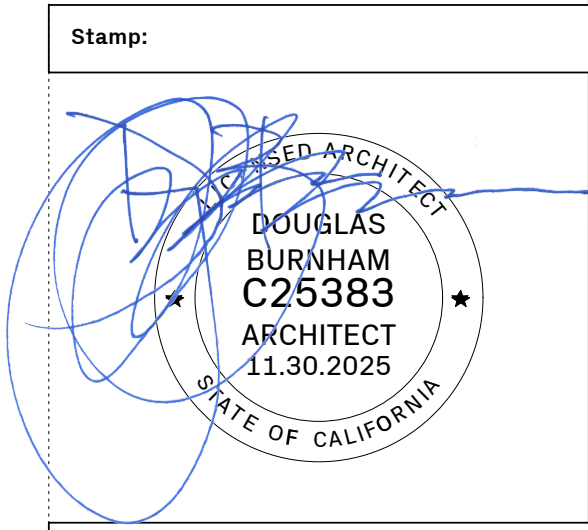
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 PROPOSED SECOND FLOOR - REFLECTED CEILING PLAN

Sheet Number:
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Page Number: 17 OF 29

SHEET NOTES

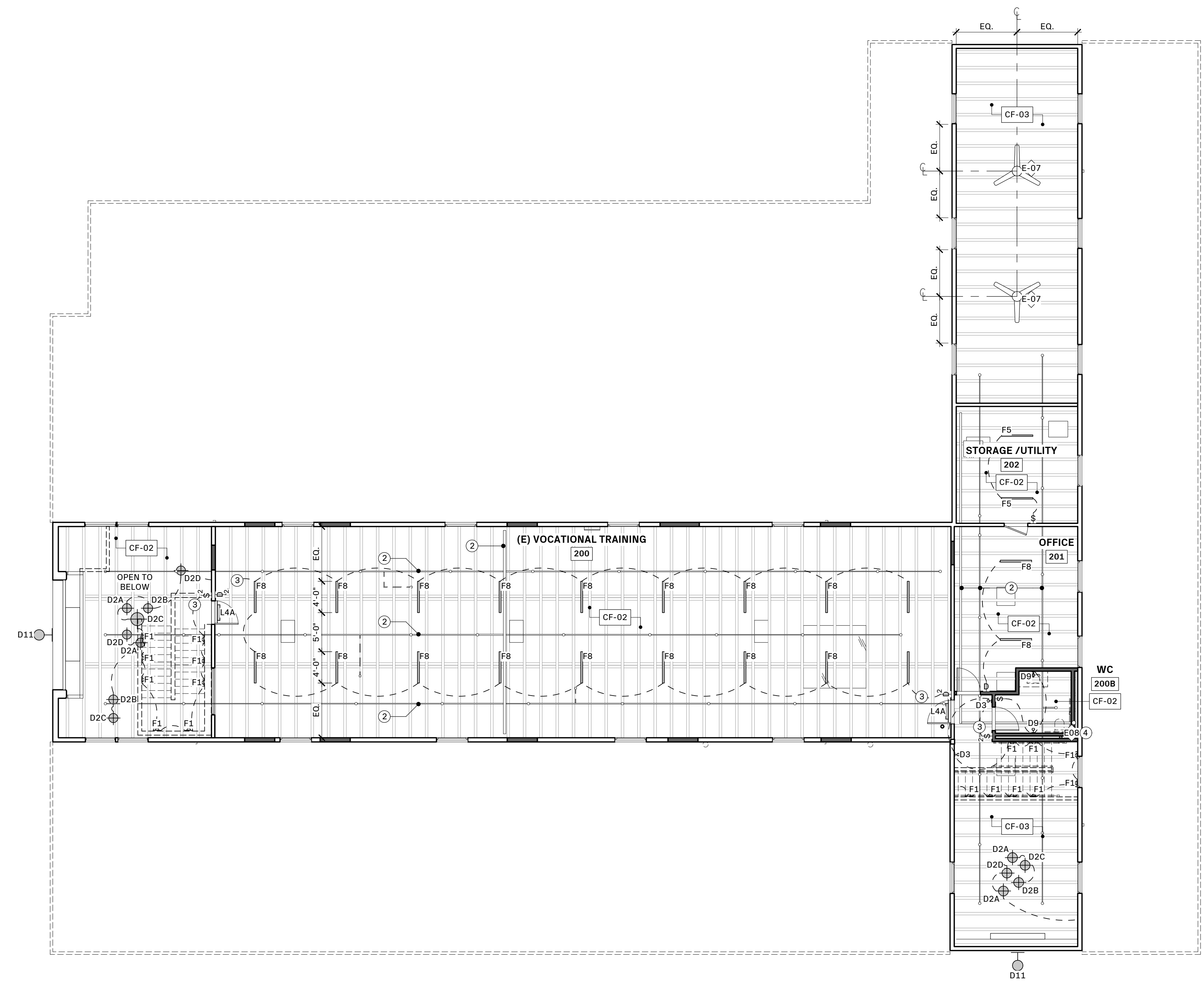
- NOT USED
- (E) / (N) FIRE SPRINKLER SYSTEM, SEE SHOP DRAWINGS, PAINT TO MATCH ADJACENT CEILING / WALL, TYP.
- CONNECT CIRCUIT TO EMERGENCY BACKUP POWER (EMERGENCY EGRESS LIGHTING)
- WALL MOUNTED VENTILATION FAN

REFLECTED CEILING PLAN NOTES:

- CONTRACTOR SHALL VERIFY COMPATABILITY OF ALL ARCHITECTURAL MOUNTING CONDITIONS WITH LIGHTING FIXTURE AND HARDWARE ACCESSORIES. G.C. SHALL COORDINATE THE LOCATION OF ALL CEILING HEIGHTS AND CEILING ELEMENTS AGAINST ACTUAL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING.
- ALL RECEPTICALS TO BE +12" FROM CENTER LINE OF BOX TO F.F., U.O.N.
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- WHERE NO NEW FIXTURES ARE SHOWN, ASSUME (E) FIXTURES REMAIN
- USE EXISTING LIGHTING GRID POWER POINTS TO INSTALL (N) FIXTURES WHERE POSSIBLE.
- ALL EXISTING CEILINGS AND SOFFITS THAT WILL REMAIN ARE TO BE PATCHED AND PAINTED, U.O.N.
- COORDINATE ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS IN GYP BOARD CEILINGS TO BE FIBERGLASS OR PAINTED METAL.
- FIRE SPRINKLER HEADS ARE TO BE RECONFIGURED AS NECESSARY TO ENSURE CODE COMPLIANT COVERAGE (UNDER SEPARATE PERMIT).
- INTERLOCK BATHROOM LIGHT FIXTURES AND EXHAUST FANS

REFLECTED CEILING PLAN LEGEND:

- (N) 1/2" DRYWALL CEILING
- (E) WOOD SLAT CEILING TO REMAIN
- (N) SURFACE MOUNTED LIGHT FIXTURE
- (N) PENDANT LIGHT FIXTURE
- (N) RECESSED LIGHT FIXTURE
- (N) WALL MOUNTED LIGHT FIXTURE
- (N) CEILING MOUNTED LINEAR LIGHT FIXTURE
- (N) CEILING EXHAUST FAN
- (N) WALL MOUNTED EXIT SIGN: SINGLE SIDE
- (N) WALL MOUNTED EXIT SIGN: DOUBLE SIDE
- SWITCH
- 2-WAY SWITCH
- DIMMER SWITCH
- 2-WAY DIMMER SWITCH
- DOOR ACTIVATED SWITCH
- MOTION SENSOR SWITCH
- TIMER SWITCH



SHEET LEGEND:

	(E) WALL TO REMAIN
	(N) WALL
	(N) TILE FLOOR FINISH
	(N) CARPET FLOOR FINISH
	CONCRETE FLOOR FINISH
	PORTABLE FIRE EXTINGUISHER CABINET (MAX. TRAVEL DISTANCE BETWEEN CABINETS = 75 FT.)

SHEET NOTES

1. (N) DOWNSPOUT

PROPOSED NOTES

A. PROVIDE INSTALLED ROOFING SYSTEM THAT REMAINS WATERTIGHT, RESISTS SPECIFIED UPLIFT PRESSURES AND EXPOSURE TO NORMAL WEATHERING CONDITIONS WITHOUT FAILURE.

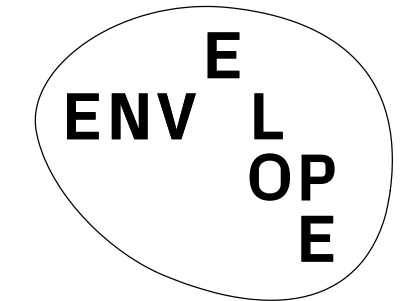
B. REPLACE ANY ROOF FRAMING MEMBERS THAT ARE SUBJECT TO ADVANCED DRY ROT.

C. INSTALL GUTTERS AND DOWNSPOUTS. FINAL DOWNSPOUT LOCATIONS TO BE DETERMINED AND VERIFIED BY ARCHITECT PRIOR TO INSTALL. COLOR OF ALL FLASHING, GUTTERS, AND DOWNSPOUTS TO MATCH BUILDING FACADE COLOR, VERIFY WITH ARCHITECT PRIOR TO PAINTING.

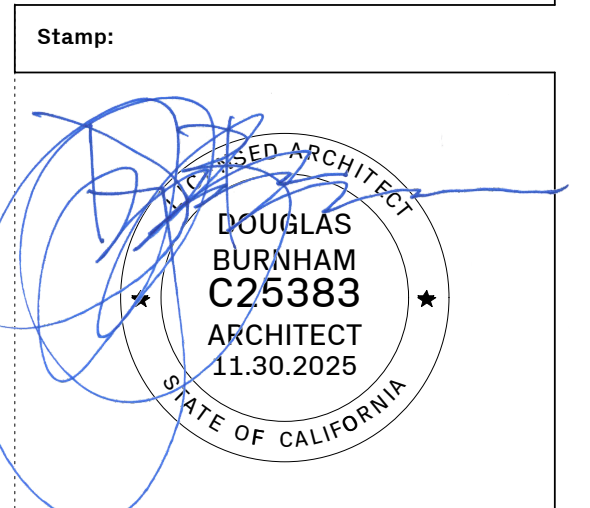
D. INCLUDE REMOVAL AND SEALING OF ANY ROOF PENETRATIONS THAT ARE NO LONGER NEEDED.

E. PROVIDE ANY NEW PENETRATIONS (TO ACCOMMODATE COMPONENTS LIKE PLUMBING VENTS, CHIMNEYS, SKYLIGHTS, HVAC SYSTEMS, EXHAUST VENTS, ETC.) AS NEEDED, INCLUDING ALL NECESSARY FLASHING AND SEALANT TO ENSURE A WATERTIGHT ROOF.

F. REPLACE ANY ROOF FRAMING MEMBERS THAT ARE SUBJECT TO ADVANCED DRY ROT ON LOWER PORTIONS OF THE ROOF. IT IS UNDERSTOOD THAT THE LOWER PORTIONS OF ROOF ALONG THE EAST AND WEST SIDES OF THE UPPER STORY HAVE NOT YET BEEN DEMOLISHED, AND THEREFORE THE EXTENT OF DRY ROT IN THESE AREAS IS NOT DEFINED.



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PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

Sheet Information:

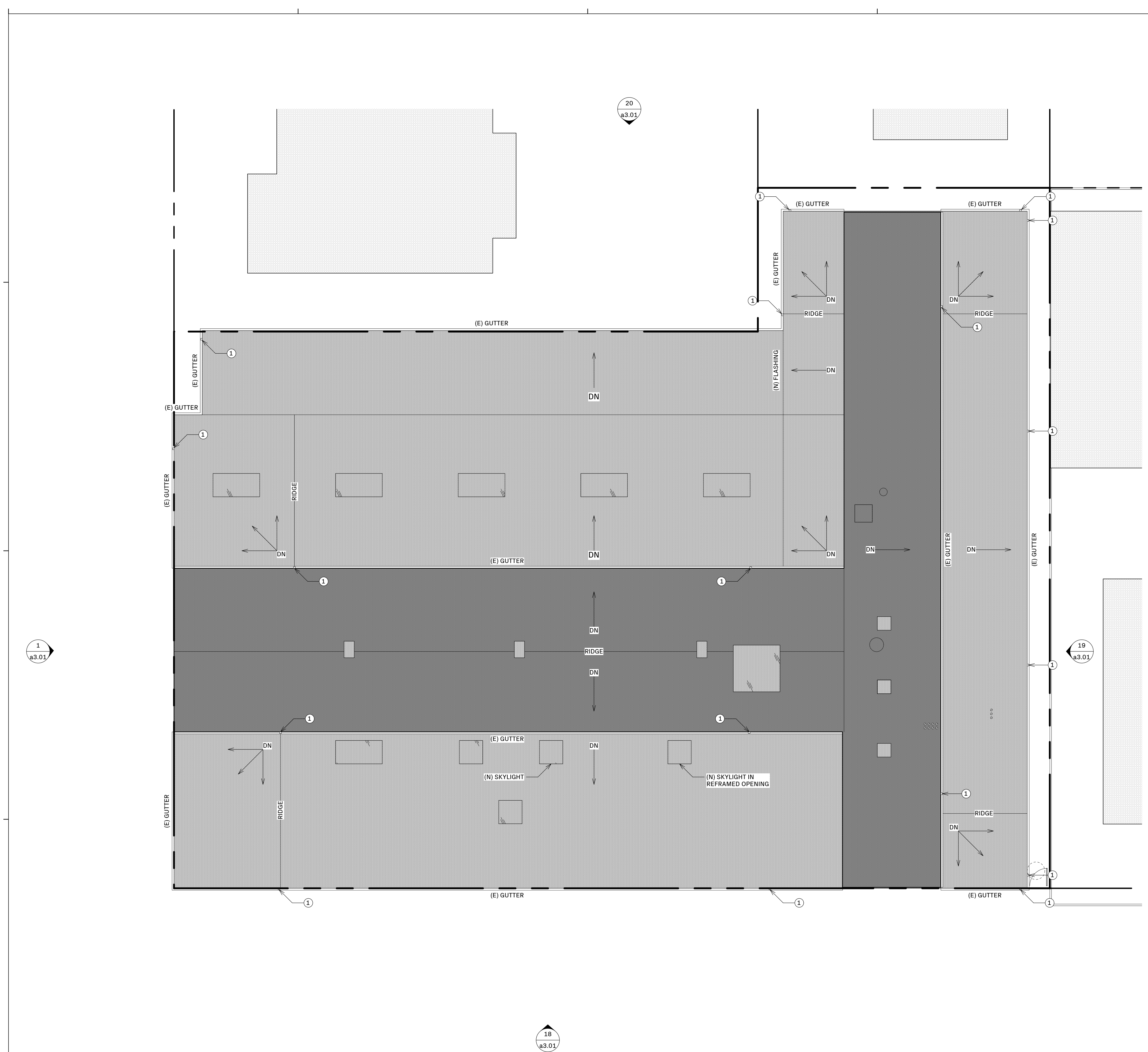
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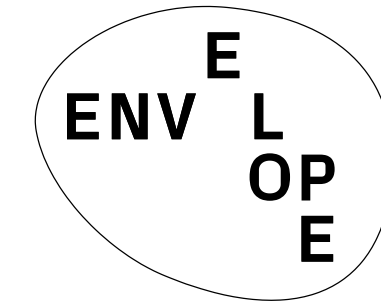
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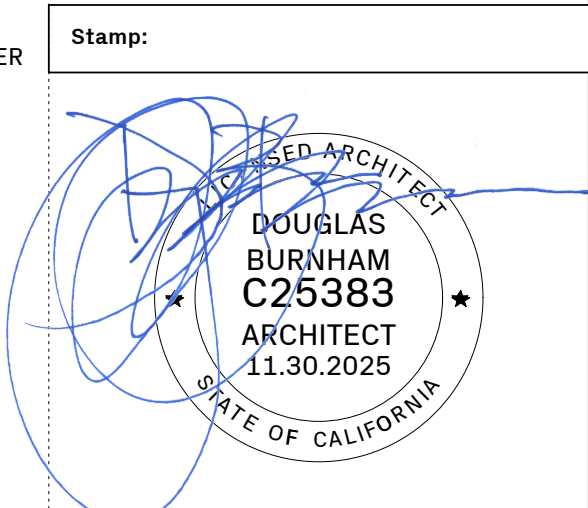
Page Number: 18 OF 29



20 PROPOSED ROOF PLAN
 1/8" = 1'-0"

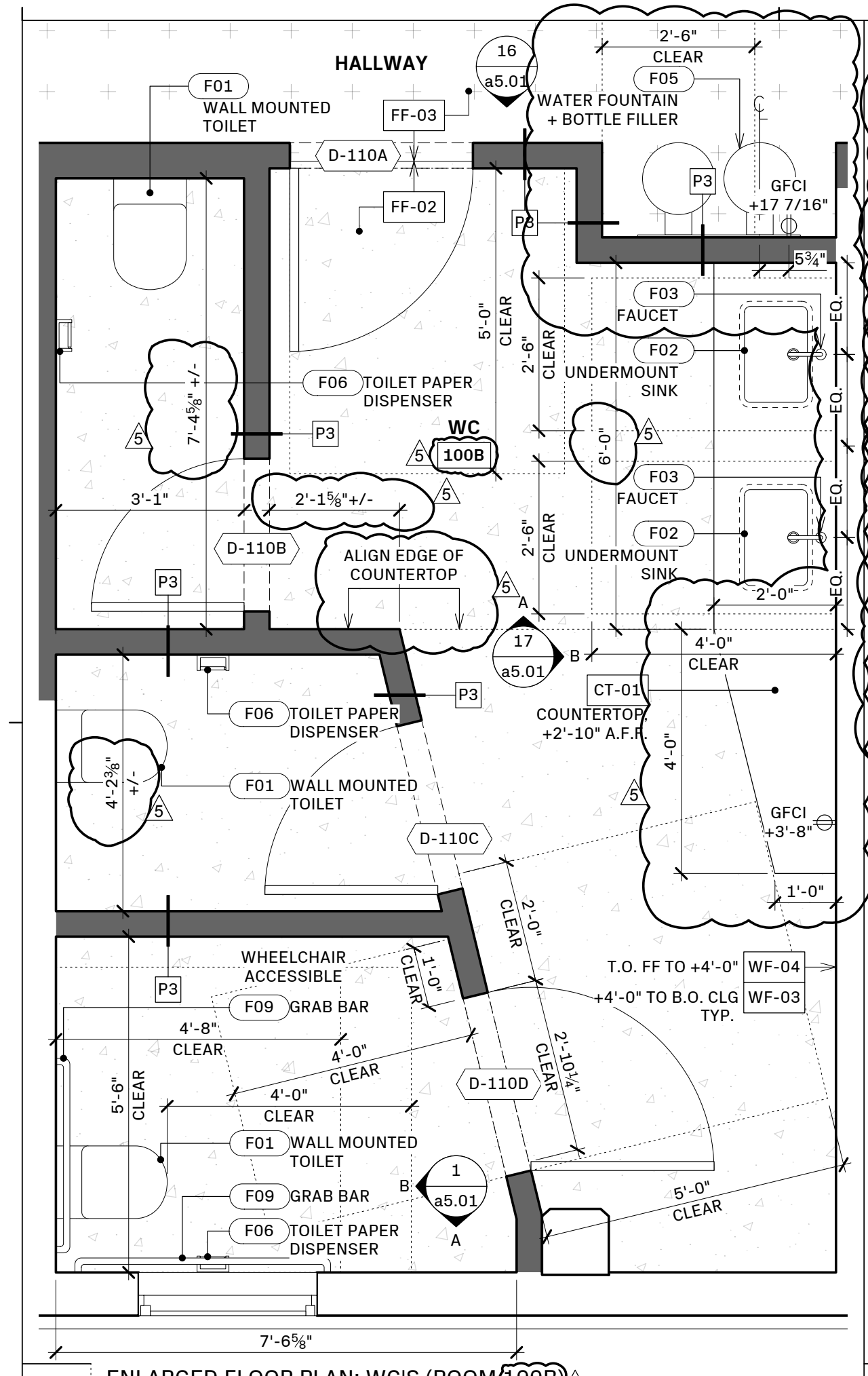


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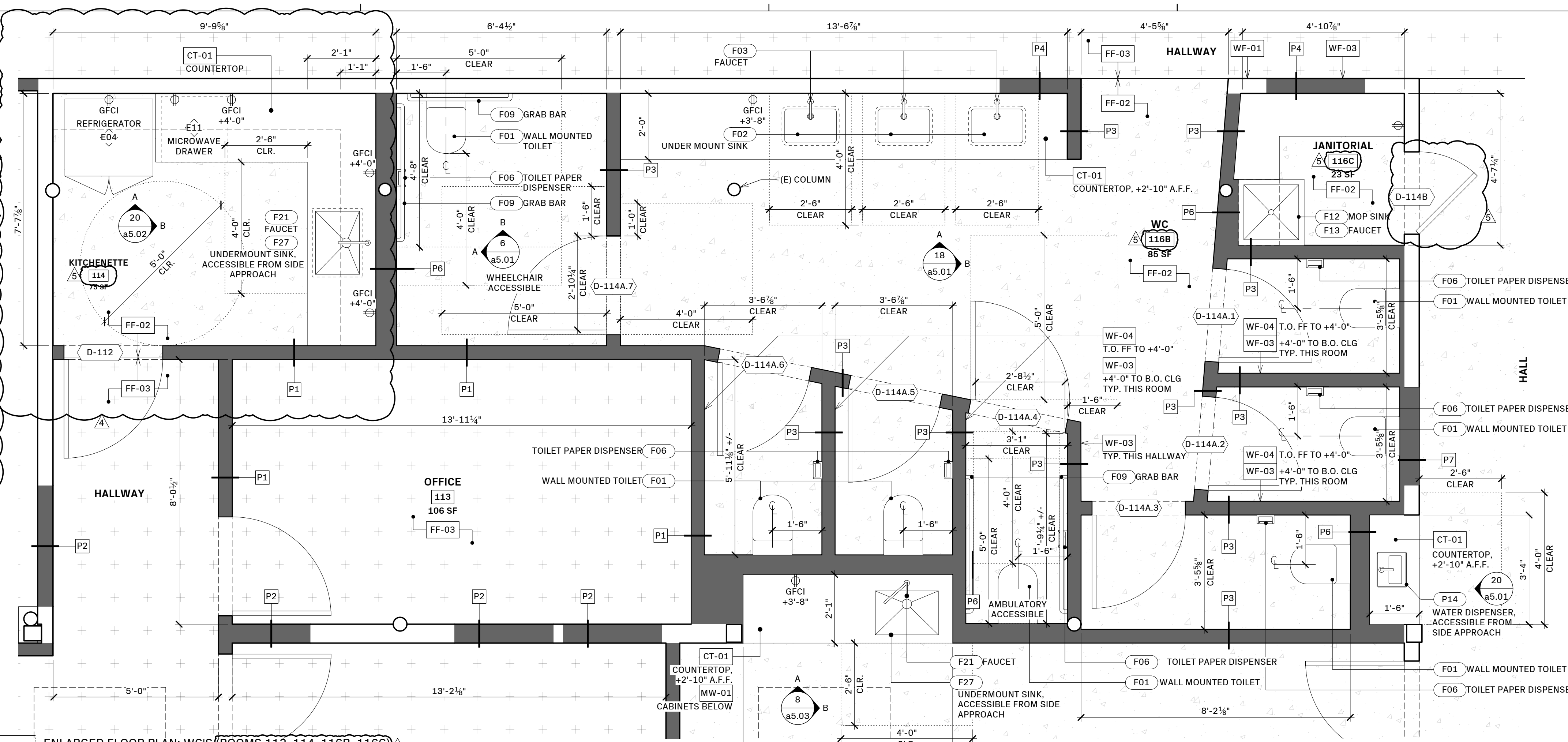


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18 ENLARGED FLOOR PLAN: WC'S (ROOM 100B)
1/2" = 1'-0"



14 ENLARGED FLOOR PLAN: WC'S (ROOMS 113, 114, 116B, 116C)
1/2" = 1'-0"

SHEET LEGEND:

(E) WALL TO REMAIN
(N) WALL
(N) TILE FLOOR FINISH
(N) CARPET FLOOR FINISH
CONCRETE FLOOR FINISH
(F) PORTABLE FIRE EXTINGUISHER CABINET (MAX. TRAVEL DISTANCE BETWEEN CABINETS = 75 FT.)

19 LEGEND + NOTES

PLUMBING FIXTURE TABLE

* Per CPC Table 422.1

OCCUPANCY	OCCUPANT LOAD	WC	LAVATORIES	URINALS	DRINKING FOUNTAIN	SERVICE SINK / LAUNDRY TRAY
GROUP B	100 MALE + 100 FEMALE = 200 TOTAL					
TOTAL REQUIRED *		2 MALE + 4 FEMALE = 6 TOTAL	2 MALE + 2 FEMALE = 4 TOTAL	1	1	1
TOTAL PROVIDED		11	6	0 (SUBSTITUTE WC)	2	1
TOTAL PROVIDED ACCESSIBLE + GENDER NEUTRAL		2 WHEELCHAIR + 1 AMBULATORY = 3 TOTAL	5			
TOTAL PROVIDED NON ACCESSIBLE + GENDER NEUTRAL		8	1			

20 PLUMBING FIXTURE TABLE

PLUMBING FIXTURE SCHEDULE

NO.	ROOM	ITEM	MANUFACTURER	MODEL	STYLE	FINISH	SIZE	QTY.	NOTES
F01.1	WC 100B, WC 116B, 200B	TOILET	KOHLER	K-3159	WALL MOUNT	WHITE	15 3/16" W x 21 13/16" D x 13 1/16" H	11	ADA COMPLIANT, 1.28 GALLONS PER FLUSH
F01.2	WC 100B, WC 116B, 200B	IN-WALL TANK + CARRIER	KOHLER	K-28829	IN-WALL		20 1/2" W x 3 3/16" D x 45 1/16" H	11	1.28 GALLONS PER FLUSH MAX.
F01.3	WC 100B, WC 116B, 200B	FLUSH ACTUATOR PLATE	KOHLER	K-23251-F	WALL MOUNT	WHITE	8 7/8" W x 6 5/16" H	11	DUAL FLUSH
F01.4	WC 100B, WC 116B, 200B	TOILET SEAT	KOHLER	K-4670-C	ELONGATED, OPEN FRONT	WHITE	14 5/16" W x 19 1/8" D	11	
F01.5	WC 100B, WC 116B, 200B	PNEUMATIC CONVERSION KIT	KOHLER	K-8108			4 1/2" W x 3" D x 15 13/16" H	11	
F02.1	WC 100B, WC 116B	SINK	KOHLER	K-2214-G-0	UNDER MOUNT	WHITE	20 7/8" L x 14 3/8" W x 8 1/8" H	6	ADA COMPLIANT
F02.2	WC 100B, WC 116B	DRAIN	T.B.D.					6	
F02.3	WC 100B, WC 116B	DRAIN TRAP	T.B.D.					6	
F03	WC 100B, WC 116B, 200B	FAUCET	DELTA	559LF-HGM-PP	DECK MOUNT, SINGLE HOLE	CHROME	1 11/16" W x 4 13/16" D x 5 7/8" H	6	ADA COMPLIANT, 0.5 GALLONS PER MINUTE AT 60 PSI
F04	NOT USED								
F05	HALLWAY	WATER FOUNTAIN	HAWS	1011MS	WALL MOUNT, DUAL HEIGHT	STAINLESS STEEL	32" W x 18 5/8" D x 25 3/4" H	1	ADA COMPLIANT
F06	WC 100B, WC 116B, 200B	TOILET PAPER HOLDER	KOHLER	K-29224	WALL MOUNT	POLISHED CHROME	11 13/16" L x 4 5/16" W x 2 7/8" H	11	
F07	WC 100B, WC 116B, 200B	PAPER TOWEL DISPENSER	BOBRICK	B-2620	WALL MOUNT	SATIN STAINLESS STEEL	10 3/4" W x 4" D x 4" H	3	ADA COMPLIANT
F08	WC 100B, WC 116B, 200B	HAND SOAP DISPENSER	TBD						
F09	WC 100B, WC 116B, 200B	GRAB BAR SET	WINGITS	STANDARD - WGB5		KNURLED SATIN S/S	1 1/4" DIA.	4 SET	REFER TO DRAWINGS FOR LENGTHS WALL MOUNT: (1) 36" + (1) 42"
F10	NOT USED								
F11	WC 100B, WC 116B, 200B	WALL SUPPLY STOPS	DELTA	DT022201	ANGLE	CHROME	7 11/16" D x 2 3/4" H	21	
F12	JANITORIAL 116C	MOP SINK	REGENCY	#600SM24246	FLOOR MOUNT	STAINLESS STEEL	24" W x 24" D x 6" H	1	
F13	JANITORIAL 116C	FAUCET	T&S	B-0665-BSTR	WALL MOUNT	CHROME	12 5/8" W x 9 1/8" D x 14 5/16" H	1	PROVIDE WALL BACKING FOR PAIL HOOK WALL BRACE
F14	HALLWAY	WATER TAP	REGENCY	600GFWS41012	DECK MOUNT	STAINLESS STEEL	13" L x 11" W x 12" H	1	1.2 GPM

12 PLUMBING FIXTURE SCHEDULE: WC

Project Name:

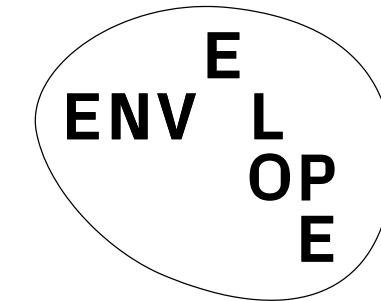
VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

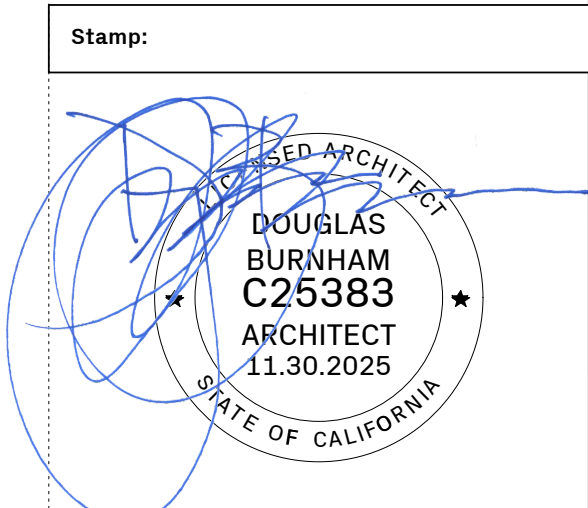
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Sheet Name:
ENLARGED PLAN: WC
Sheet Number:

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VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

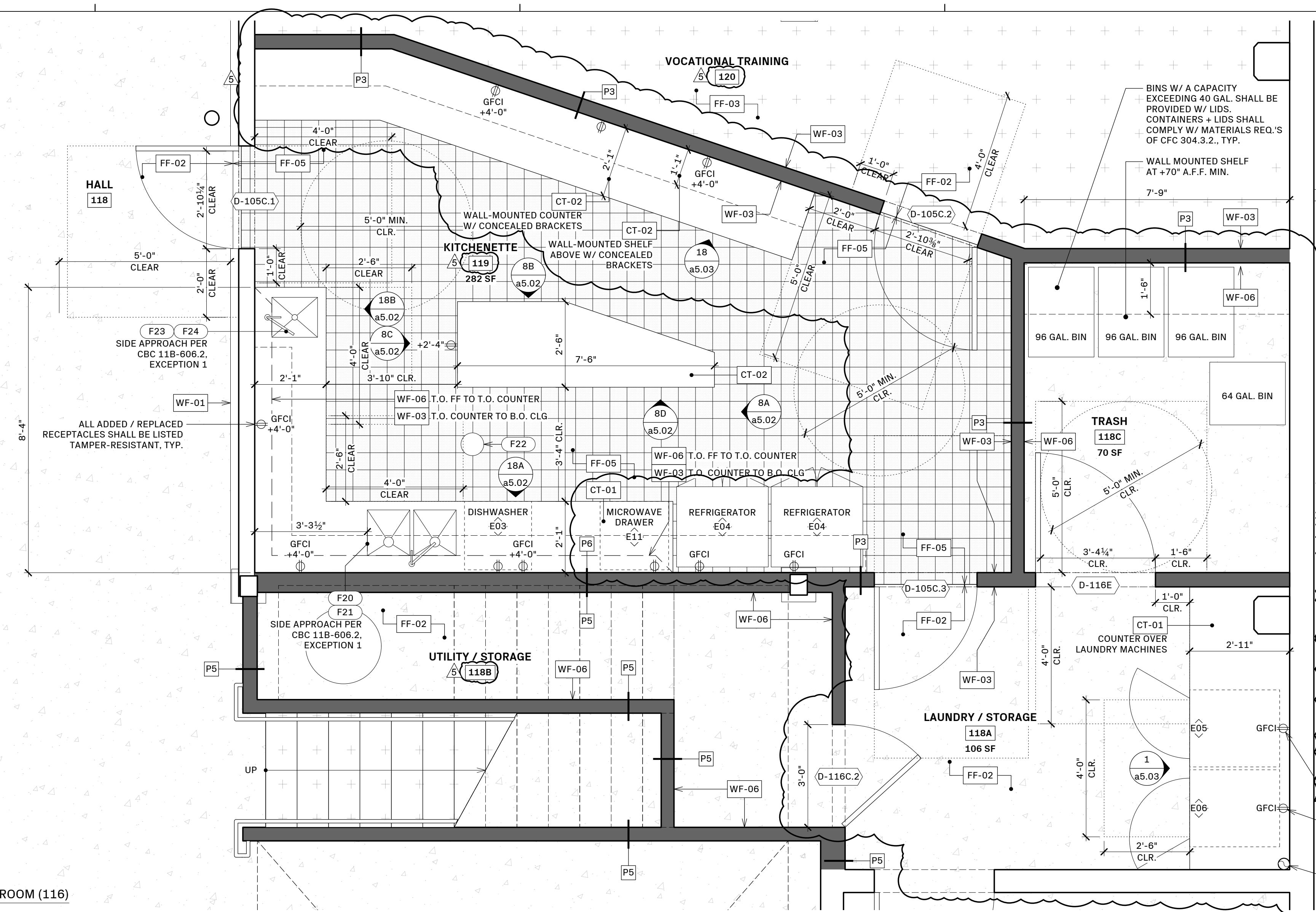
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ENLARGED PLAN: KITCHENETTE

Sheet Number:

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CODE NOTES

- PER 2024 CA RETAIL FOOD CODE, THIS KITCHEN DOES NOT QUALIFY AS A "FOOD FACILITY" AS IT PROVIDES FOOD TO ITS MEMBERS AND GUESTS, AND NOT TO THE GENERAL PUBLIC, AT AN EVENT THAT OCCURS NOT MORE THAN THREE DAYS IN ANY 90-DAY PERIOD
- ROOM 105C WILL SERVE AS A SERVICE / PREP KITCHEN ONLY. OTHER THAN A MICROWAVE, NO COOKTOP, STOVE, RANGE, OVEN, EXHAUST HOODS, NOR OTHER COOKING EQUIPMENT ARE REQUIRED.

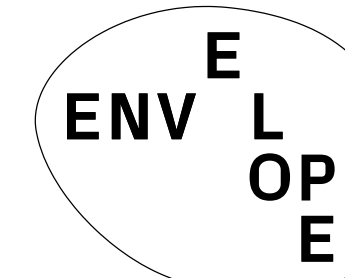
POWER FOR LAUNDRY EQUIPMENT, SEE INSTALLATION INSTRUCTIONS + ELEC. DRAWINGS
DRYER EXHAUST DUCT IN WALL TO LOWER ROOF ABOVE. SEE MECH. DRAWINGS

19 ENLARGED FLOOR PLAN: KITCHENETTE (105C) + ROOM (116)
1/2" = 1'-0"

NO.	LOCATION	ROOM	QTY.	ITEM	MANUFACTURER	MODEL	SIZE (WxDxH)	VOLTS/CYCLE	AMPS/WATTS	DIRECT/PLUG	NOTES
E01	WC/HALL	114	1	HOT WATER HEATER							REFER TO PLUMBING DRAWINGS
E02	UTILITY / STORAGE	118B	1	HOT WATER HEATER							REFER TO PLUMBING DRAWINGS
E03	KITCHENETTE	119	1	DISHWASHER	BOSCH	300 SERIES - SGE53C55UC	23 9/16" W x 32 1/16" H x 22 9/16" D	120V / 60HZ	12 AMPS / 1440 W	PLUG	
E04	KITCHENETTE, LAUNDRY	114, 119	3	REFRIGERATOR	SAMSUNG	RF18AS101SR	32 1/8" W x 68 7/8" H x 28 1/8" D	115V / 60HZ		PLUG	17.5 CU. FT.
E05	LAUNDRY / STORAGE	118A	1	WASHER	SAMSUNG	WF45T6000AW	27" W x 38 3/4" H x 31 3/8" D	120 V	15 AMPS	PLUG	4.5 CU. FT.
E06	LAUNDRY / STORAGE	118A	1	DRYER	SAMSUNG	DVE45T6000W	27" W x 38 3/4" H x 31 1/2" D	240 V	30 AMPS	PLUG	7.5 CU. FT.
E07	VOCATIONAL TRAINING	120	2	CEILING FAN	HINKLEY	SCULPT 80"	80" DIA. x 15" H	120V	0.47 AMPS	DIRECT	MATTE BLACK W/ WALNUT BLADES. INCLUDE LIGHT KIT COVER
E08	KITCHENETTE, WC, LAUNDRY, STORAGE, TRASH	108B, 116B, 118C, 119	14	CEILING EXHAUST FAN	BROAN/NUTONE	BESB	7 1/4" x 7 1/2" x 5 3/4" D (HOUSING)	120V	0.4 AMPS	DIRECT	80 CFM, HUMIDITY SENSING, ENERGY STAR
E09	VOCATIONAL TRAINING	120, 124, 126	3	PROJECTOR	TBD	TBD					
E10	VOCATIONAL TRAINING	120, 124, 126	3	PROJECTION SCREEN	TBD	TBD					
E11	KITCHENETTE	114, 119	2	MICROWAVE DRAWER	SHARP	SMD2480CS	23.6" W x 23.4" D x 16" H	120V / 60HZ	15 AMPS	PLUG	
E12	NOT USED										
E13	STORAGE	122	1	ASSISTIVE LISTENING SYSTEM	LISTEN TECHNOLOGIES	LW-210-04-01	1.77" x 19.02" x 4.6"	100-240 VAC. 50-60HZ	6.0 AMPS	PLUG	WIFI CONNECTED SYSTEM W/ (3) PORTABLE RECEIVERS

NO.	ROOM	ITEM	MANUFACTURER	MODEL	STYLE	FINISH	SIZE	QTY.	NOTES
F20	KITCHENETTE 119	KITCHEN SINK	BLANCO	SKU 442768	UNDERMOUNT	SATIN POLISH	33" W x 18" D x 9" H	1	
F21	KITCHENETTE 114, KITCHENETTE 119	KITCHEN FAUCET	T&S	B-1123-XS-F12	DECK MOUNT	CHROME	16" W x 5 11/16" D x 10 11/16" H	2	ADA COMPLIANT, 1.2 GALLONS PER MINUTE AT 60 PSI DEFAULT, 2.2 GALLONS PER MINUTE AT 60 PSI MAXIMUM
F22	KITCHENETTE 119	FLOOR DRAIN						1	SEE PLUMBING DRAWINGS
F23	KITCHENETTE 119	KITCHEN HAND SINK	BLANCO	SKU 442767	UNDERMOUNT	SATIN POLISH	16" W x 18" D x 9" H	1	
F24	KITCHENETTE 119	KITCHEN HAND SINK FAUCET	T&S	B-2866-05FC05	DECK MOUNT	CHROME	16" W x 18" D x 9" H	1	ADA COMPLIANT, 0.5 GALLONS PER MINUTE AT 60 PSI DEFAULT
F25	NOT USED								
F26	NOT USED								
F27	KITCHENETTE 119	KITCHEN SINK	BLANCO	SKU 515819	UNDERMOUNT	SATIN POLISH	25" W x 18" D x 10" H	1	

20 PLUMBING FIXTURE + EQUIPMENT SCHEDULE: KITCHEN



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ELEVATION LEGEND:

⌈ — — — ⌋ DEMO

DEMOLITION NOTES

1. REMOVE (E) SECURITY GATE
2. REMOVE (E) WINDOW
3. REMOVE (E) DOOR
4. REMOVE (E) STOREFRONT, INCLUDING DOOR
5. (E) NEIGHBOR'S FENCE
6. REMOVE (E) CONCRETE LANDING
7. (N) OPENING FOR (N) WINDOW
8. EXPAND (E) OPENING FOR (N) WINDOW

Stamp:



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VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

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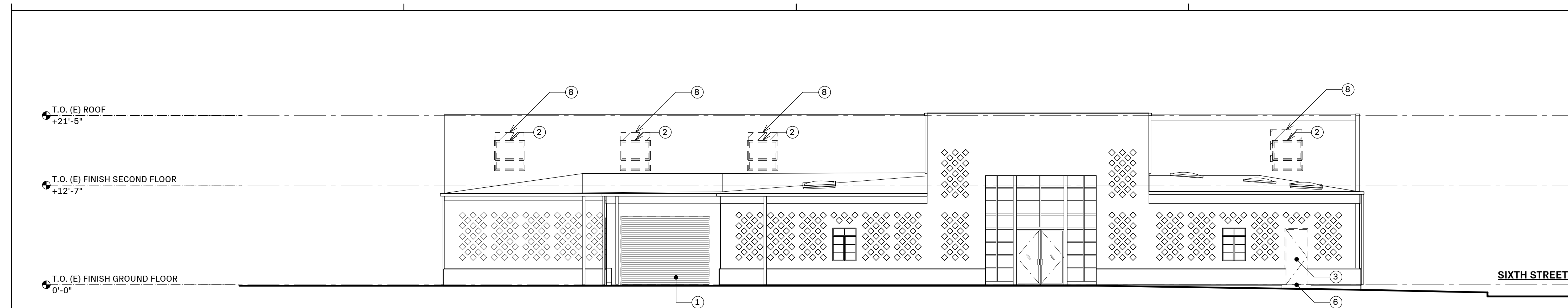
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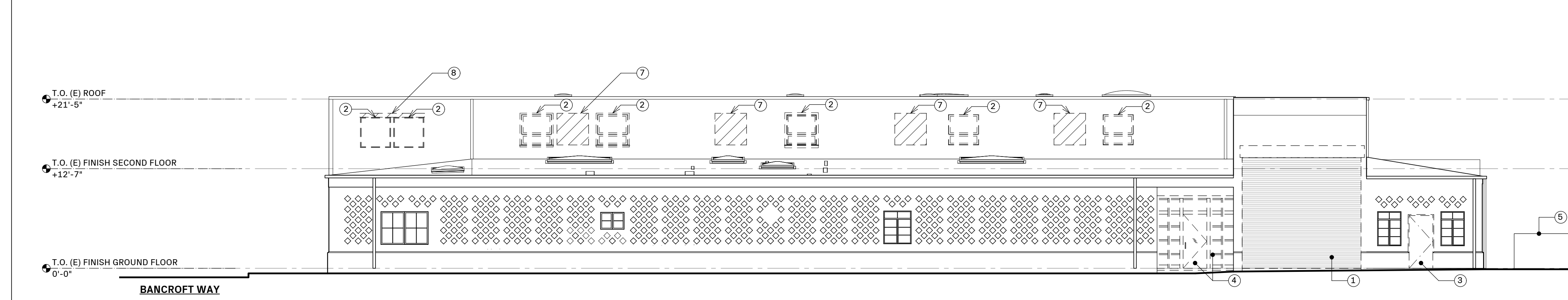
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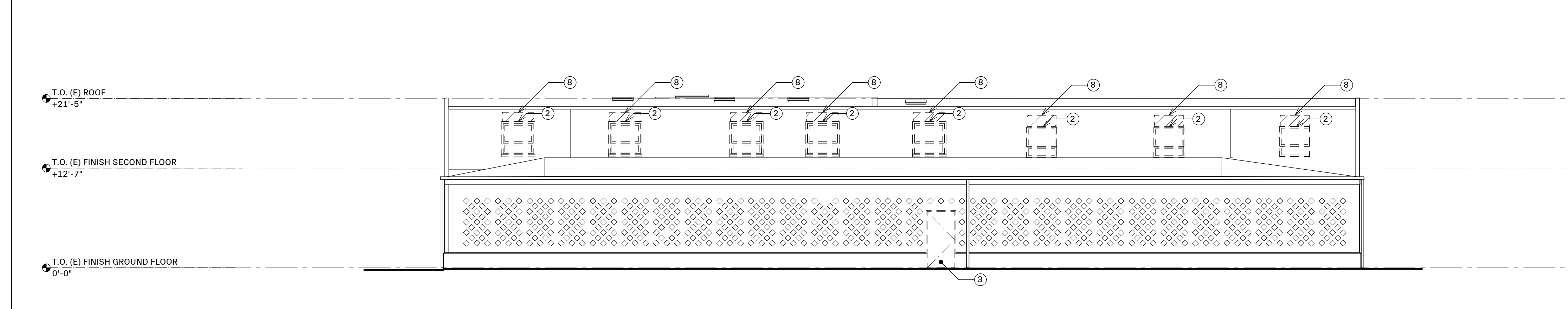
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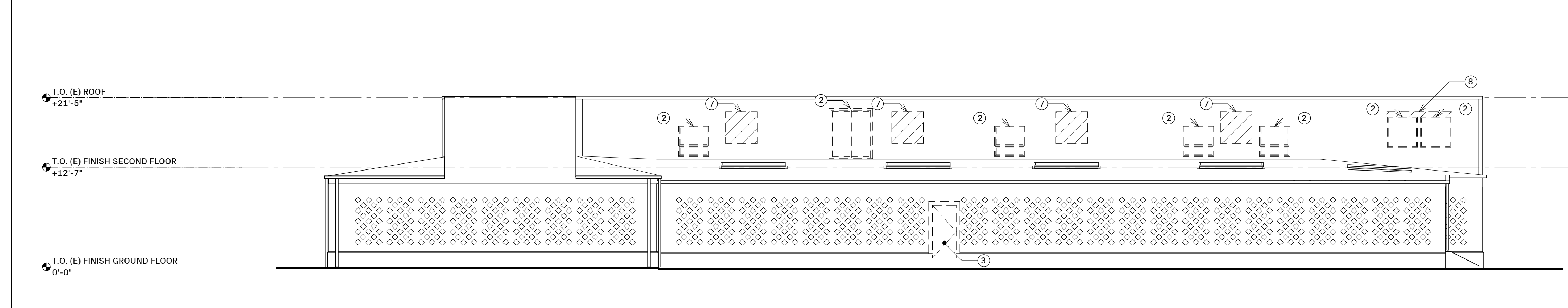
17 EXISTING / DEMO EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"



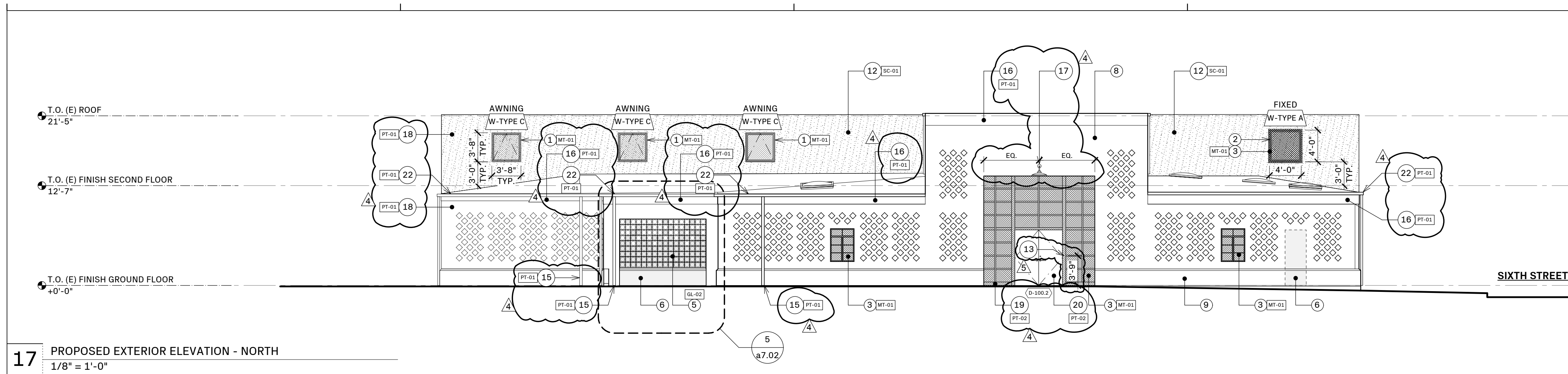
18 EXISTING / DEMO EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"



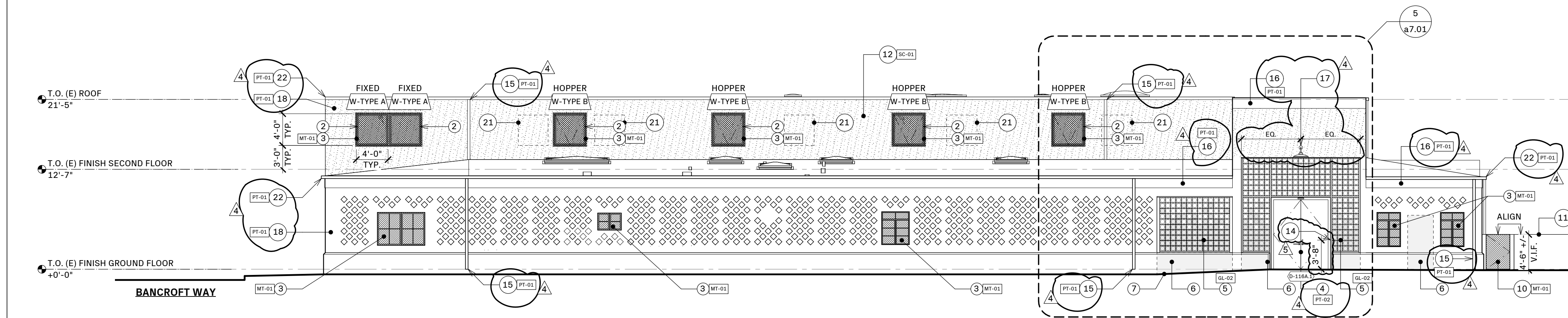
19 EXISTING / DEMO EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"



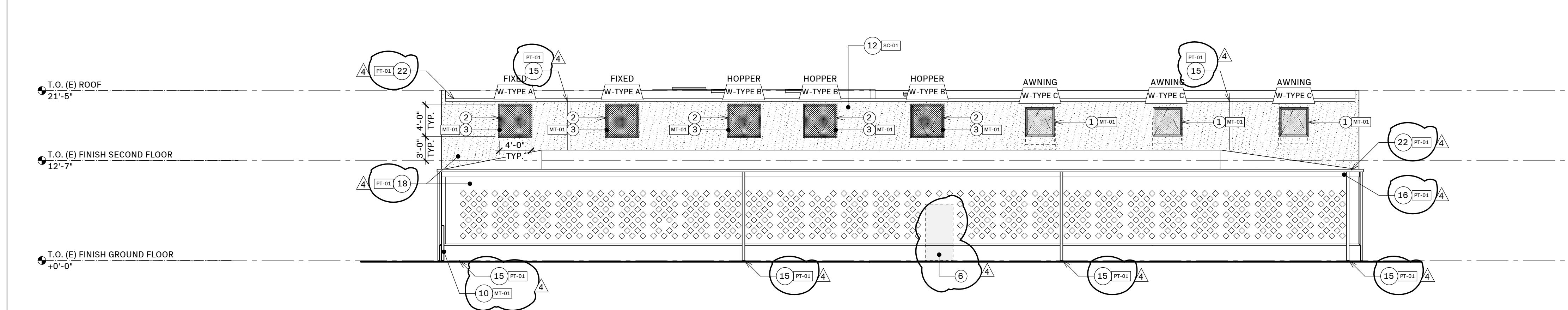
20 EXISTING / DEMO EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"



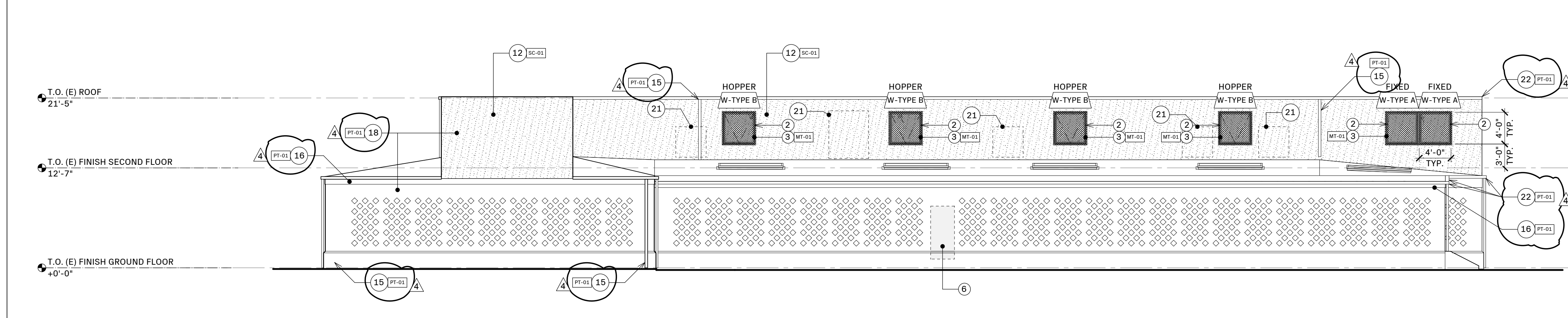
17 PROPOSED EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"



18 PROPOSED EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"



19 PROPOSED EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"

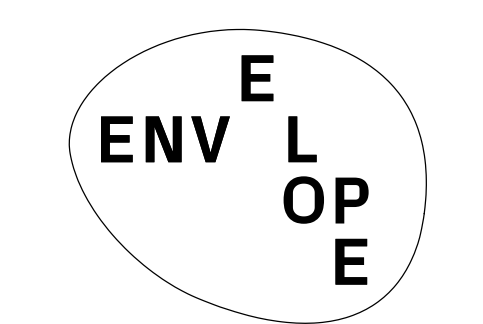


20 PROPOSED EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"

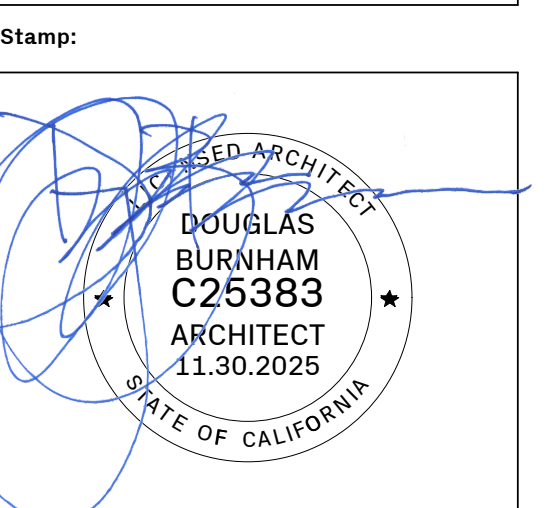
ELEVATION LEGEND:

	(N) GLASS BLOCK INFILL
	(N) CONCRETE INFILL
	(N) STUCCO WALL FINISH

- PROPOSED NOTES**
- (N) WINDOW IN REFRAMED OPENING W/ MOTORIZED OPERABILITY + SECURITY GRILLE AT INTERIOR FACE
 - (N) WINDOW IN REFRAMED OPENING W/ SECURITY GRILLE AT EXTERIOR FACE
 - (N) SECURITY GRILLE AT EXTERIOR FACE OF WINDOW
 - (N) DOUBLE ENTRY DOOR, PAINT INTERIOR + EXTERIOR, TYP.
 - (N) GLASS BLOCK ENCLOSURE AT (E) OPENING
 - (N) CONCRETE CURB INFILL AT (E) OPENING
 - REGRADE CONCRETE NEAR (N) ENTRY DOORS TO CREATE FLAT + LEVEL LANDING AT DOOR AND MAX 1:20 SLOPE TO MEET ADJACENT GRADE
 - LOCATION OF ADDRESS IDENTIFICATION, CONTRAST W/ BACKGROUND, CHARACTERS MIN. 4" HIGH + 1/2" MIN. STROKE WIDTH
 - (E) FIRE DEPARTMENT CONNECTION FOR ENTIRE BUILDING
 - (N) PERFORATED METAL GATE
 - (E) NEIGHBOR'S FENCE
 - (N) EXTERIOR STUCCO WALL FINISH, 3 COAT, ACRYLIC W/ LIQUID MEMBRANE SEALER, TYP. AT UPPER LEVEL
 - (N) MULLION MOUNTED CARD READER
 - (N) WALL MOUNTED CARD READER
 - (N) DOWNSPOUT
 - (E) FLASHING AT TOP OF CONCRETE WALL
 - (N) LIGHT FIXTURE, ALIGN BOTTOM OF FIXTURE W/ TOP OF OPENING
 - PAINT STUCCO + CONCRETE EXTERIOR WALLS, GUTTERS, DOWNSPOUTS, + SHEET METAL TRIM, TYP.
 - PAINT (E) STOREFRONT FRAME, INTERIOR + EXTERIOR, TYP.
 - PAINT (N) DOOR, INTERIOR + EXTERIOR, TYP.
 - FILL IN (E) OPENING, MATCH FINISHES
 - (N) GUTTER AT ROOF EDGE



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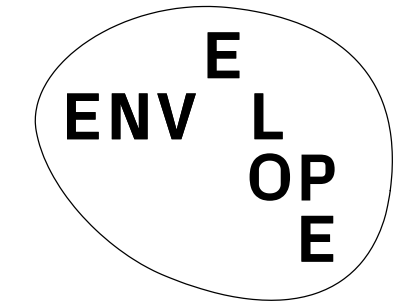
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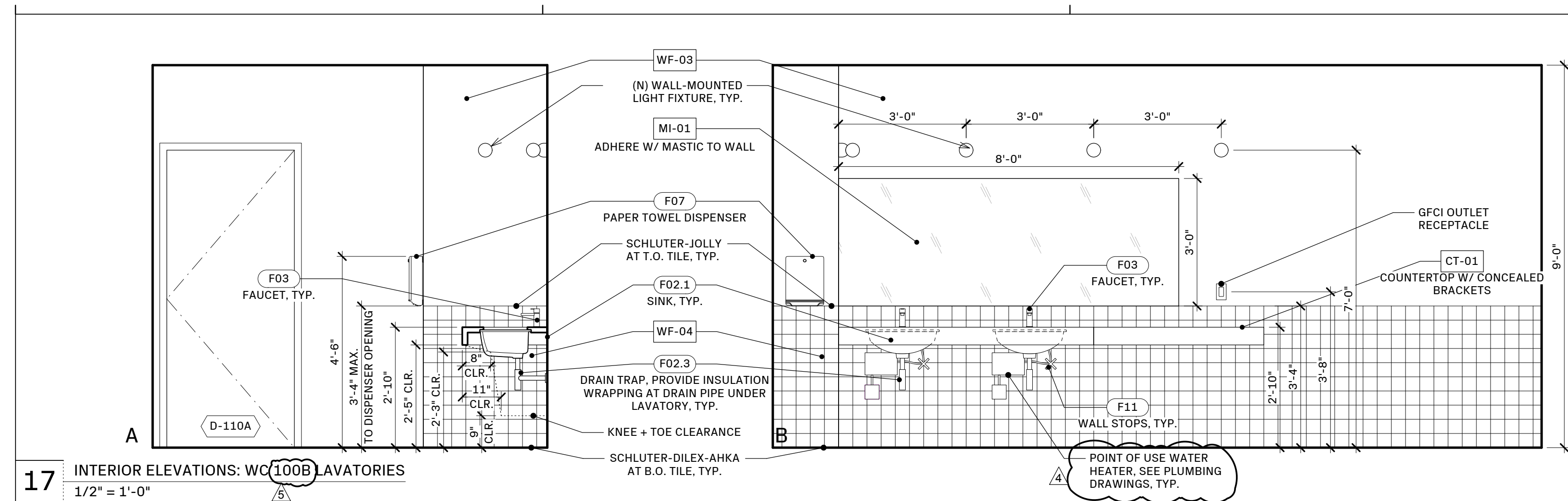
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Sheet Number:
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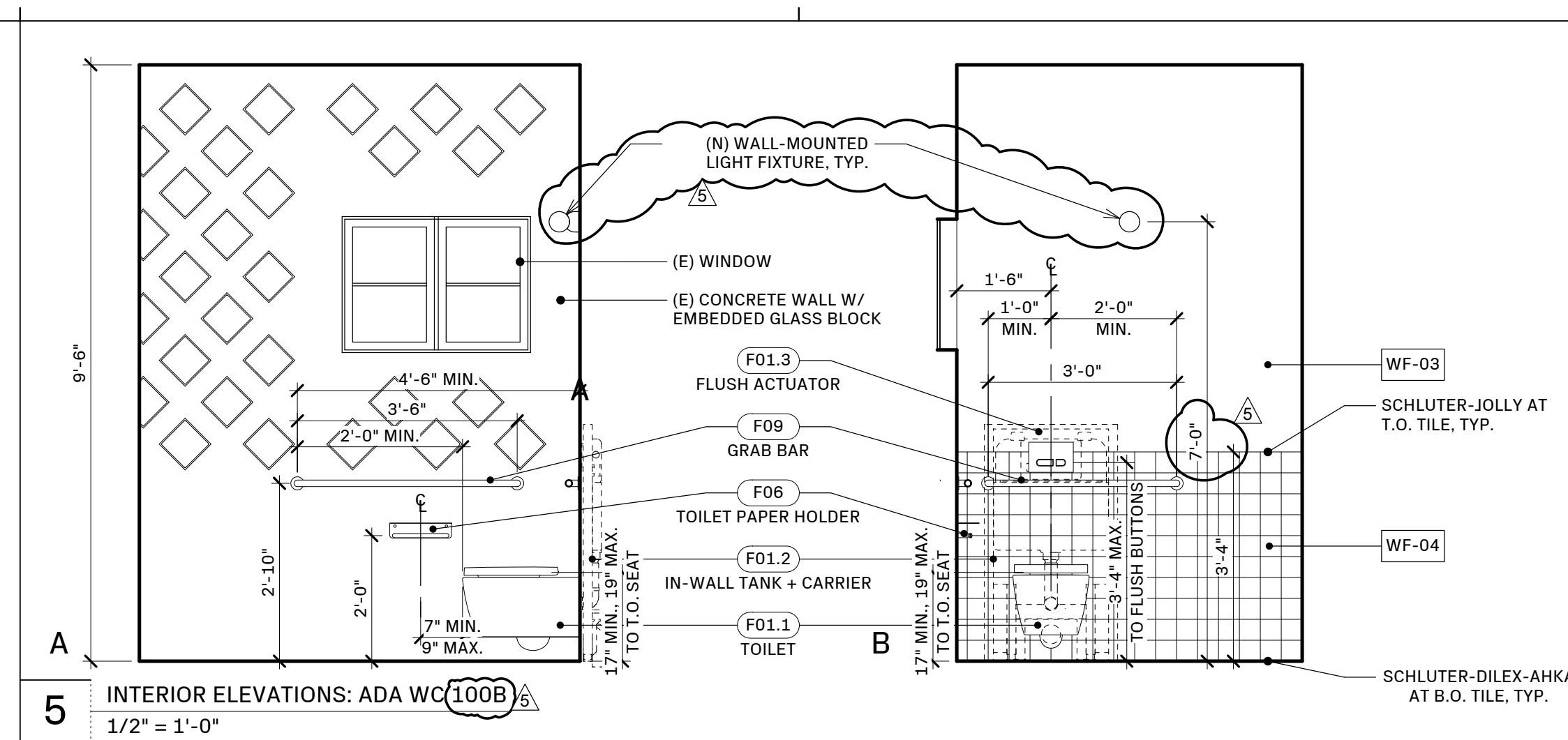
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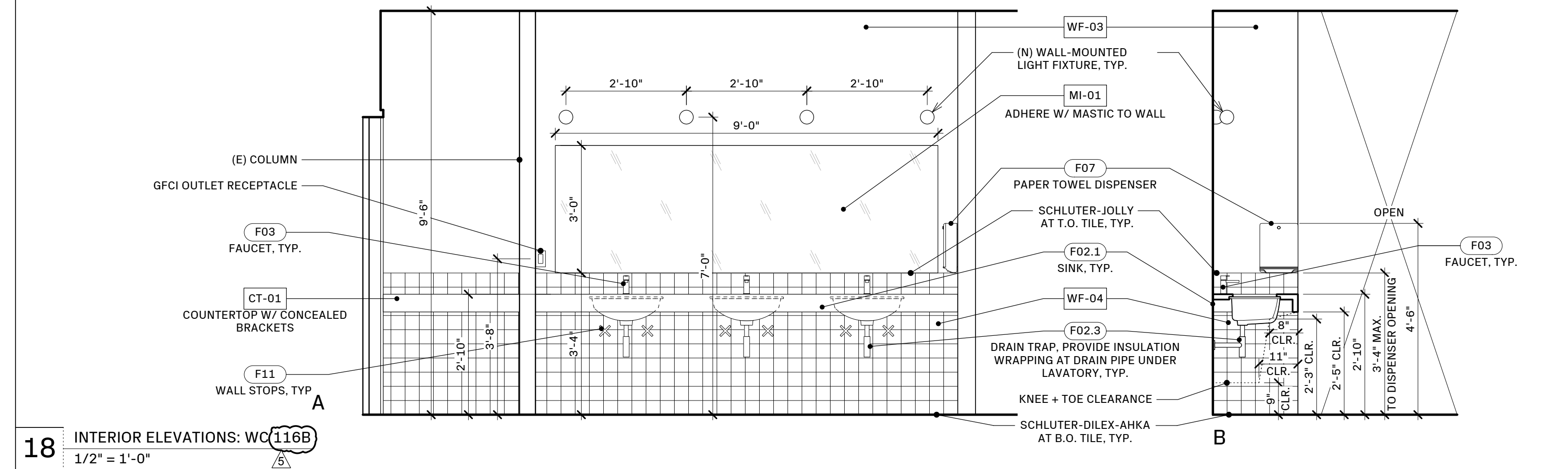
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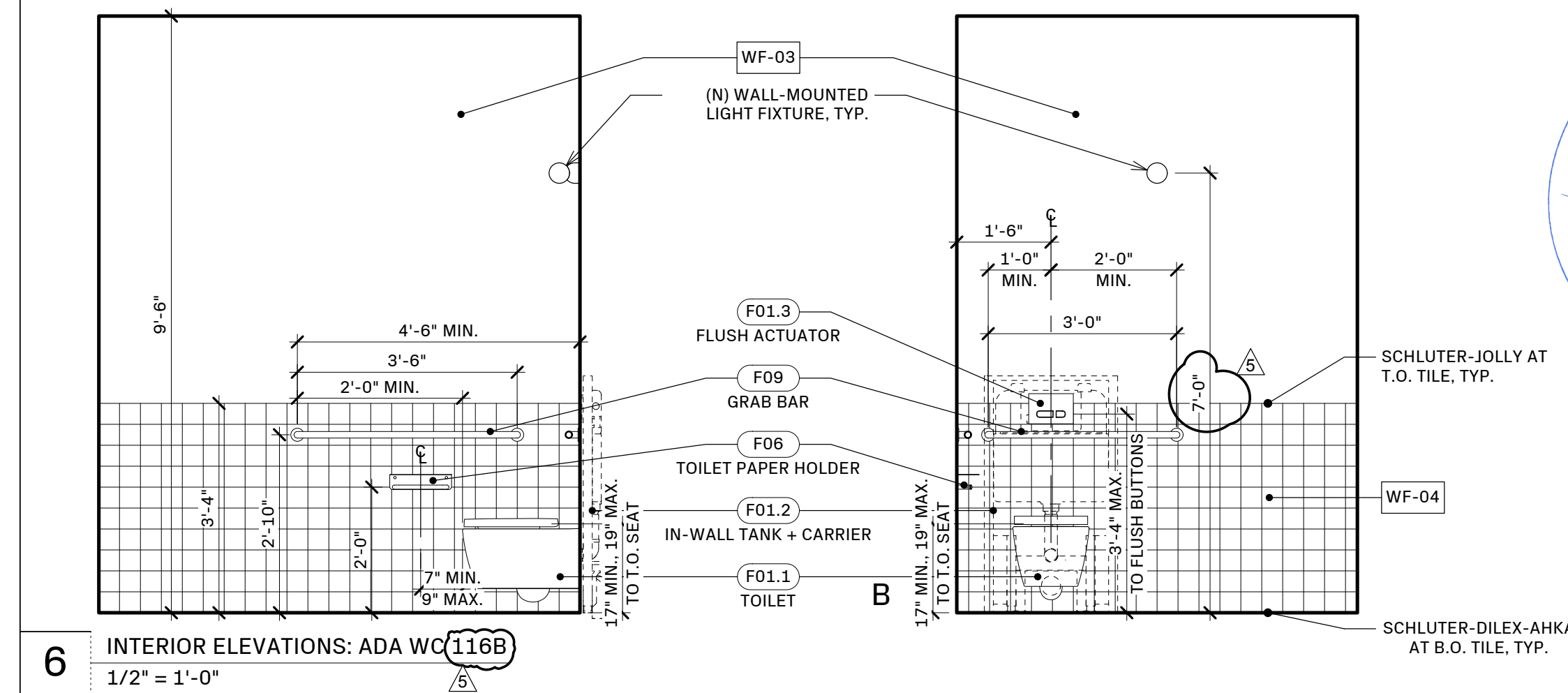
17 INTERIOR ELEVATIONS: WC 100B LAVATORIES
1/2" = 1'-0"



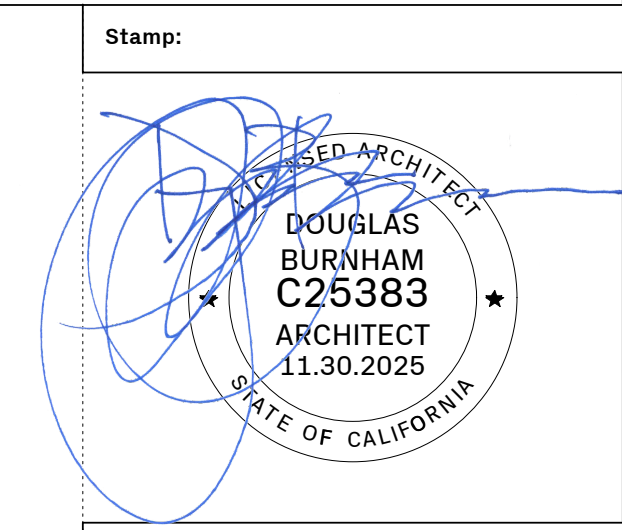
5 INTERIOR ELEVATIONS: ADA WC 100B
1/2" = 1'-0"



18 INTERIOR ELEVATIONS: WC 116B
1/2" = 1'-0"



6 INTERIOR ELEVATIONS: ADA WC 116B
1/2" = 1'-0"



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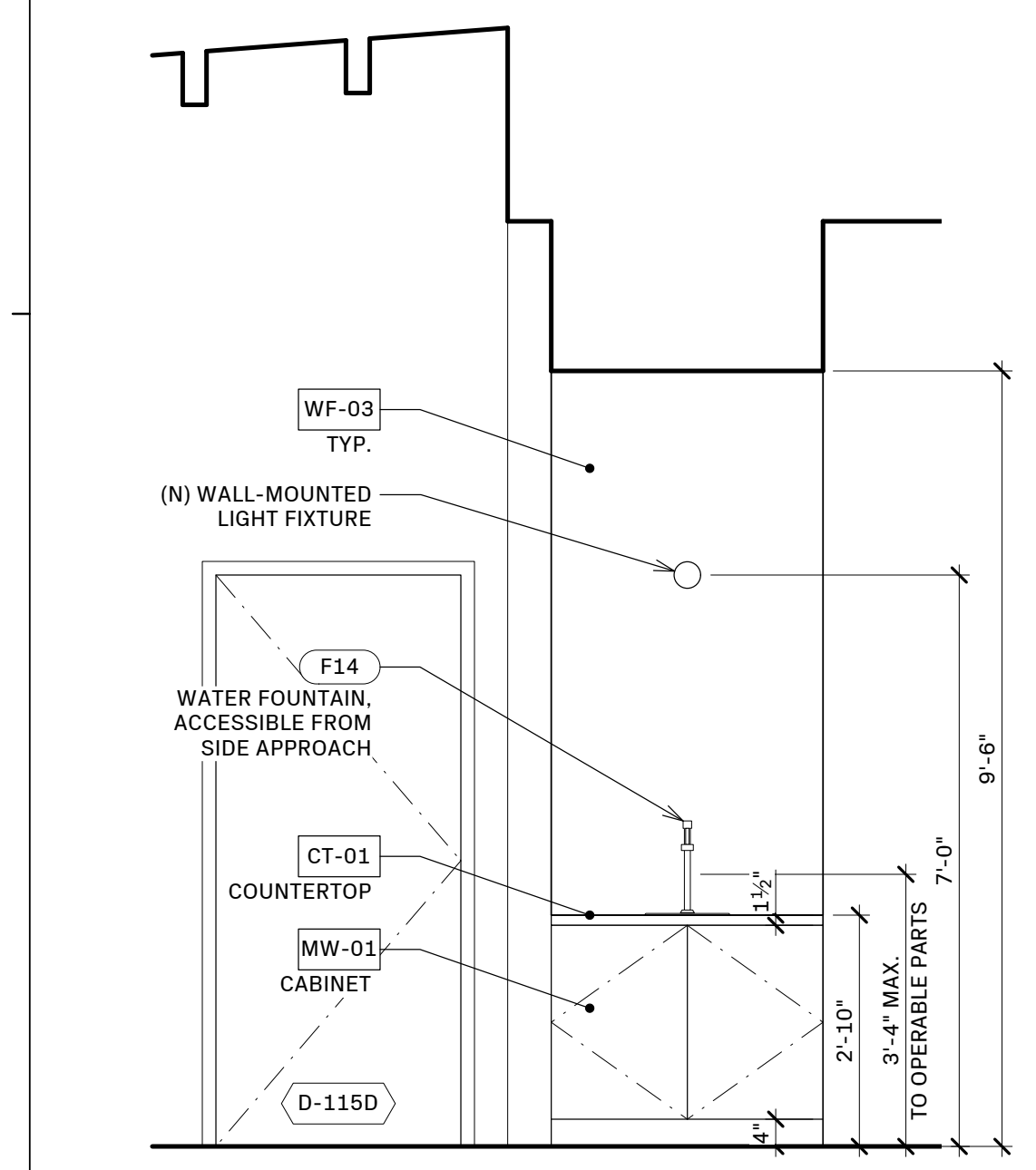
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PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:

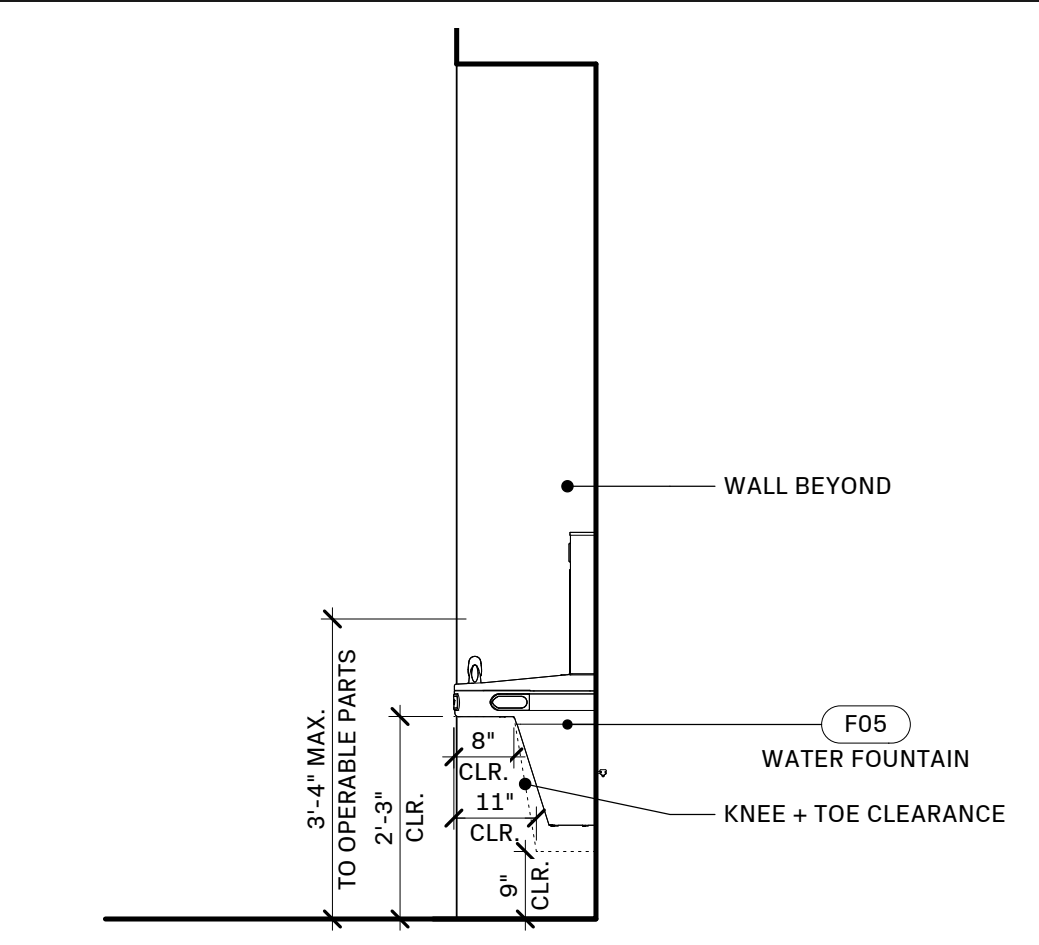
- FINISH NOTES:**
- CF-01 (N) GYPSUM BOARD CEILING, PAINTED
 - CF-02 UNDERSIDE OF (E) WOOD CEILING FRAMING + DECKING, PAINTED
 - CF-03 UNDERSIDE OF (E) WOOD CEILING FRAMING, CLEAR SEALED
 - CF-04 (E) WOOD PANEL CEILING TO REMAIN
 - CT-01 STONE COUNTERTOP
 - CT-02 BUTCHERBLOCK COUNTERTOP
 - FF-02 CONCRETE FLOOR FINISH
 - FF-03 (N) CARPET FLOOR
 - FF-05 (N) TILE FLOOR - KITCHEN
 - FF-06 (E) UNFINISHED PLYWOOD FLOOR
 - FF-07 LVT TILE
 - GL-01 GLASS BLOCK, REPLACE (E)
 - GL-02 GLASS BLOCK, (N) ENCLOSURES
 - MI-01 WALL MOUNTED MIRROR
 - MT-01 PERFORATED METAL SECURITY SCREENS
 - MW-01 KITCHEN CABINETS
 - WF-01 (E) PAINTED INTERIOR WALLS
 - WF-02 (E)/(N) PAINTED INTERIOR WALLS - MURAL SURFACE PREP.
 - WF-03 (N) PAINTED INTERIOR WALLS
 - WF-04 (N) TILE WALL - WC
 - WF-06 (N) FRP WALL FINISH

PLUMBING FIXTURE SCHEDULE

NO.	ROOM	ITEM	MANUFACTURER	MODEL	STYLE	FINISH	SIZE	QTY.	NOTES
F01.1	WC 100B, WC 116B, 200B	TOILET	KOHLER	K-31539	WALL MOUNT	WHITE	15 3/16" W x 21 13/16" D x 13 1/16" H	11	ADA COMPLIANT, 1.28 GALLONS PER FLUSH
F01.2	WC 100B, WC 116B, 200B	IN-WALL TANK + CARRIER	KOHLER	K-28829	IN-WALL		20 1/2" W x 3 3/16" D x 45 1/16" H	11	1.28 GALLONS PER FLUSH MAX.
F01.3	WC 100B, WC 116B, 200B	FLUSH ACTUATOR PLATE	KOHLER	K-23251-F	WALL MOUNT	WHITE	8 7/8" W x 6 5/16" H	11	DUAL FLUSH
F01.4	WC 100B, WC 116B, 200B	TOILET SEAT	KOHLER	K-4670-C	ELONGATED, OPEN FRONT	WHITE	14 5/16" W x 19 1/8" D	11	
F01.5	WC 100B, WC 116B, 200B	PNEUMATIC CONVERSION KIT	KOHLER	K-8108			4 1/2" W x 3" D x 15 13/16" H	11	
F02.1	WC 100B, WC 116B	SINK	KOHLER	K-2214-G-0	UNDER MOUNT	WHITE	20 7/8" L x 14 3/8" W x 8 1/8" H	6	ADA COMPLIANT
F02.2	WC 100B, WC 116B	DRAIN	T.B.D.					6	
F02.3	WC 100B, WC 116B	DRAIN TRAP	T.B.D.					6	
F03	WC 100B, WC 116B, 200B	FAUCET	DELTA	559LF-HGM-PP	DECK MOUNT, SINGLE HOLE	CHROME	1 11/16" W x 4 13/16" D x 5 7/8" H	6	ADA COMPLIANT, 0.5 GALLONS PER MINUTE AT 60 PSI
F04	NOT USED								
F05	HALLWAY	WATER FOUNTAIN	HAWS	1011MS	WALL MOUNT, DUAL HEIGHT	STAINLESS STEEL	32" W x 18 5/8" D x 25 3/4" H	1	ADA COMPLIANT
F06	WC 100B, WC 116B, 200B	TOILET PAPER HOLDER	KOHLER	K-29224	WALL MOUNT	POLISHED CHROME	11 13/16" L x 4 5/16" W x 2 7/8" H	11	
F07	WC 100B, WC 116B, 200B	PAPER TOWEL DISPENSER	BOBRICK	B-2620	WALL MOUNT	SATIN STAINLESS STEEL	10 3/4" W x 4" D x 10 3/4" H	3	ADA COMPLIANT
F08	WC 100B, WC 116B, 200B	HAND SOAP DISPENSER	TBD						
F09	WC 100B, WC 116B, 200B	GRAB BAR SET	WINGITS	STANDARD - WGB5		KNURLED SATIN S/S	1 1/4" DIA.	4 SET	REFER TO DRAWINGS FOR LENGTHS WALL MOUNT; (1) 36" + (1) 42"
F10	NOT USED								
F11	WC 100B, WC 116B, 200B	WALL SUPPLY STOPS	DELTA	DT022201	ANGLE	CHROME	7 11/16" D x 2 3/4" H	21	
F12	JANITORIAL 116C	MOP SINK	REGENCY	#600SM24246	FLOOR MOUNT	STAINLESS STEEL	24" W x 24" D x 6" H	1	
F13	JANITORIAL 116C	FAUCET	T&S	B-0665-BSTR	WALL MOUNT	CHROME	12 5/8" W x 9 1/8" D x 14 5/16" H	1	PROVIDE WALL BACKING FOR PAIL HOOK WALL BRACE
F14	HALLWAY	WATER TAP	REGENCY	600GFS41012	DECK MOUNT	STAINLESS STEEL	13" L x 11" W x 12" H	1	1.2 GPM



20 INTERIOR ELEVATIONS: WATER DISPENSER
1/2" = 1'-0"



16 INTERIOR ELEVATIONS: ADA WATER FOUNTAIN
1/2" = 1'-0"

12 PLUMBING SCHEDULE

VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

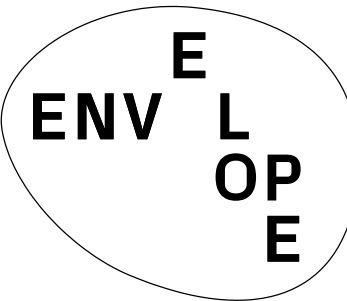
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NORTH	SCALE
AS NOTED WHEN PRINTED 24" x 36"	

Sheet Name:
INTERIOR ELEVATIONS

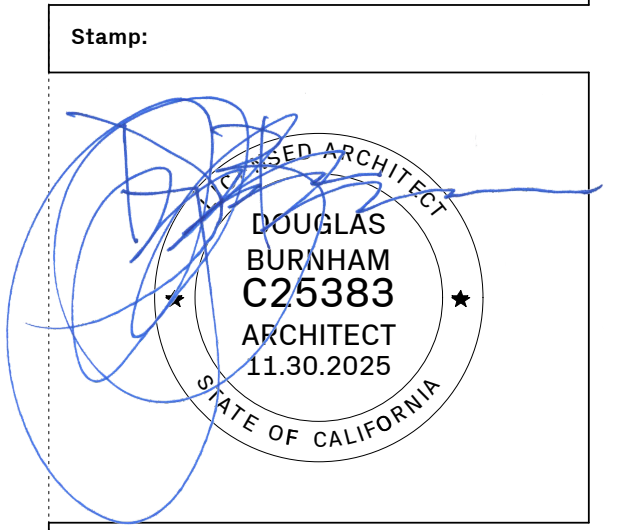
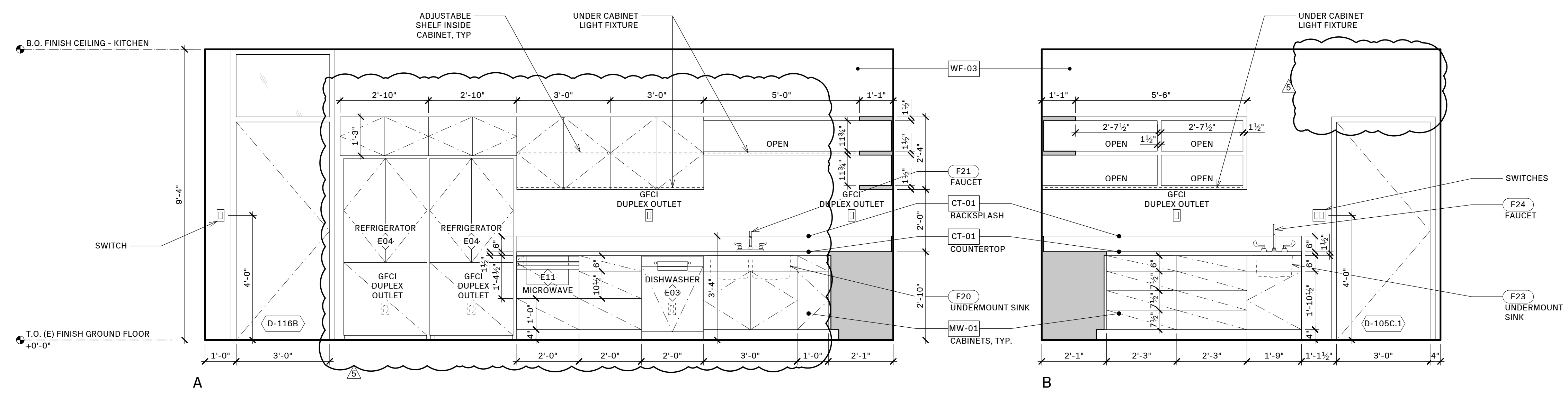
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a5.01

Page Number: 23 OF 29



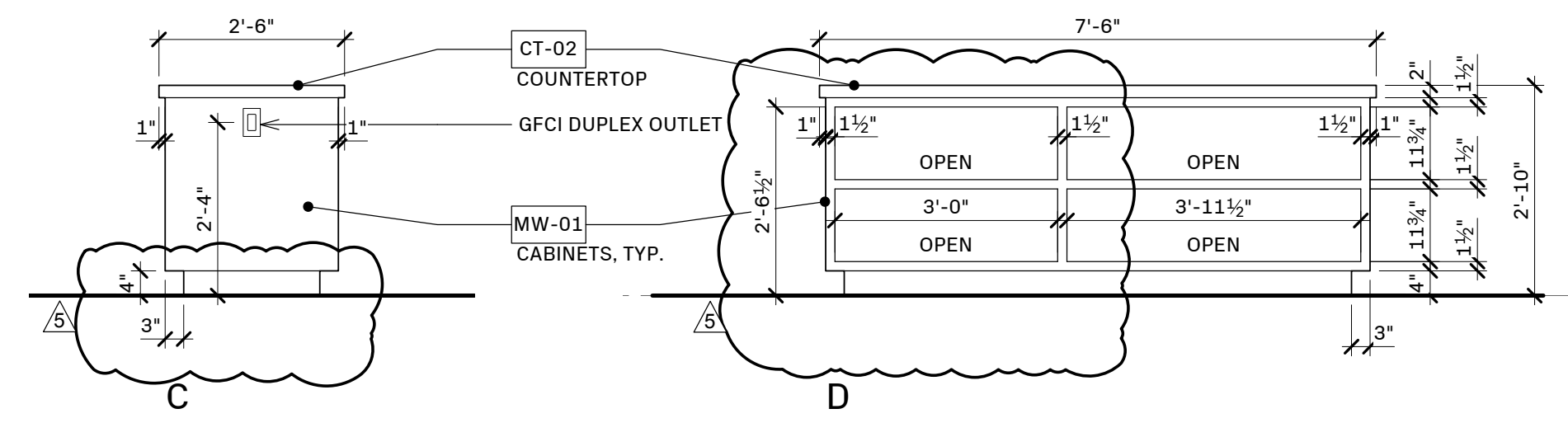
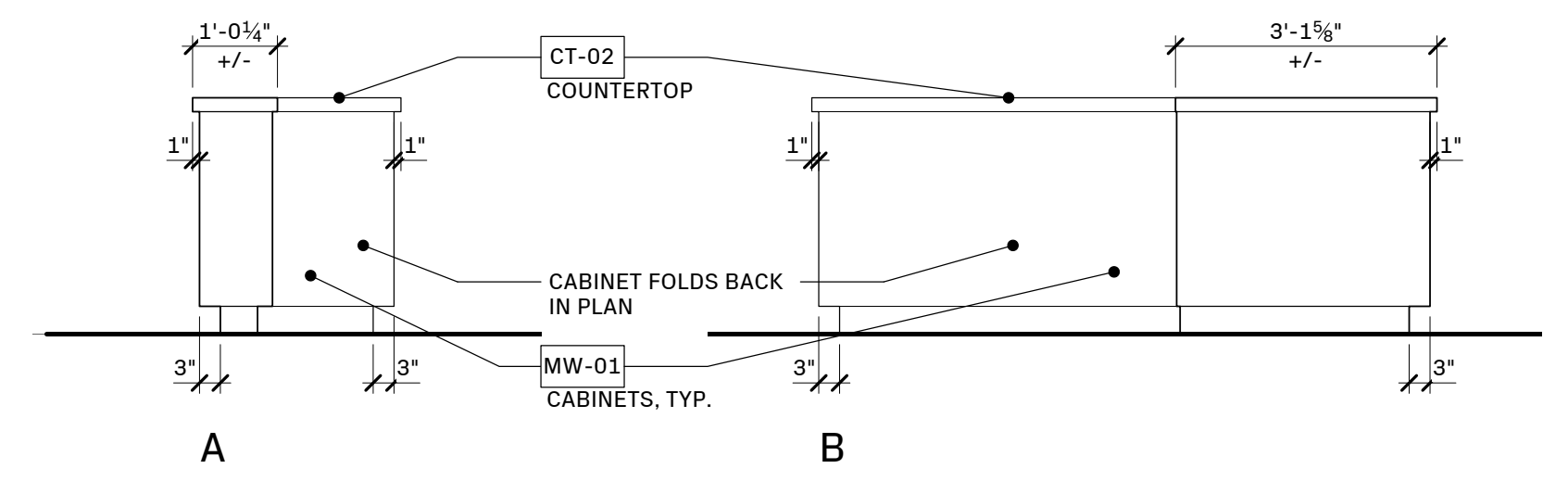
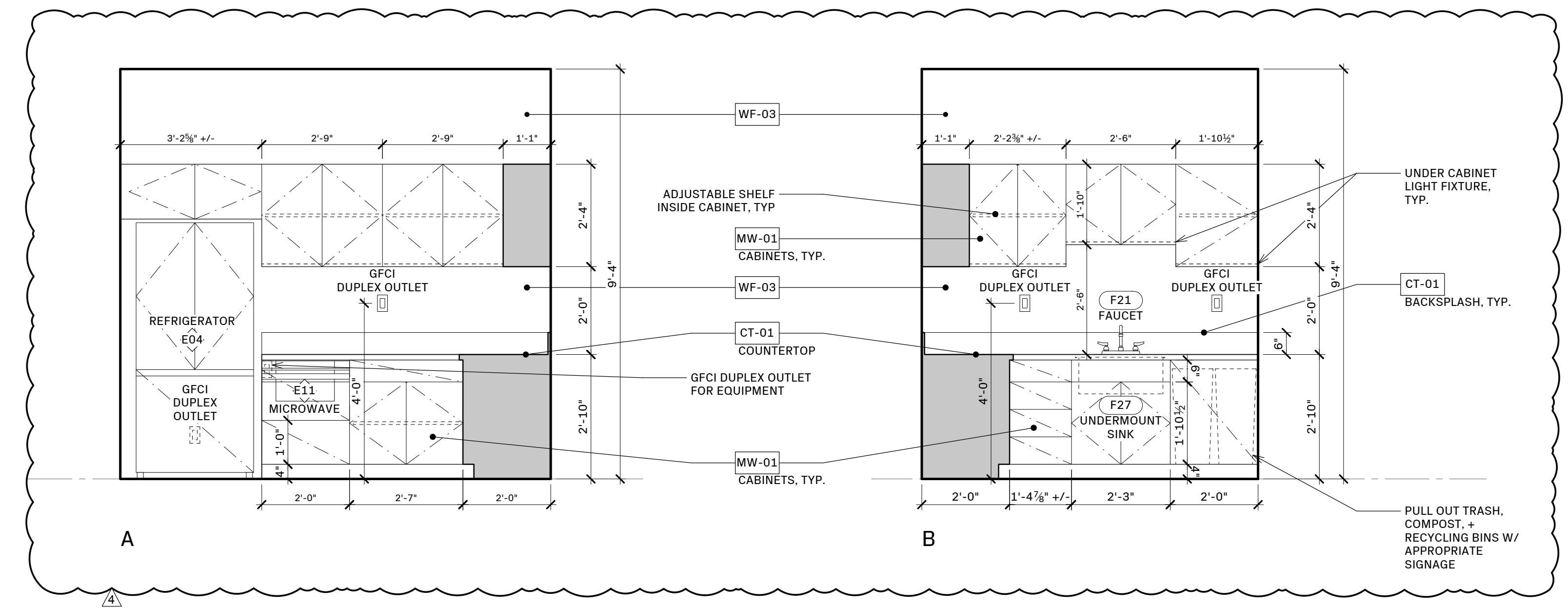
ENVELOPE ARCHITECTURE + DESIGN
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Issue - Date:

PERMIT SET	12.02.24
PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

18 INTERIOR ELEVATIONS: KITCHENETTE (119)
 1/2" = 1'-0"



Project Name:

VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

Sheet Information:

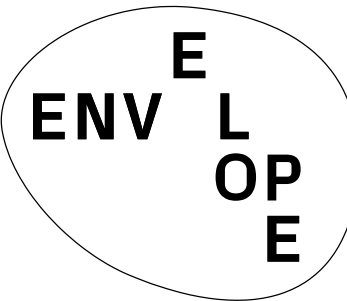
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Sheet Name:
 INTERIOR ELEVATIONS

Sheet Number:
a5.02
 Page Number: 24 OF 29

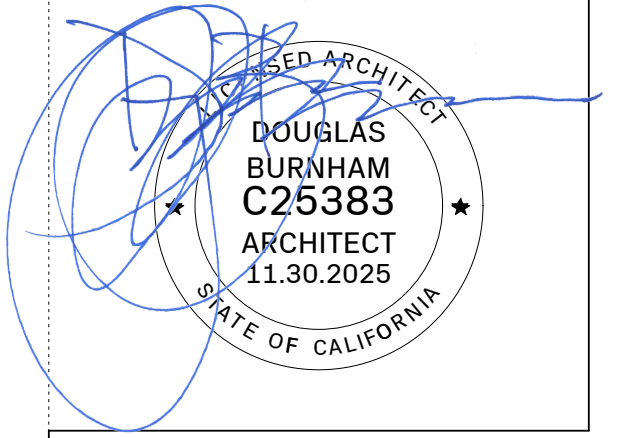
20 INTERIOR ELEVATIONS: KITCHENETTE (114)
 1/2" = 1'-0"

8 INTERIOR ELEVATIONS: KITCHENETTE (119) ISLAND
 1/2" = 1'-0"



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PERMIT REVISION	11.18.25

Project Name:

VWC Bancroft
 830 Bancroft Way
 Berkeley, CA, 94710

Sheet Information:

DATE	11.18.2025
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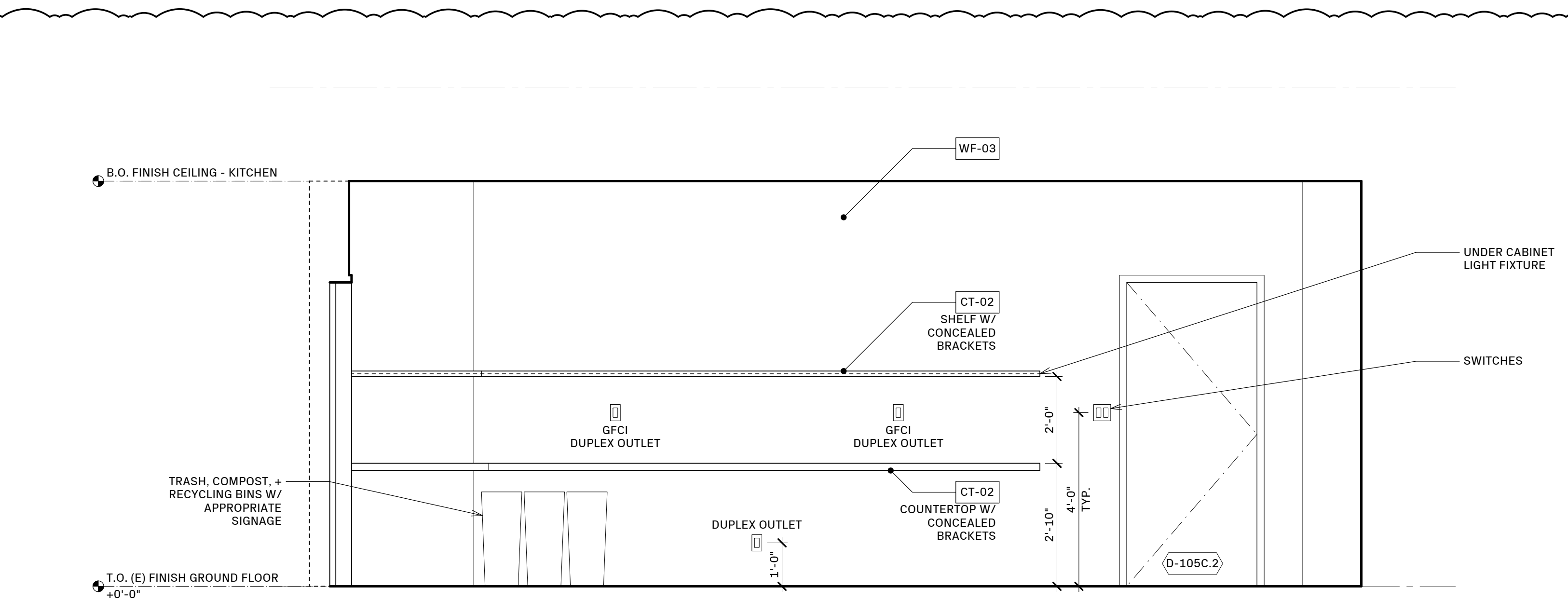
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INTERIOR ELEVATIONS

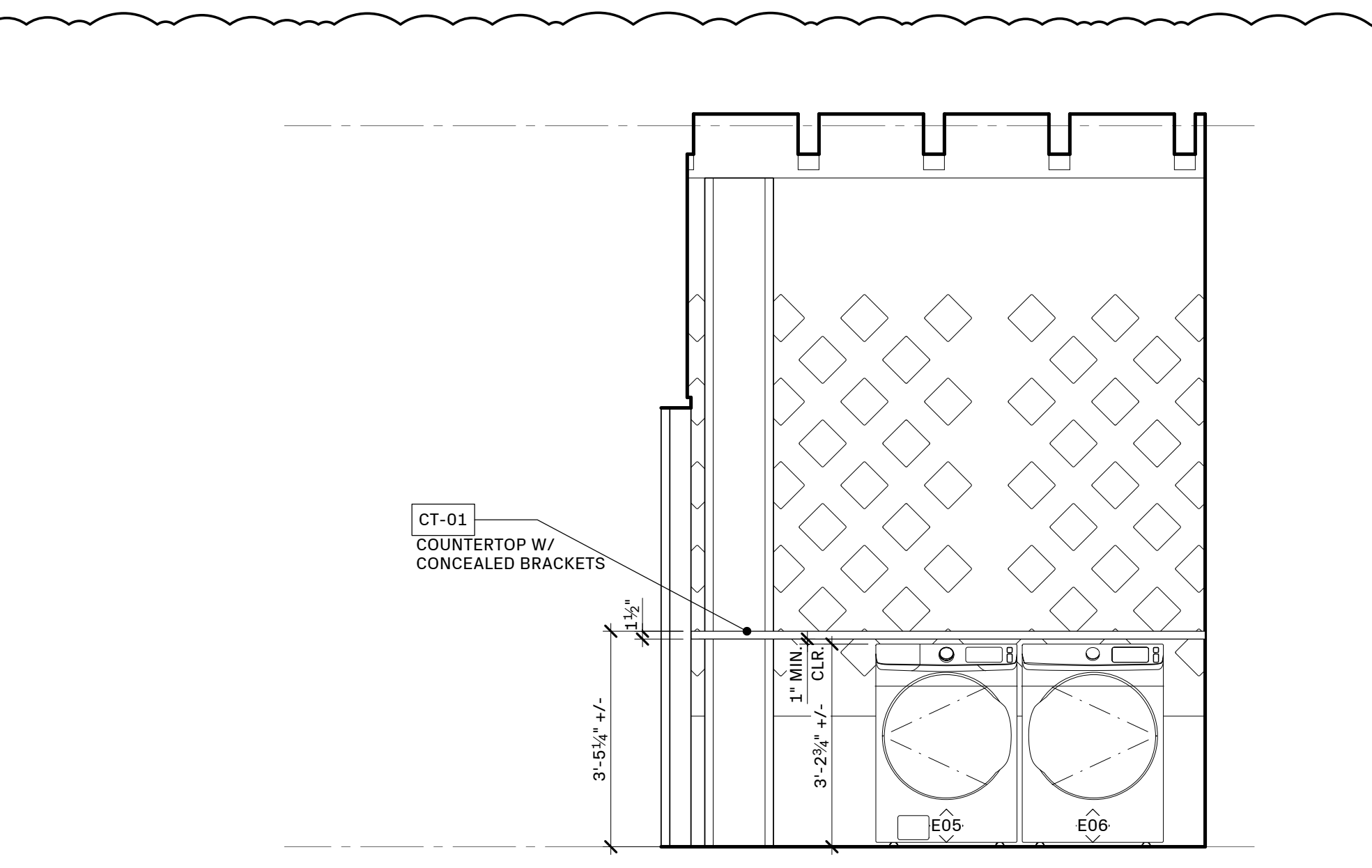
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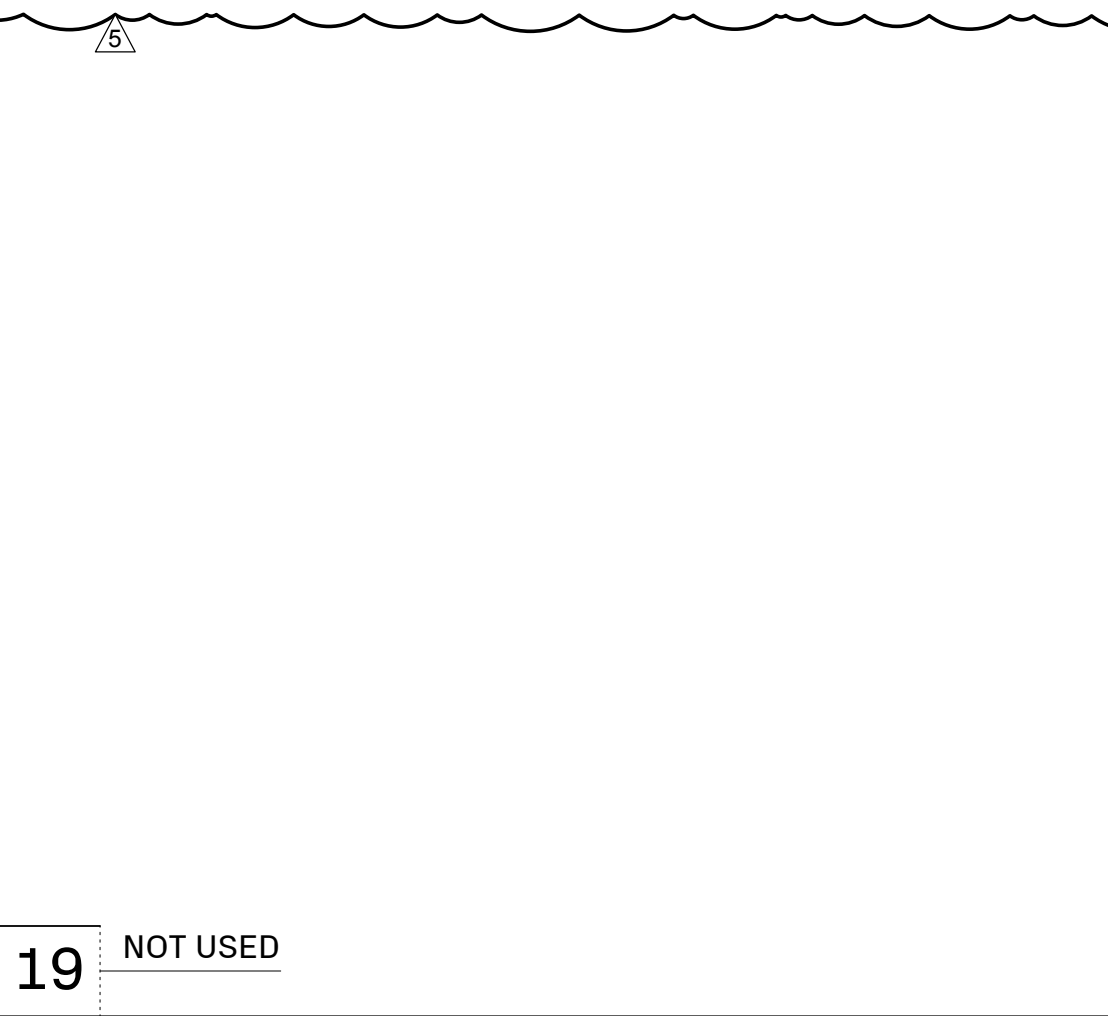
Page Number: 25 OF 29



18 INTERIOR ELEVATIONS: KITCHENETTE (119)
 1/2" = 1'-0"

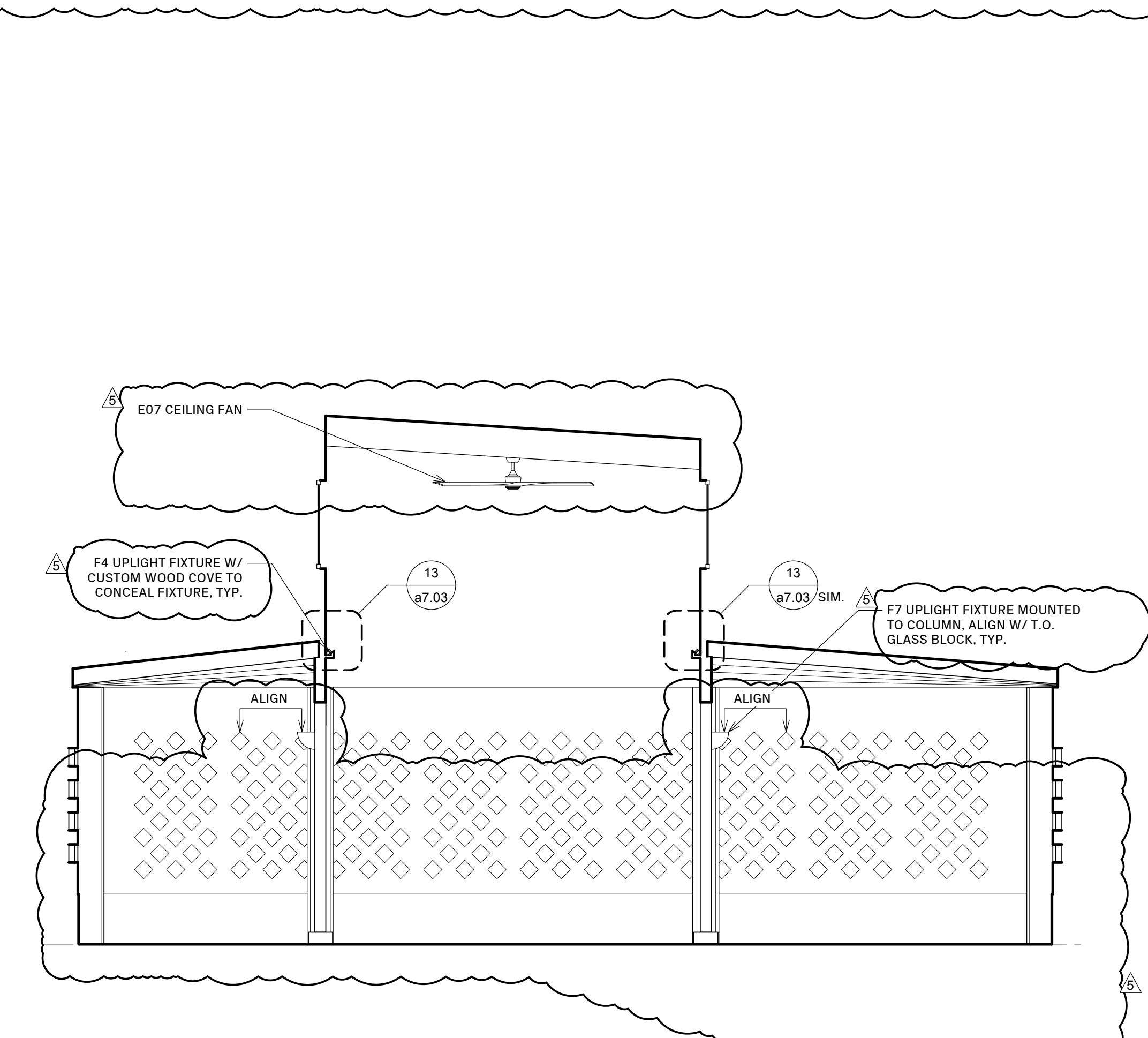


6 INTERIOR ELEVATIONS: LAUNDRY ROOM
 1/2" = 1'-0"

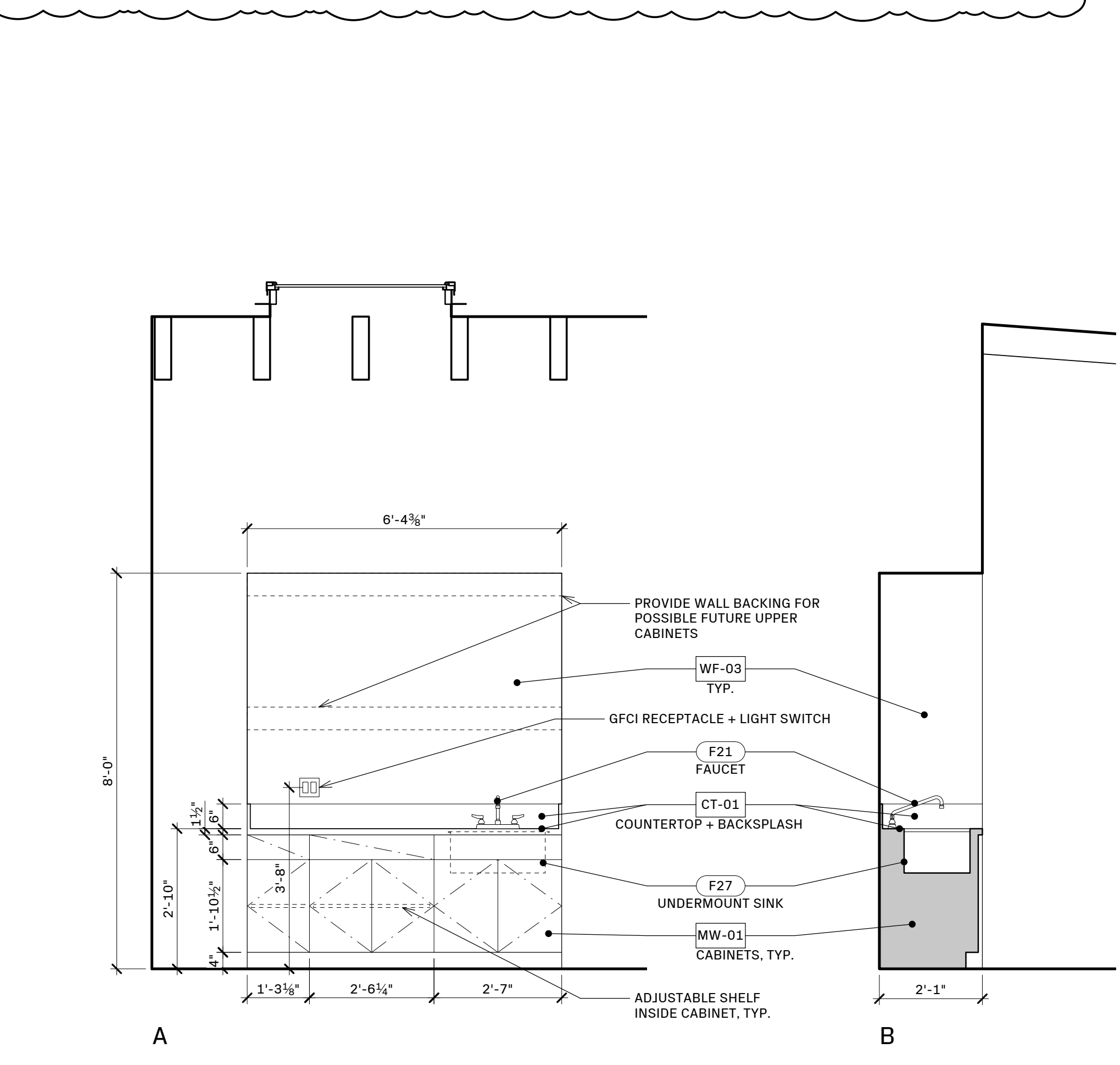


19 NOT USED

20 INTERIOR ELEVATION: 6TH ST ENTRY INTERIOR DOOR
 1/4" = 1'-0"



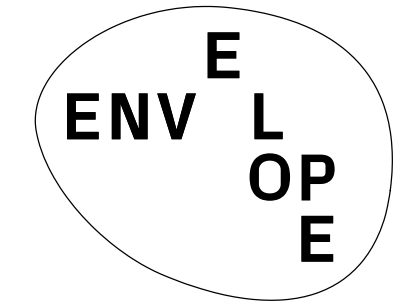
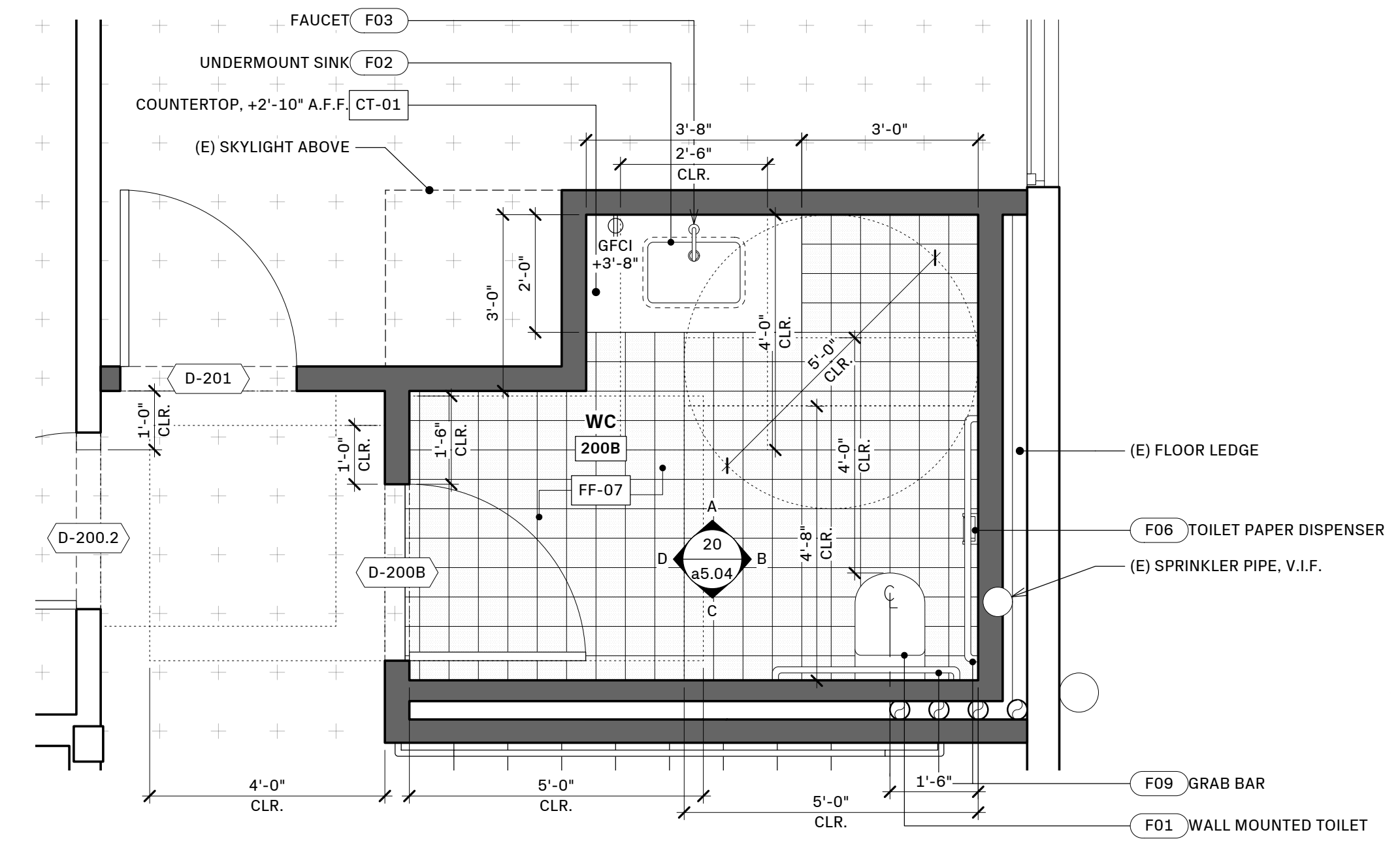
16 INTERIOR ELEVATIONS: VOCATIONAL TRAINING (120)
 1/4" = 1'-0"



8 INTERIOR ELEVATIONS: VOCATIONAL TRAINING (115)
 1/2" = 1'-0"

PLUMBING FIXTURE SCHEDULE

NO.	ROOM	ITEM	MANUFACTURER	MODEL	STYLE	FINISH	SIZE	QTY.	NOTES
F01.1	WC 100B, WC 116B, 200B	TOILET	KOHLER	K-31539	WALL MOUNT	WHITE	15 3/16"W x 21 13/16"D x 13 1/2"H	11	ADA COMPLIANT, 1.28 GALLONS PER FLUSH
F01.2	WC 100B, WC 116B, 200B	IN-WALL TANK + CARRIER	KOHLER	K-28829	IN-WALL		20 1/2"W x 3 3/16"D x 45 1/16"H	11	1.28 GALLONS PER FLUSH MAX.
F01.3	WC 100B, WC 116B, 200B	FLUSH ACTUATOR PLATE	KOHLER	K-23251-F	WALL MOUNT	WHITE	8 7/8"W x 6 5/16"H	11	DUAL FLUSH
F01.4	WC 100B, WC 116B, 200B	TOILET SEAT	KOHLER	K-4670-C	ELONGATED, OPEN FRONT	WHITE	14 5/16"W x 19 1/8"D	11	
F01.5	WC 100B, WC 116B, 200B	PNEUMATIC CONVERSION KIT	KOHLER	K-8108			4 1/2"W x 3"D x 15 13/16"H	11	
F02.1	WC 100B, WC 116B	SINK	KOHLER	K-2214-G-0	UNDER MOUNT	WHITE	20 7/8" L x 14 3/8" W x 8 1/8" H	6	ADA COMPLIANT
F02.2	WC 100B, WC 116B	DRAIN	T.B.D.					6	
F02.3	WC 100B, WC 116B	DRAIN TRAP	T.B.D.					6	
F03	WC 100B, WC 116B, 200B	FAUCET	DELTA	559LF-HGM-PP	DECK MOUNT, SINGLE HOLE	CHROME	1 11/16" W x 4 13/16" D x 5 7/8" H	6	ADA COMPLIANT, 0.5 GALLONS PER MINUTE AT 60 PSI
F04	NOT USED								
F05	HALLWAY	WATER FOUNTAIN	HAWS	1011MS	WALL MOUNT, DUAL HEIGHT	STAINLESS STEEL	32"W x 18 5/8"D x 25 3/4"H	1	ADA COMPLIANT
F06	WC 100B, WC 116B, 200B	TOILET PAPER HOLDER	KOHLER	K-29224	WALL MOUNT	POLISHED CHROME	11-13/16" L x 4-5/16" W x 2 7/8" H	11	
F07	WC 100B, WC 116B, 200B	PAPER TOWEL DISPENSER	BOBRICK	B-2620	WALL MOUNT	SATIN STAINLESS STEEL	10 3/4" W x 4" D x	3	ADA COMPLIANT
F08	WC 100B, WC 116B, 200B	HAND SOAP DISPENSER	TBD						
F09	WC 100B, WC 116B, 200B	GRAB BAR SET	WINGITS	STANDARD - WGB5			1 1/4" DIA.	4 SET	REFER TO DRAWINGS FOR LENGTHS WALL MOUNT: (1) 36" + (1) 42"
F10	NOT USED								
F11	WC 100B, WC 116B, 200B	WALL SUPPLY STOPS	DELTA	DT022201	ANGLE	CHROME	7 11/16"D x 2 3/4"H	21	
F12	JANITORIAL 116C	MOP SINK	REGENCY	#600SM24246	FLOOR MOUNT	STAINLESS STEEL	24"W x 24"D x 6"H	1	
F13	JANITORIAL 116C	FAUCET	T&S	B-0665-BSTR	WALL MOUNT	CHROME	12 5/8"W x 9 1/8"D x 14 5/16"H	1	PROVIDE WALL BACKING FOR PAIL HOOK WALL BRACE
F14	HALLWAY	WATER TAP	REGENCY	600GFW541012	DECK MOUNT	STAINLESS STEEL	13"L x 11"W x 12"H	1	1.2 GPM



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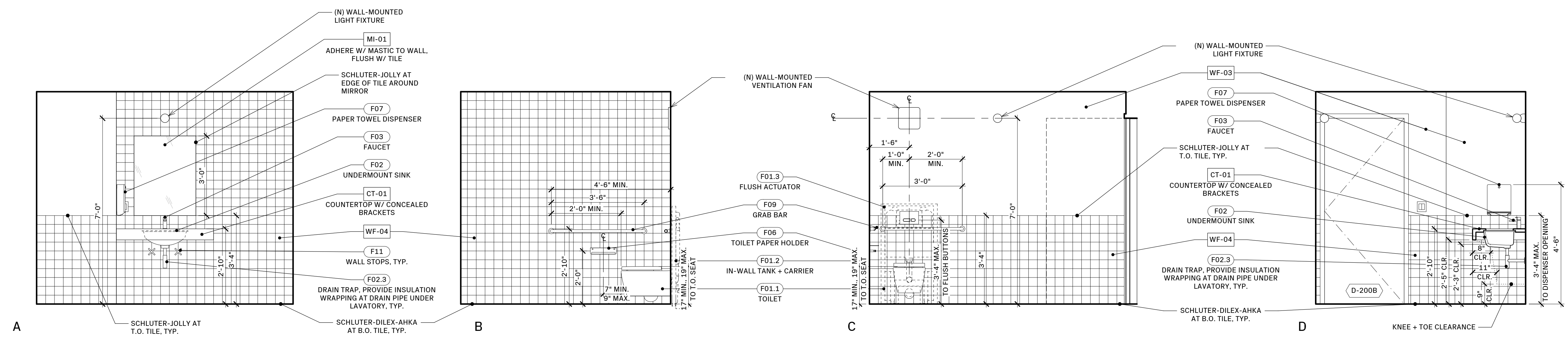


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Issue - Date:	
PERMIT SET	12.02.24
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12 PLUMBING SCHEDULE

6 ENLARGED PLAN: WC 200B
1/2" = 1'-0"



20 INTERIOR ELEVATIONS: WC 200B
1/2" = 1'-0"

Project Name:

VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

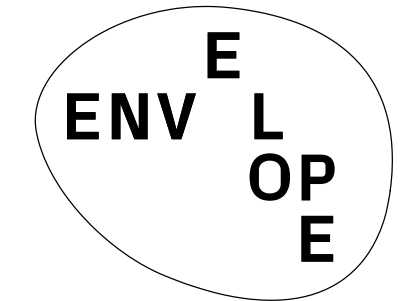
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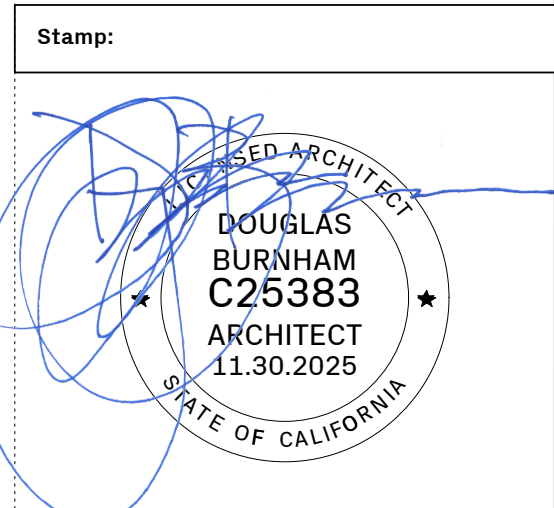
Sheet Number:

a5.04

Page Number: 26 OF 29



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Project Name:

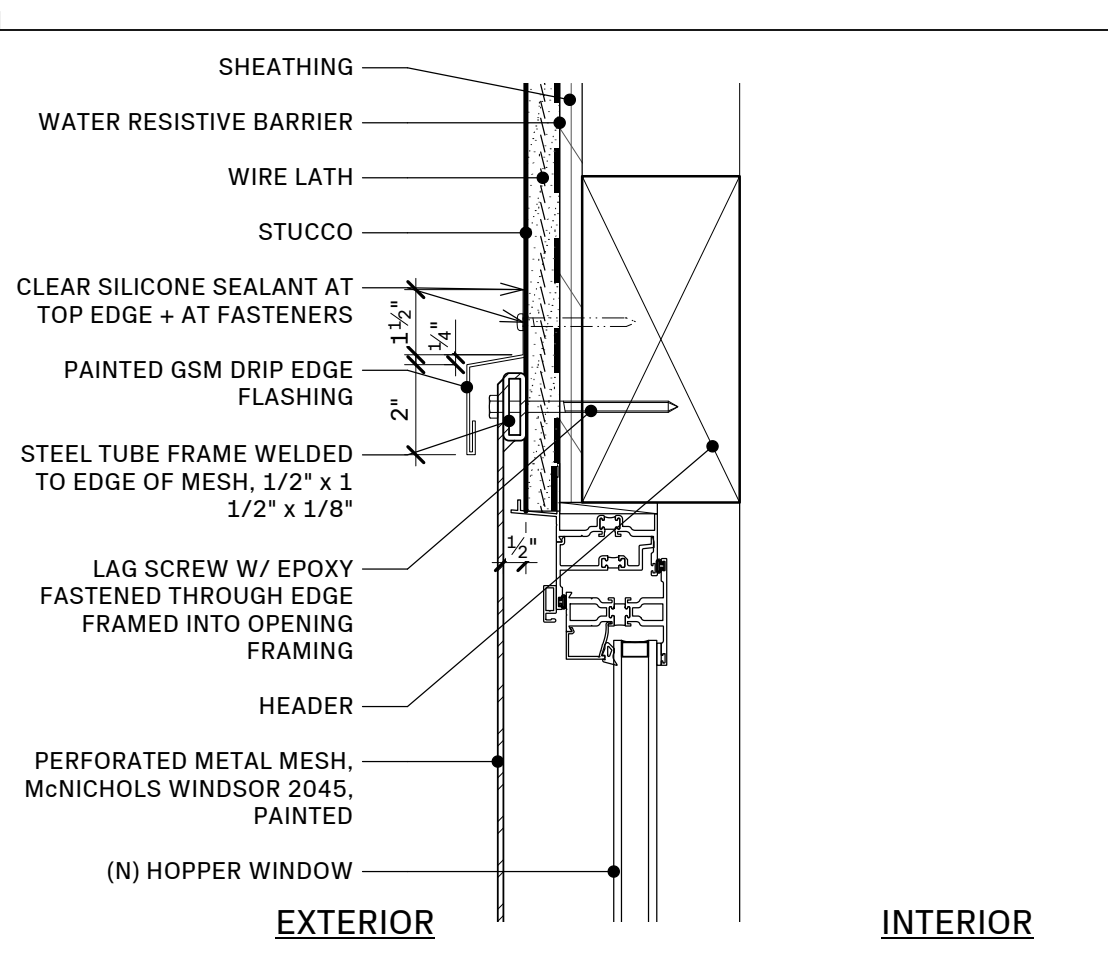
VWC Bancroft
 830 Bancroft Way
 Berkeley, CA. 94710

Sheet Information:

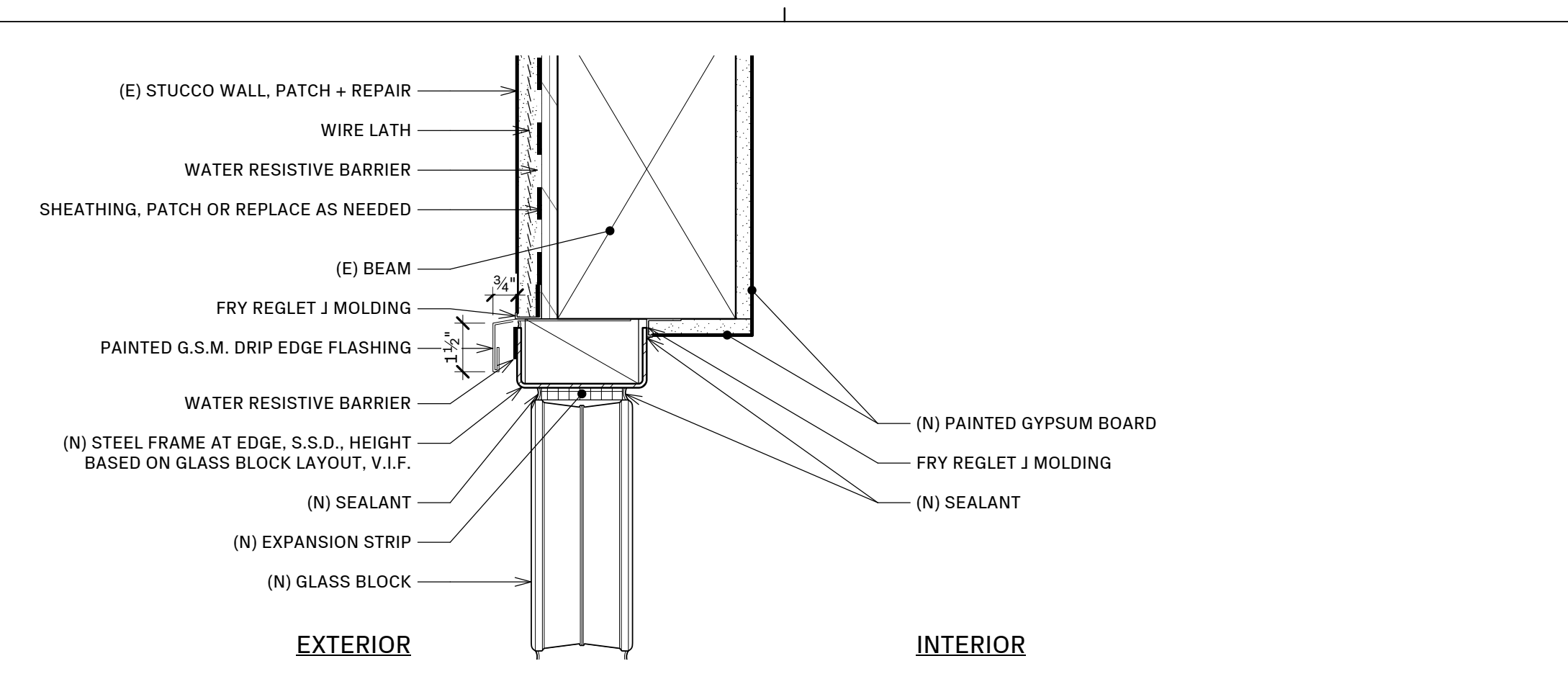
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AS NOTED WHEN PRINTED 24" x 36"	

Sheet Name: DETAILS
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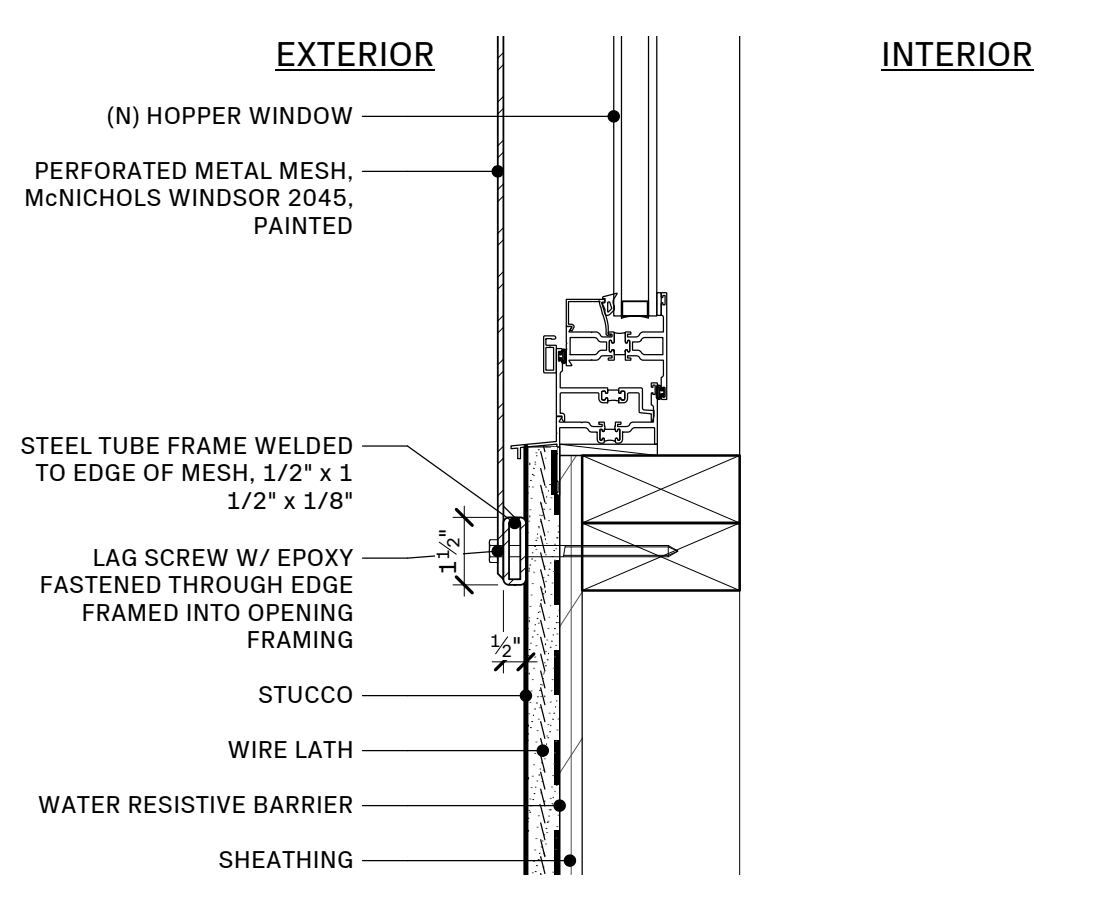
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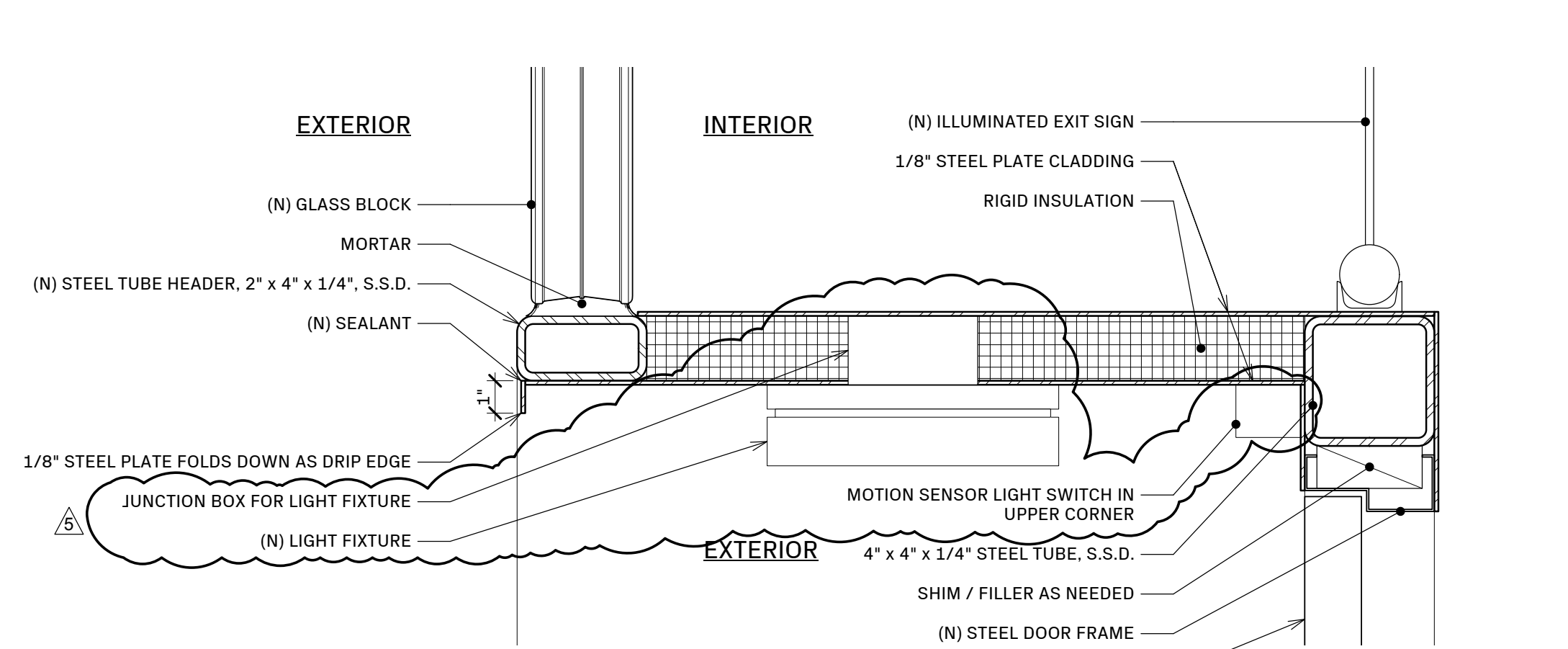
17 SECTION DETAIL AT UPPER LEVEL WINDOW HEAD
 3" = 1'-0"



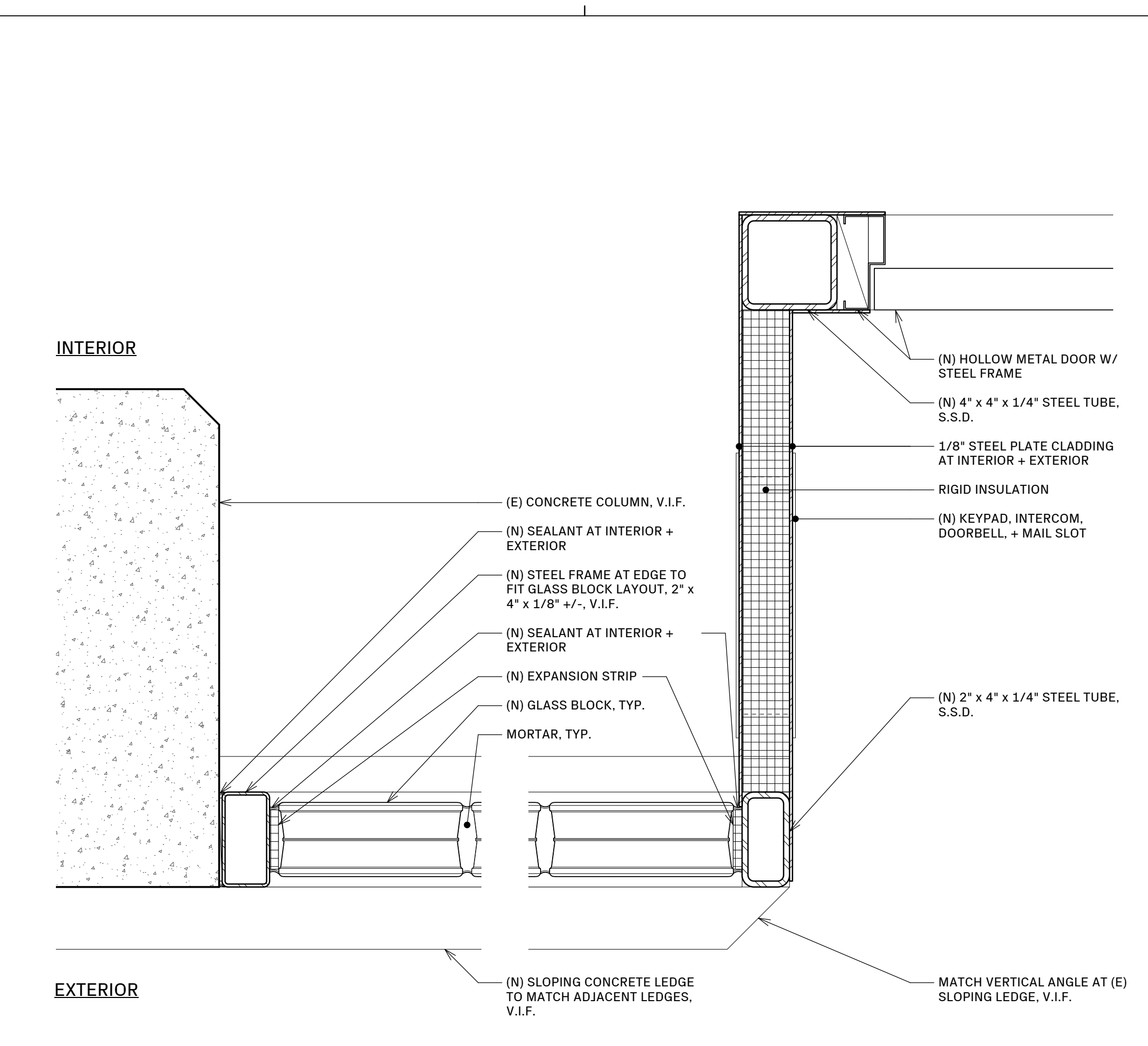
13 DETAIL AT DOOR IN GLASS BLOCK + STUCCO HEADER
 3" = 1'-0"



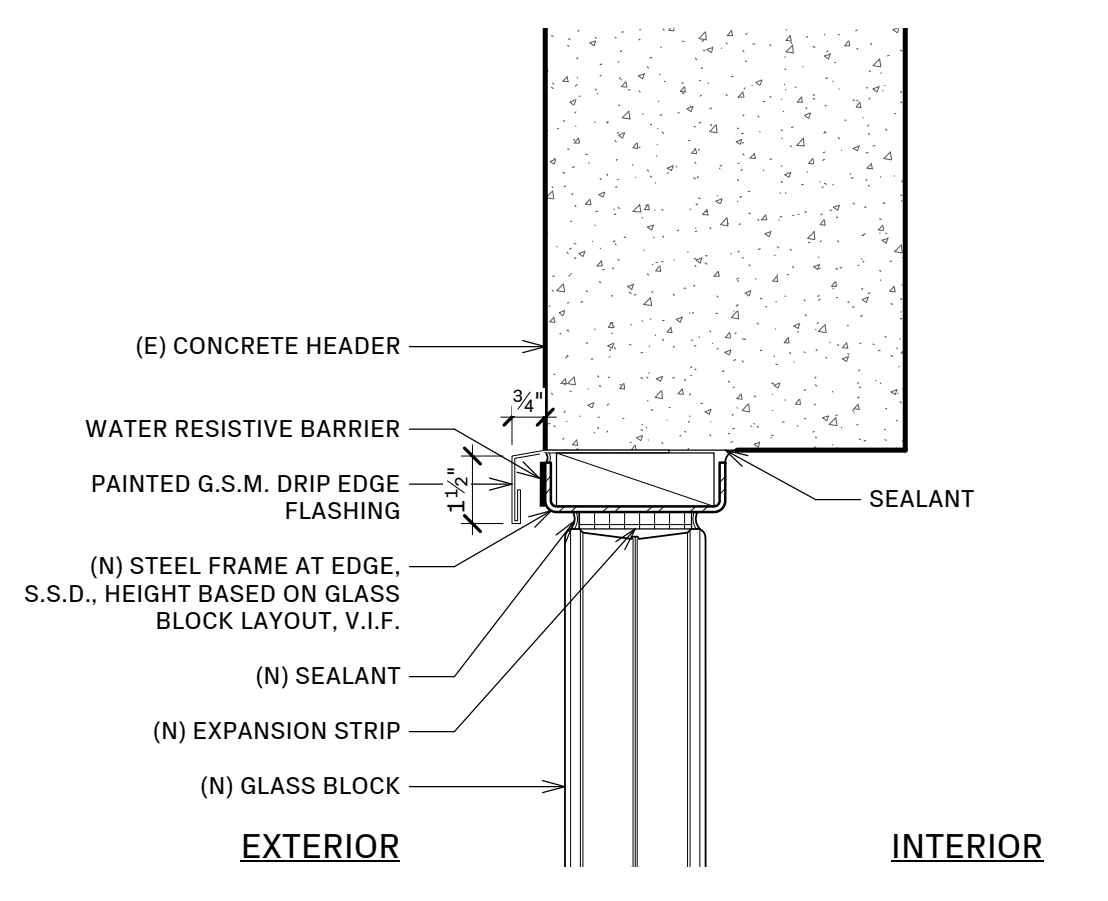
18 SECTION DETAIL AT UPPER LEVEL WINDOW SILL (SIM. AT JAMB)
 3" = 1'-0"



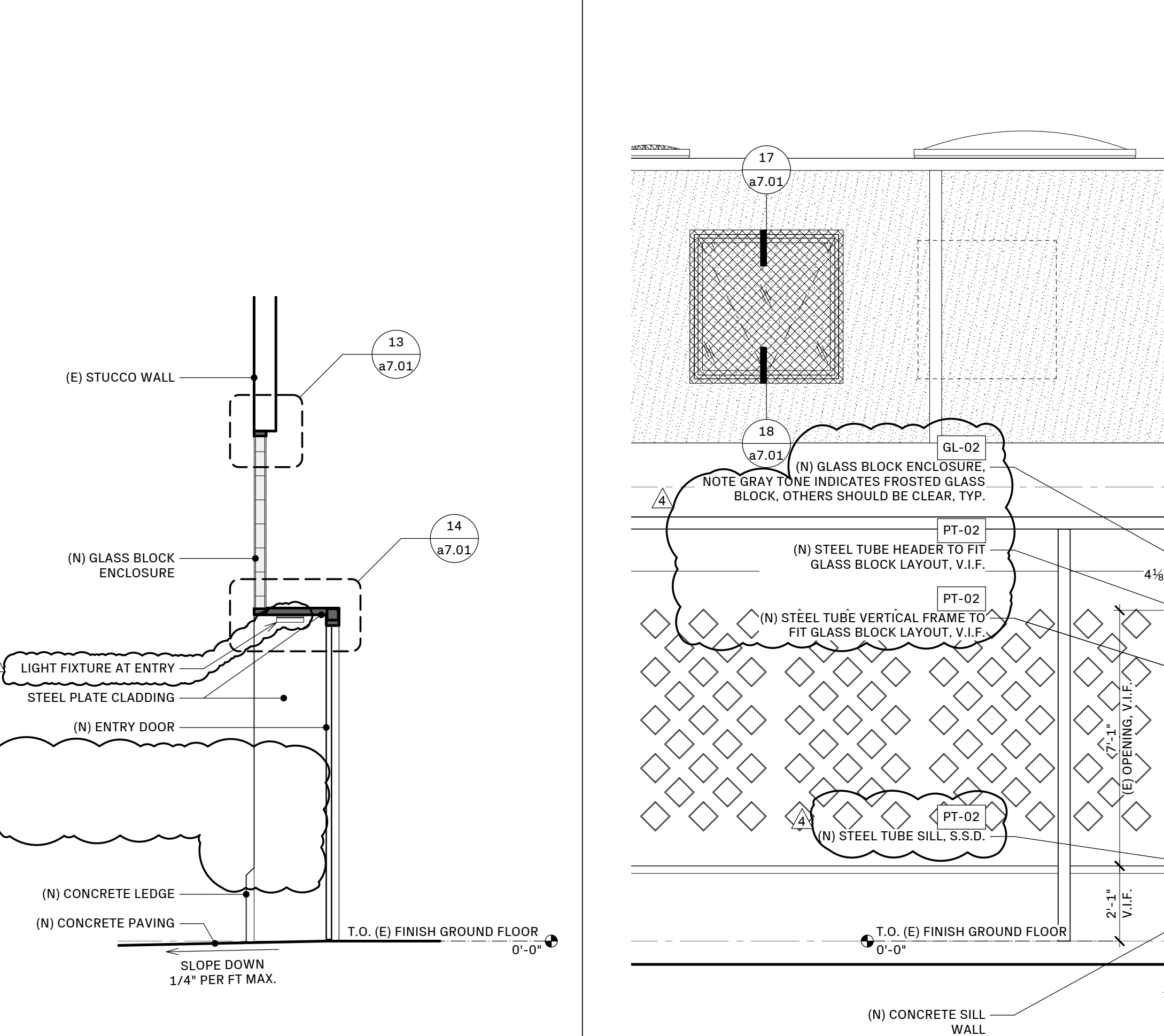
14 SECTION DETAIL AT RECESSED DOOR IN GLASS BLOCK
 3" = 1'-0"



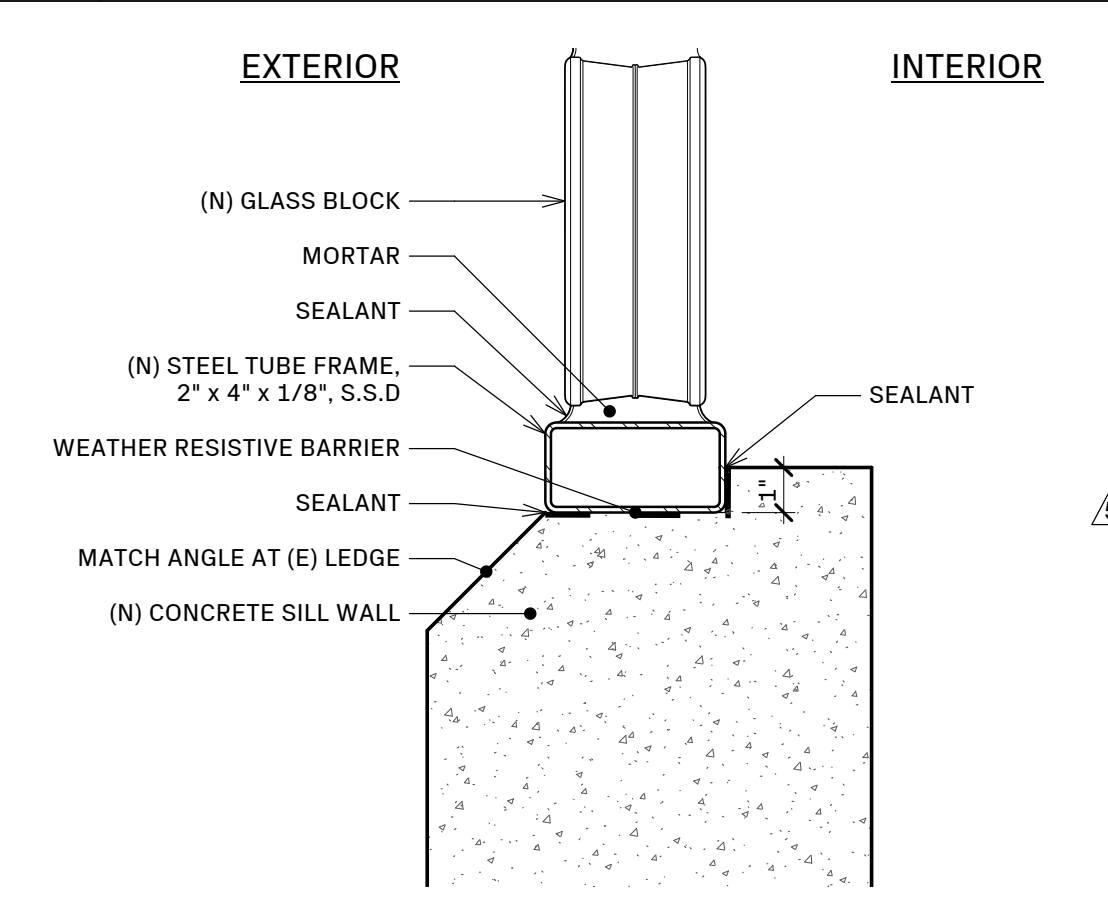
6 PLAN DETAIL AT RECESSED DOOR IN GLASS BLOCK
 3" = 1'-0"



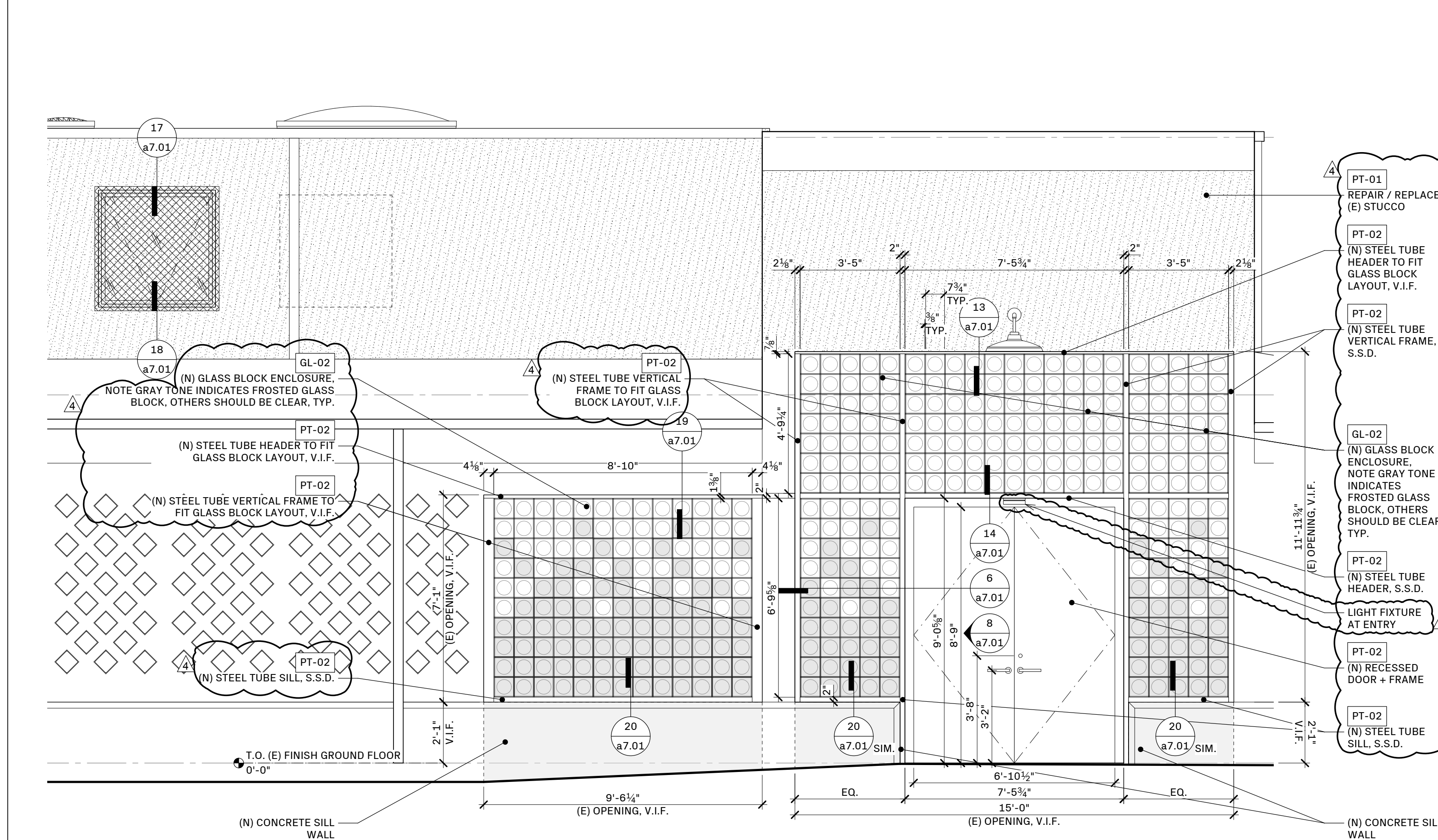
19 SECTION DETAIL AT GLASS BLOCK + CONCRETE HEADER
 3" = 1'-0"



16 SECTION / ELEVATION AT SIXTH STREET ENTRY
 3/8" = 1'-0"

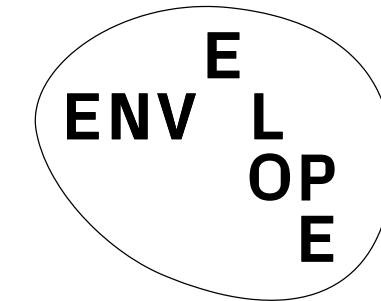


20 SECTION DETAIL AT GLASS BLOCK + CONCRETE SILL
 3" = 1'-0"

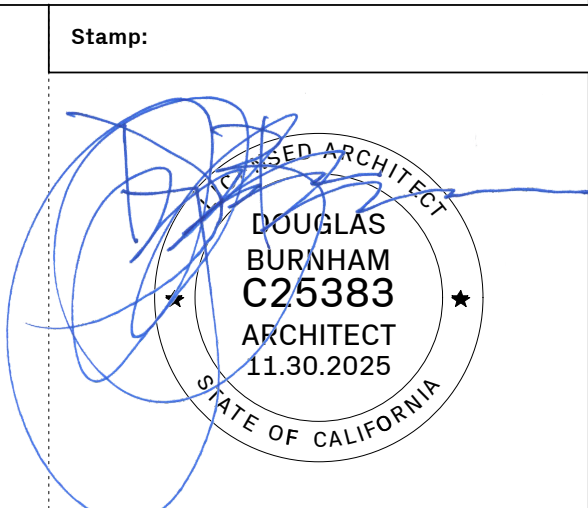


12 ENLARGED ELEVATION AT GLASS BLOCK ENCLOSURE - WEST
 3/8" = 1'-0"

<p>17 NOT USED</p>	<p>13 NOT USED</p>	<p>9 NOT USED</p>	<p>5 NOT USED</p>	<p>1 SECTION DETAIL AT BANCROFT GLASS BLOCK HEADER 3" = 1'-0"</p>	<p>ENVELOPE ARCHITECTURE + DESIGN 2212 6TH ST BERKELEY, CA 94710 USA 510.864.2400 ENVELOPEAD.COM LICENSED ARCHITECT NO. C25383</p>												
<p>18 NOT USED</p>	<p>14 NOT USED</p>	<p>10 NOT USED</p>	<p>6 NOT USED</p>	<p>2 SECTION DETAIL AT BANCROFT GLASS BLOCK SILL 3" = 1'-0"</p>	<p>Stamp:</p> <p>Issue - Date:</p> <table border="1"> <tr> <td>PERMIT SET</td> <td>12.02.24</td> </tr> <tr> <td>PLAN CHECK RESPONSE 1</td> <td>03.24.25</td> </tr> <tr> <td>PLAN CHECK RESPONSE 2</td> <td>05.08.25</td> </tr> <tr> <td>PLAN CHECK RESPONSE 3</td> <td>05.29.25</td> </tr> <tr> <td>CONSTRUCTION SET</td> <td>07.09.25</td> </tr> <tr> <td>PERMIT REVISION</td> <td>11.18.25</td> </tr> </table>	PERMIT SET	12.02.24	PLAN CHECK RESPONSE 1	03.24.25	PLAN CHECK RESPONSE 2	05.08.25	PLAN CHECK RESPONSE 3	05.29.25	CONSTRUCTION SET	07.09.25	PERMIT REVISION	11.18.25
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<p>19 NOT USED</p>	<p>15 NOT USED</p>	<p>11 NOT USED</p>	<p>7 NOT USED</p>	<p>3 PLAN DETAIL AT BANCROFT GLASS BLOCK JAMB 3" = 1'-0"</p>	<p>Project Name:</p> <p>VWC Bancroft 830 Bancroft Way Berkeley, CA, 94710</p>												
<p>20 NOT USED</p>	<p>16 NOT USED</p>	<p>12 NOT USED</p>	<p>8 ENLARGED ELEVATION AT GLASS BLOCK ENCLOSURE - NORTH 3/8" = 1'-0"</p>	<p>Sheet Information:</p> <table border="1"> <tr> <td>DATE</td> <td>11.18.2025</td> </tr> <tr> <td>DRAWN BY</td> <td>NL.BL</td> </tr> <tr> <td>NORTH</td> <td>SCALE</td> </tr> <tr> <td colspan="2">AS NOTED WHEN PRINTED 24" x 36"</td> </tr> </table> <p>Sheet Name:</p> <p>DETAILS</p> <p>Sheet Number:</p> <p>a7.02</p> <p>Page Number: 28 OF 29</p>	DATE	11.18.2025	DRAWN BY	NL.BL	NORTH	SCALE	AS NOTED WHEN PRINTED 24" x 36"						
DATE	11.18.2025																
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Issue - Date:

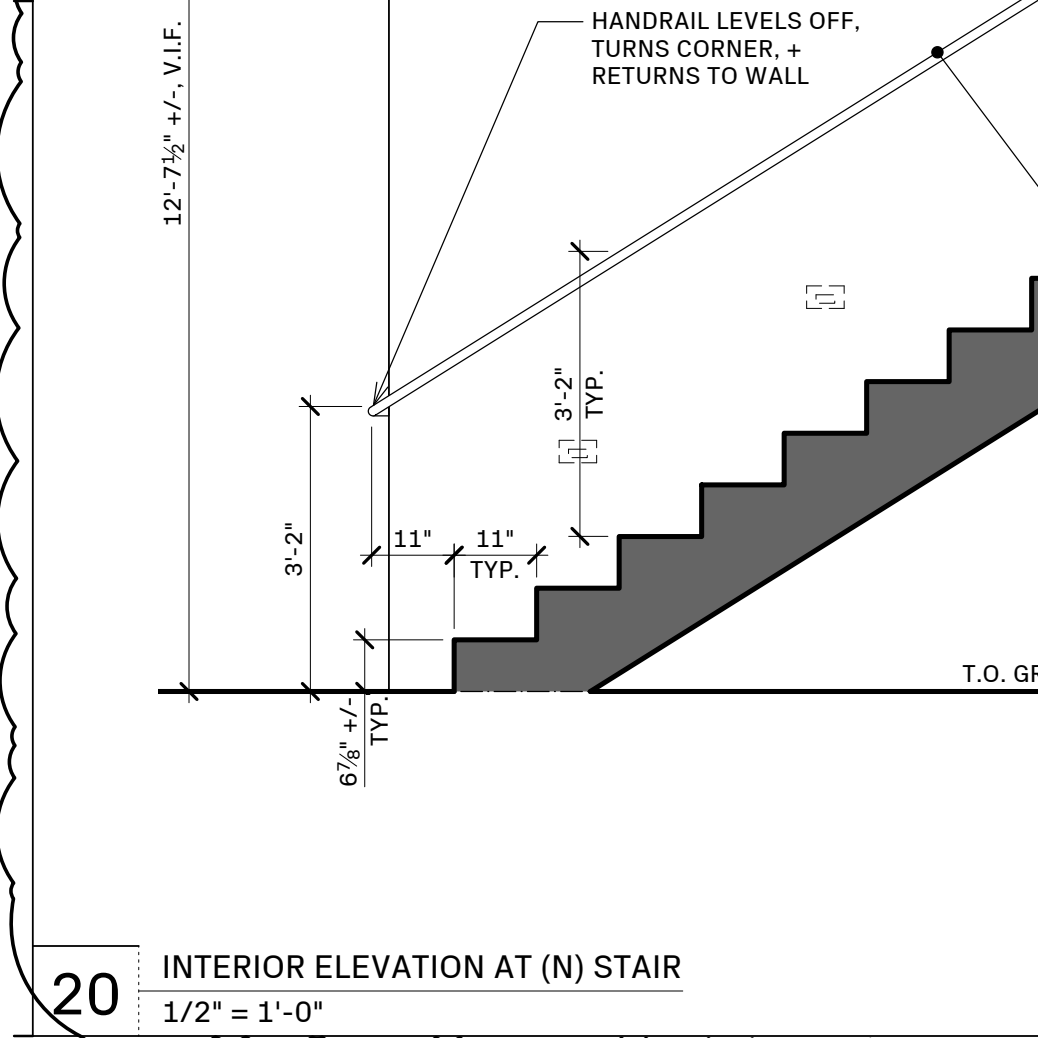
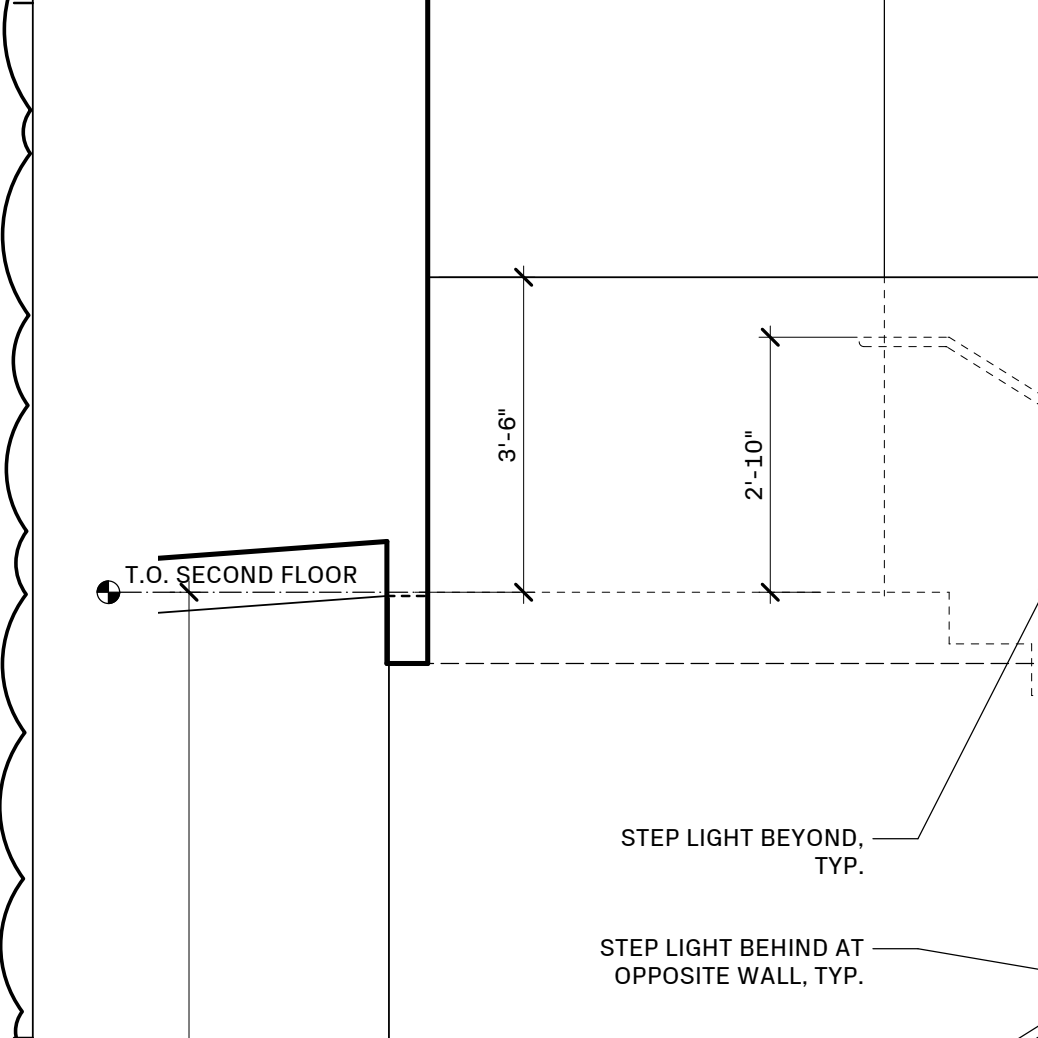
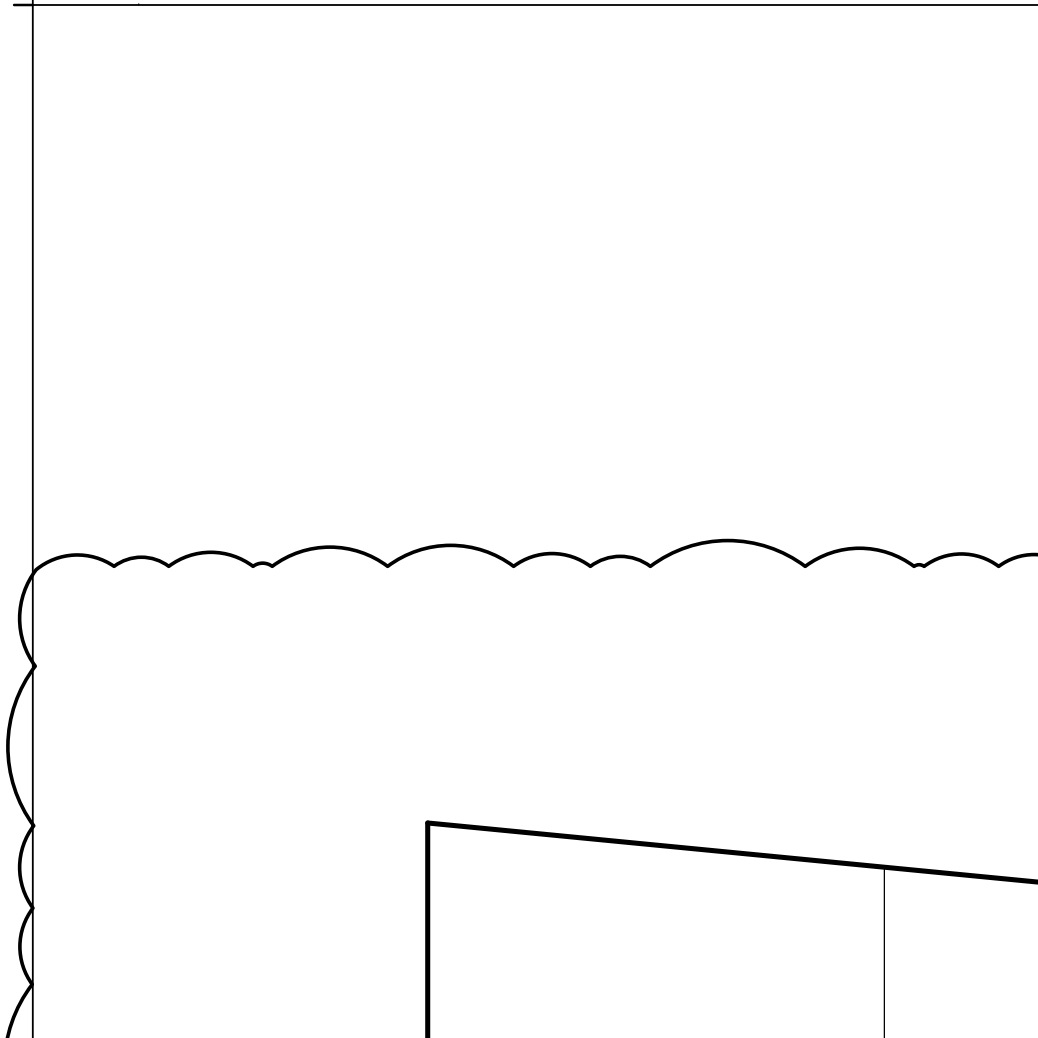
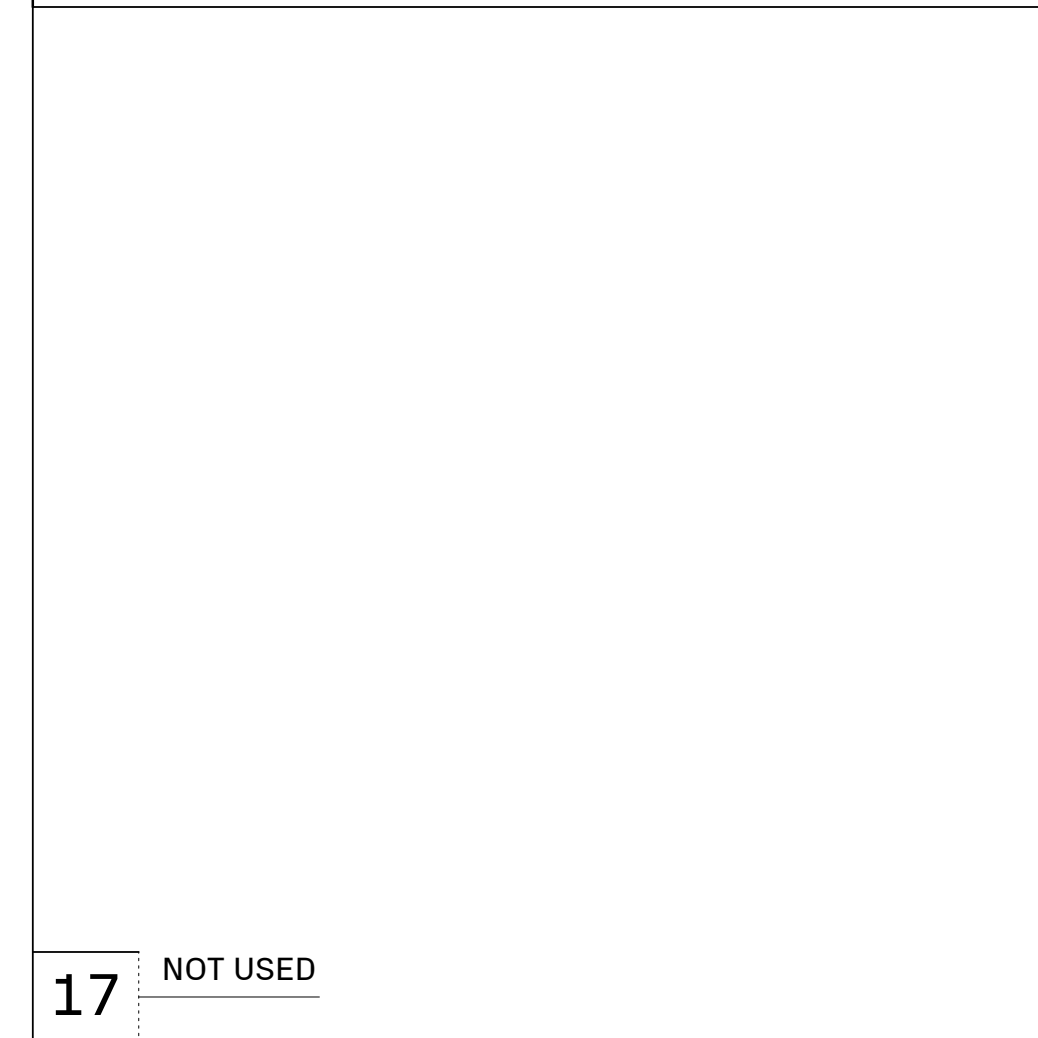
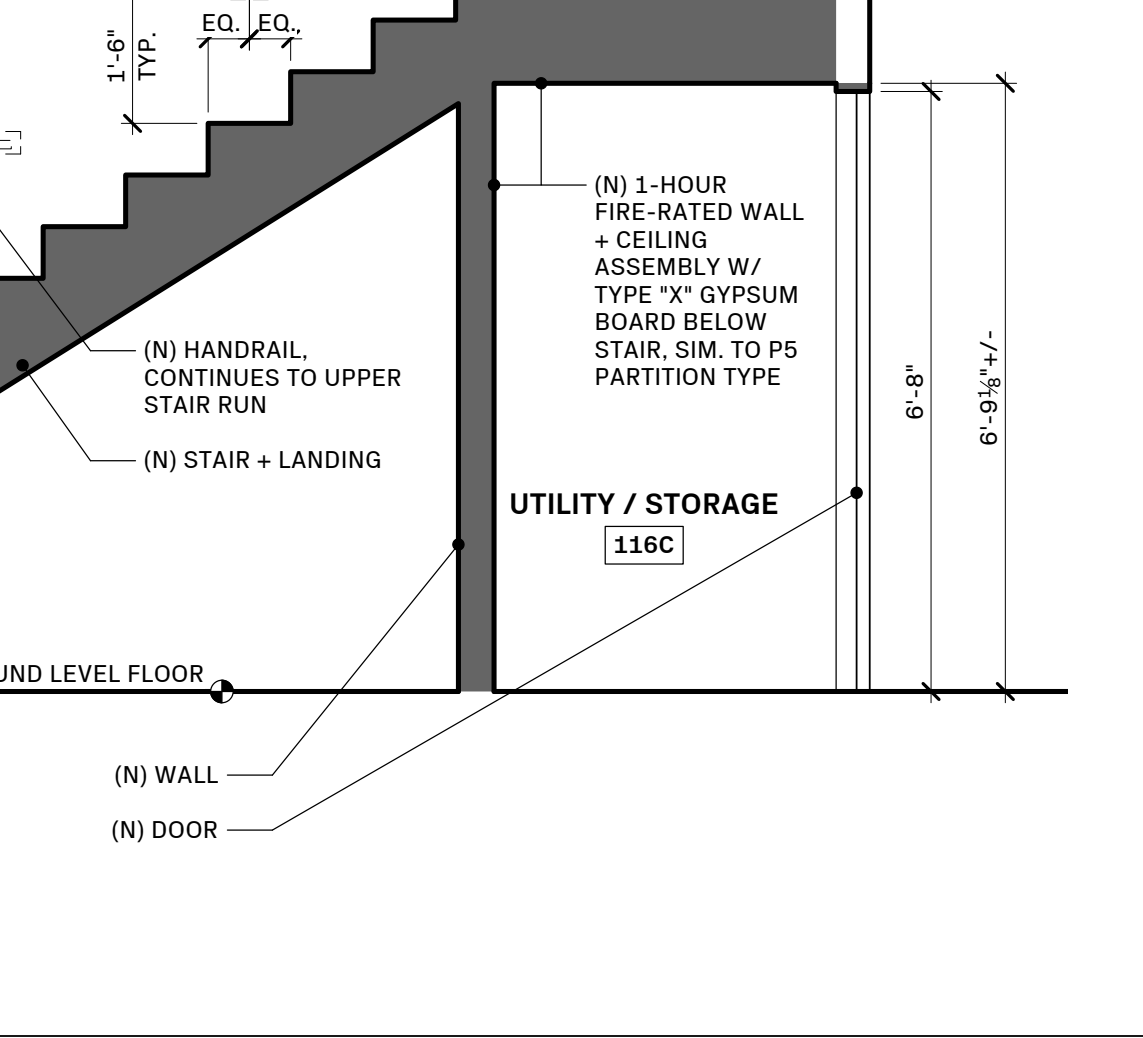
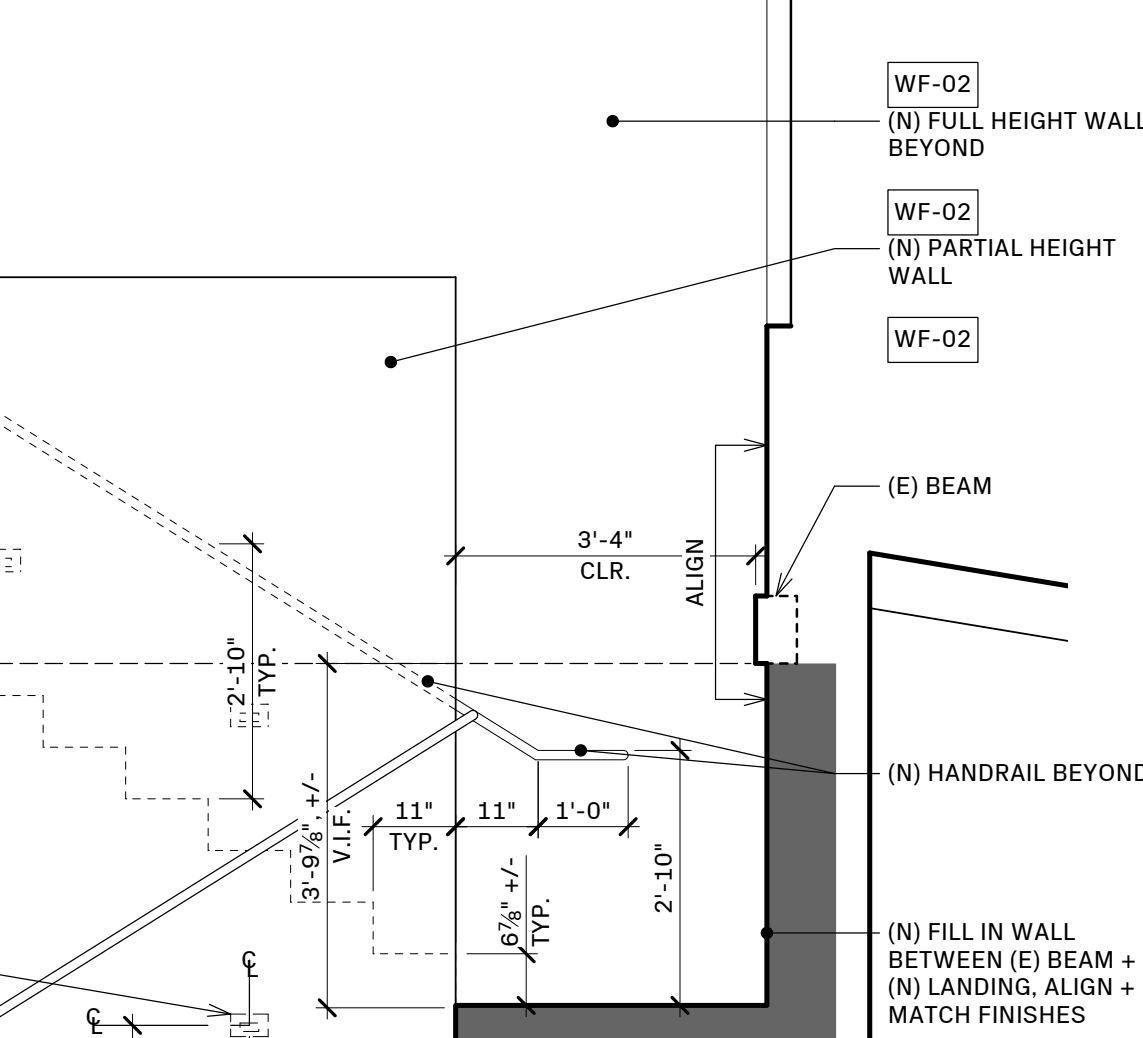
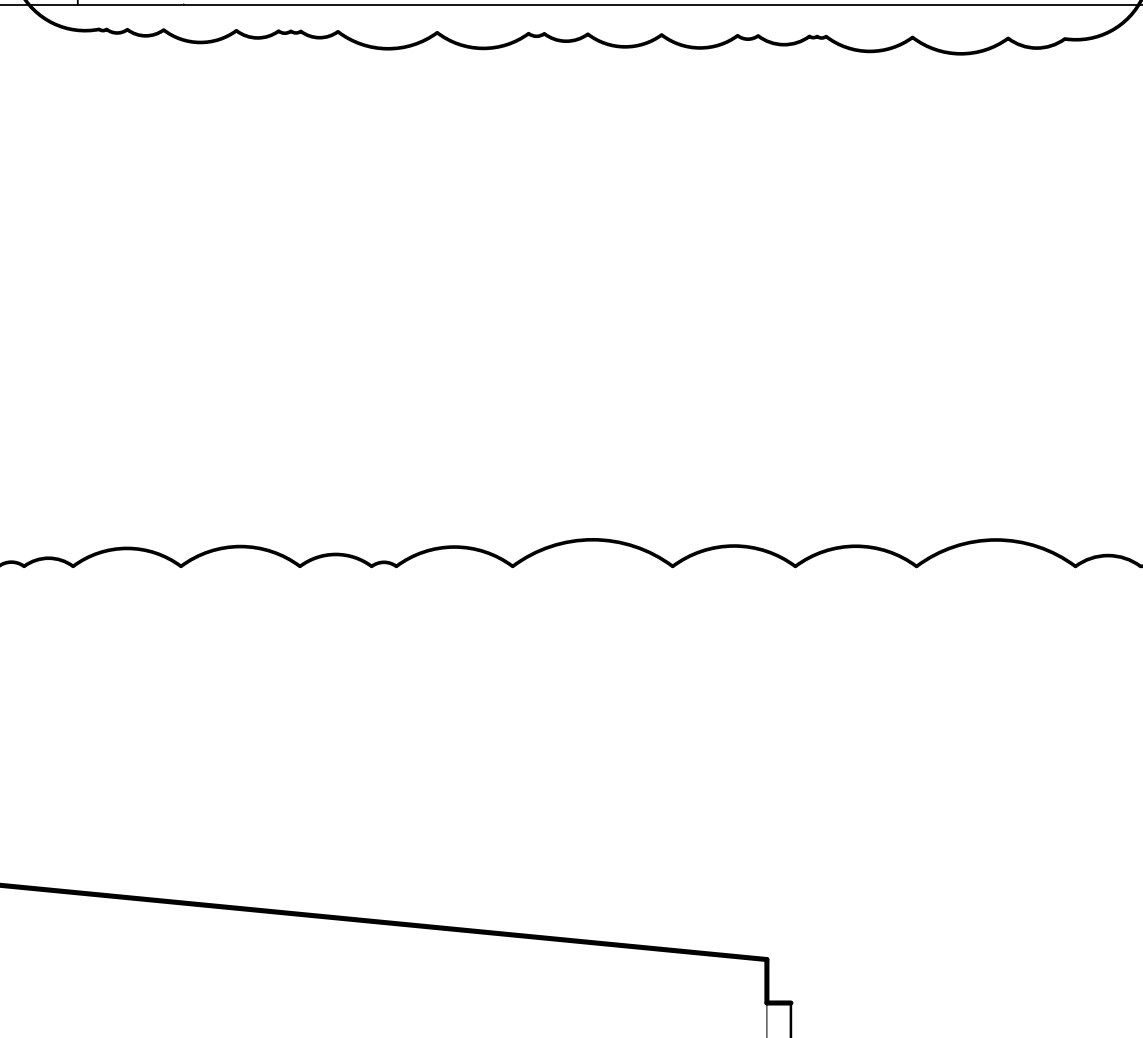
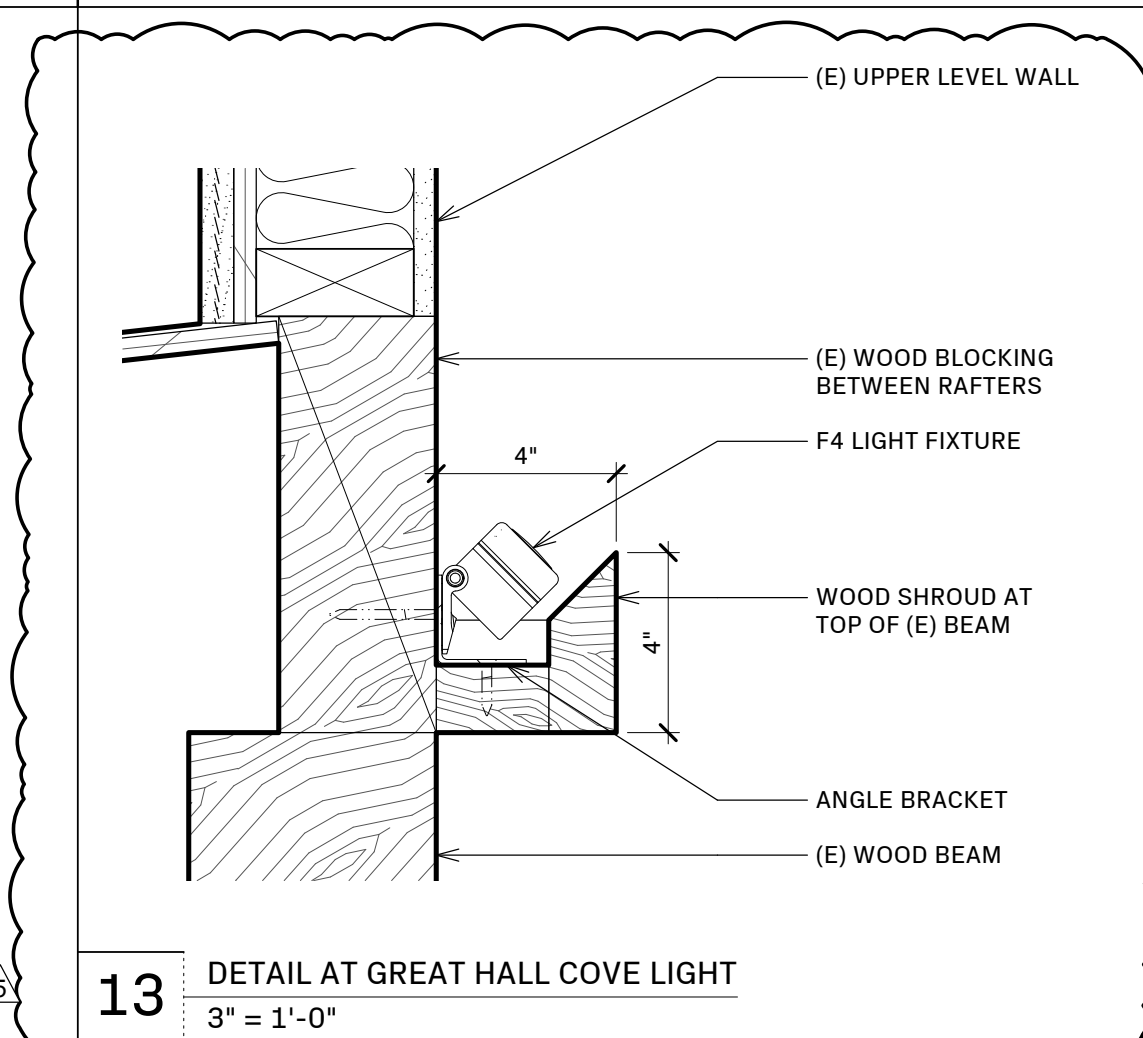
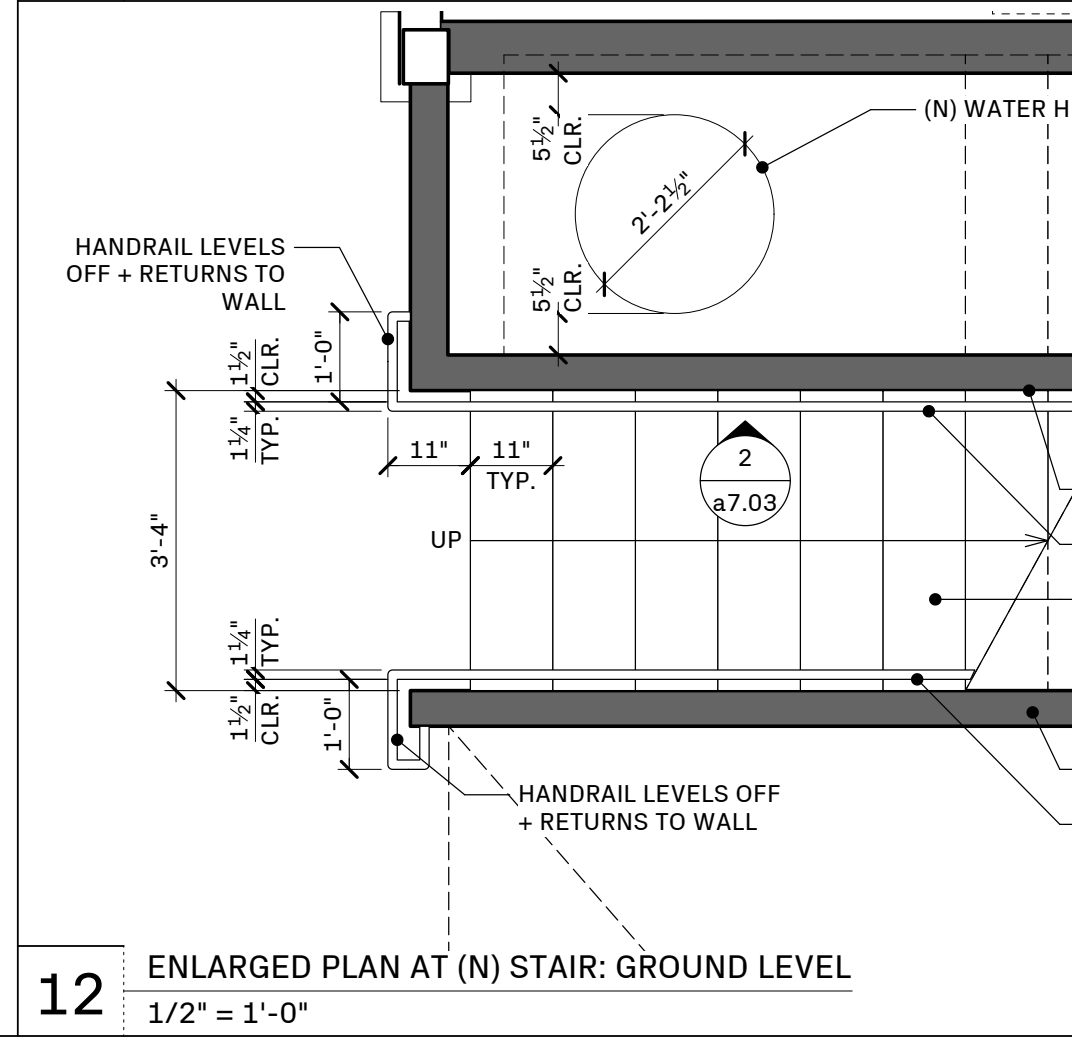
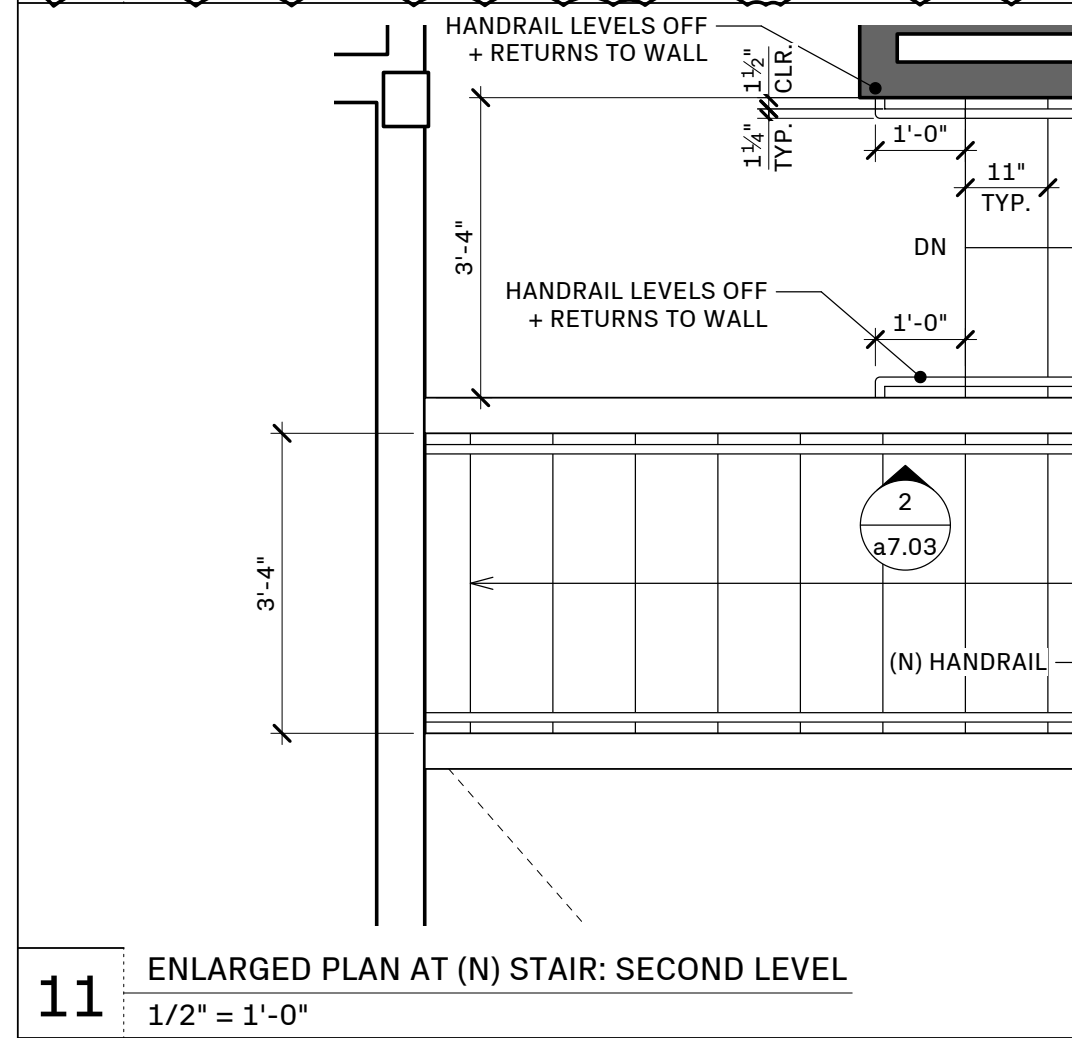
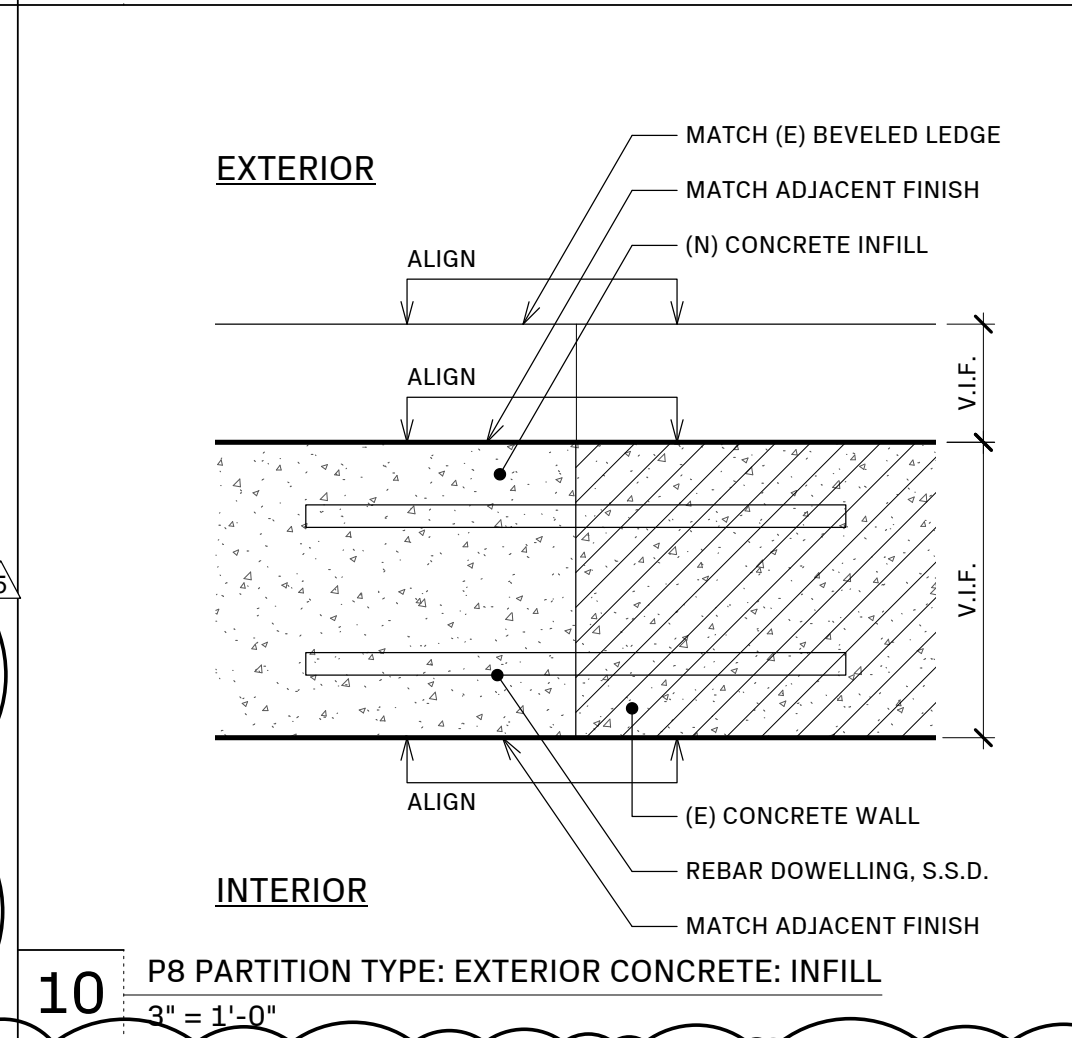
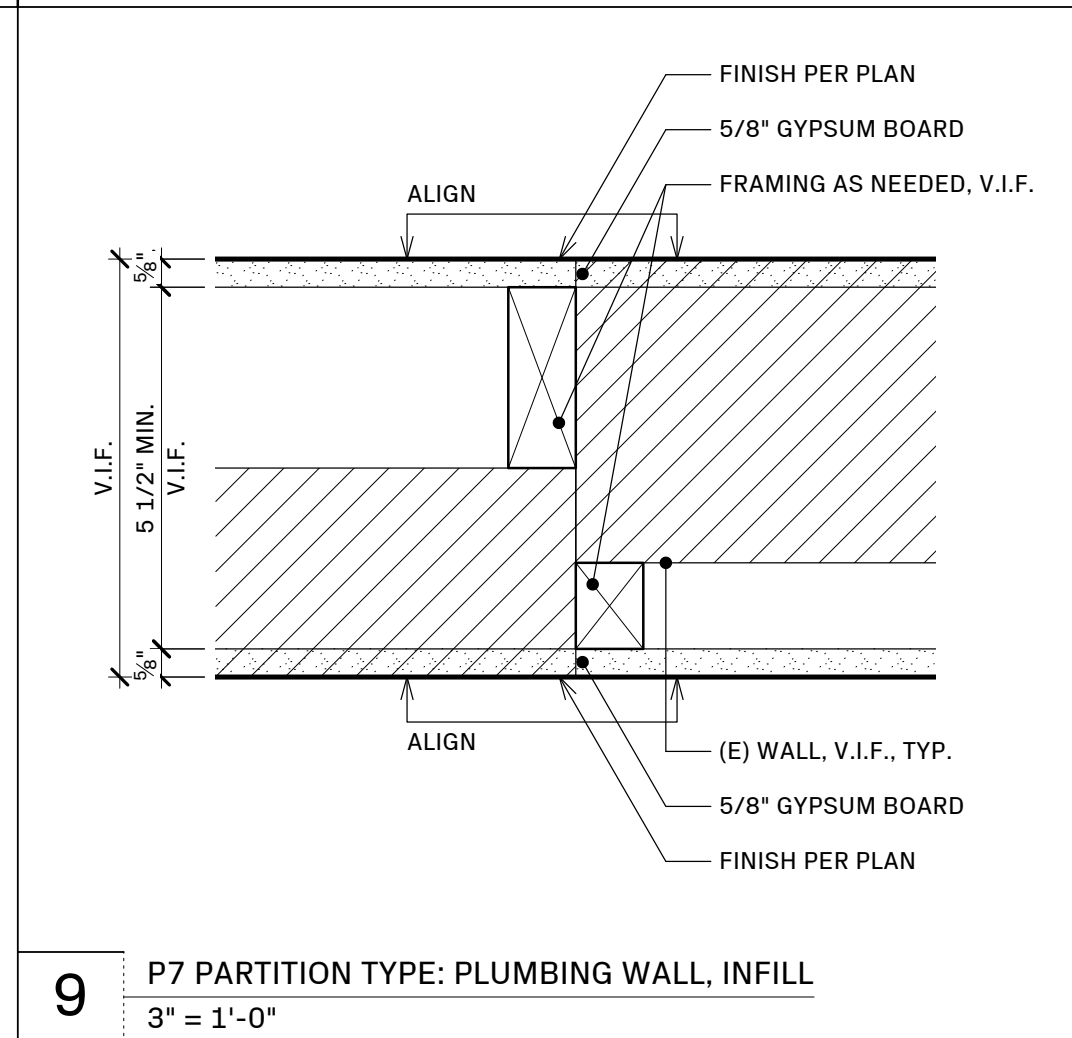
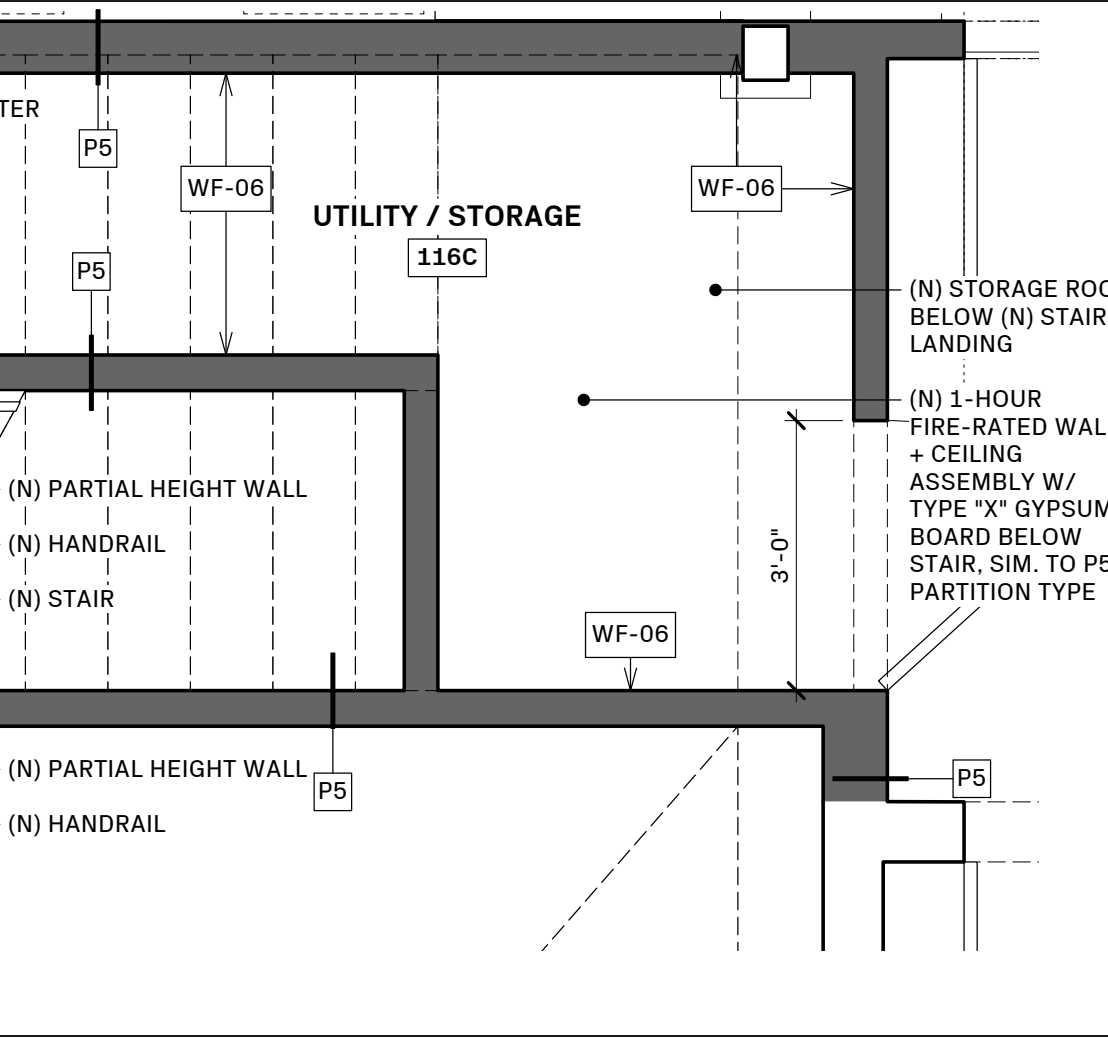
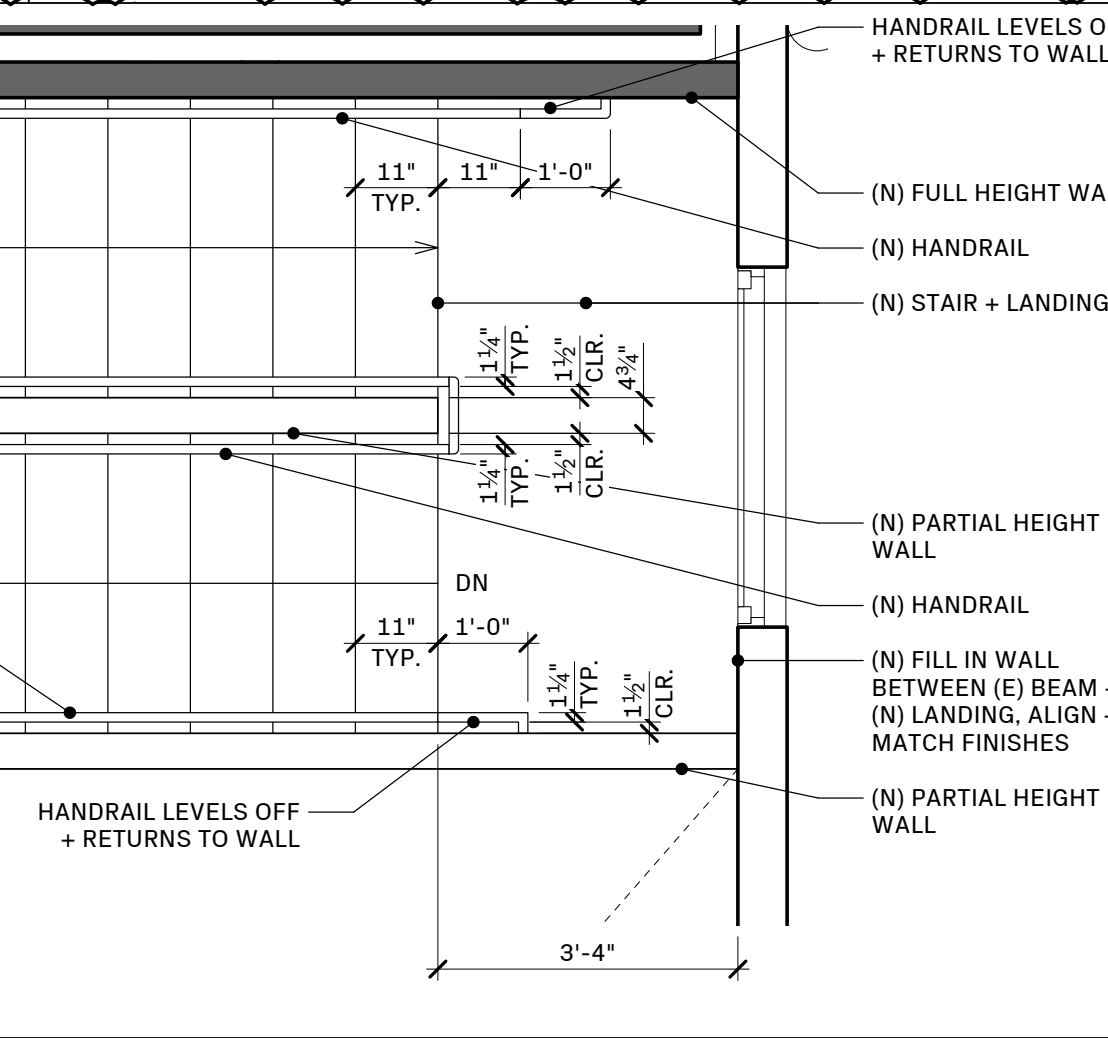
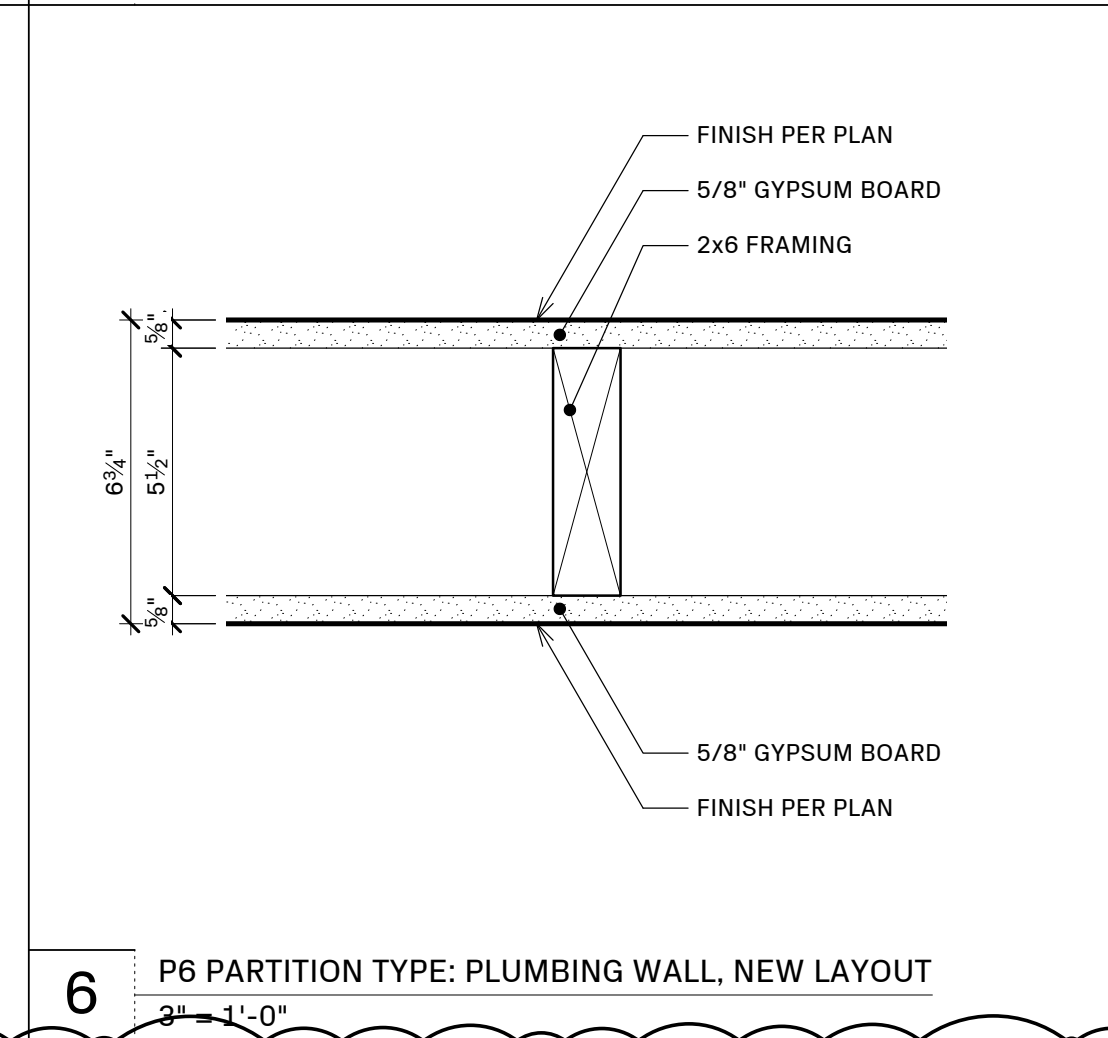
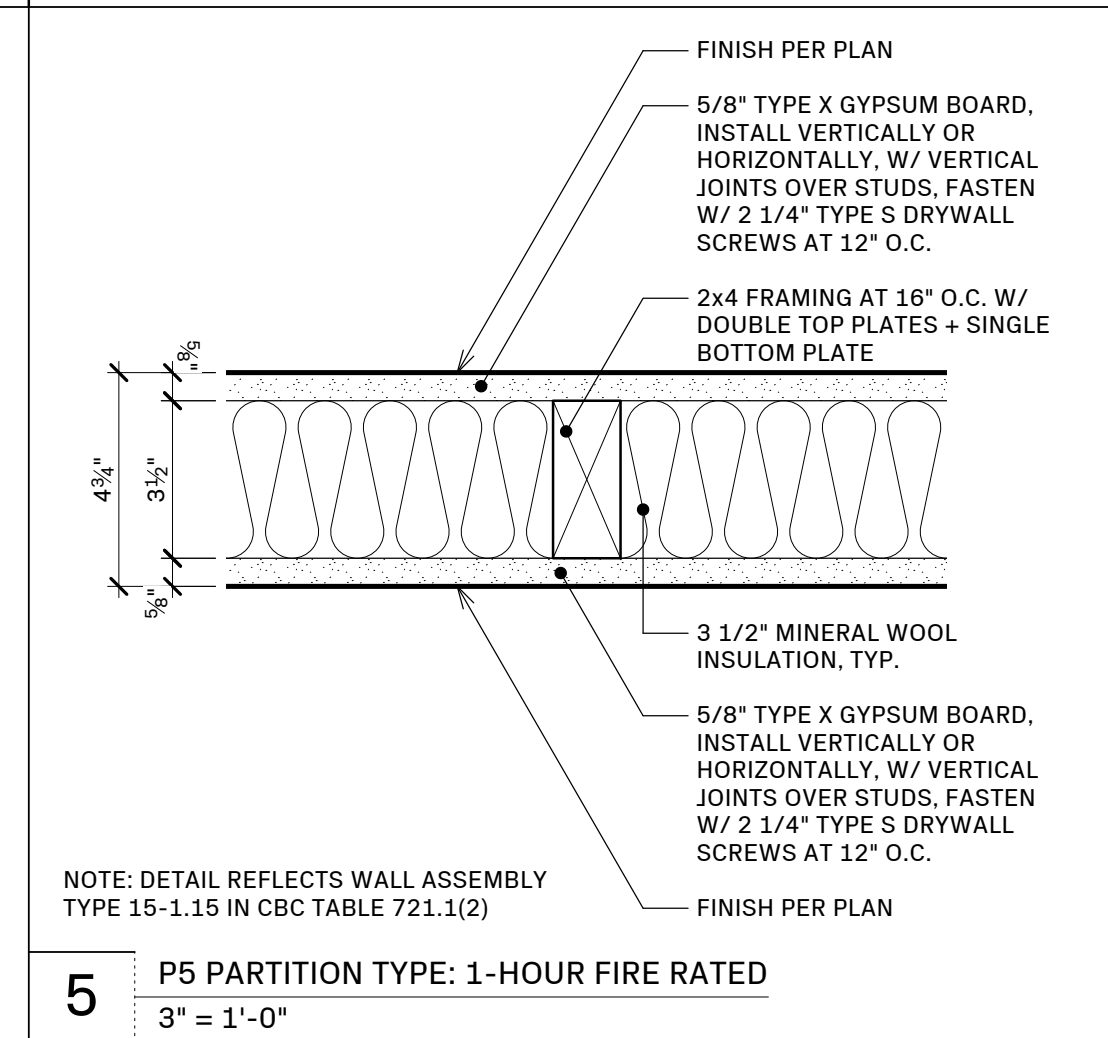
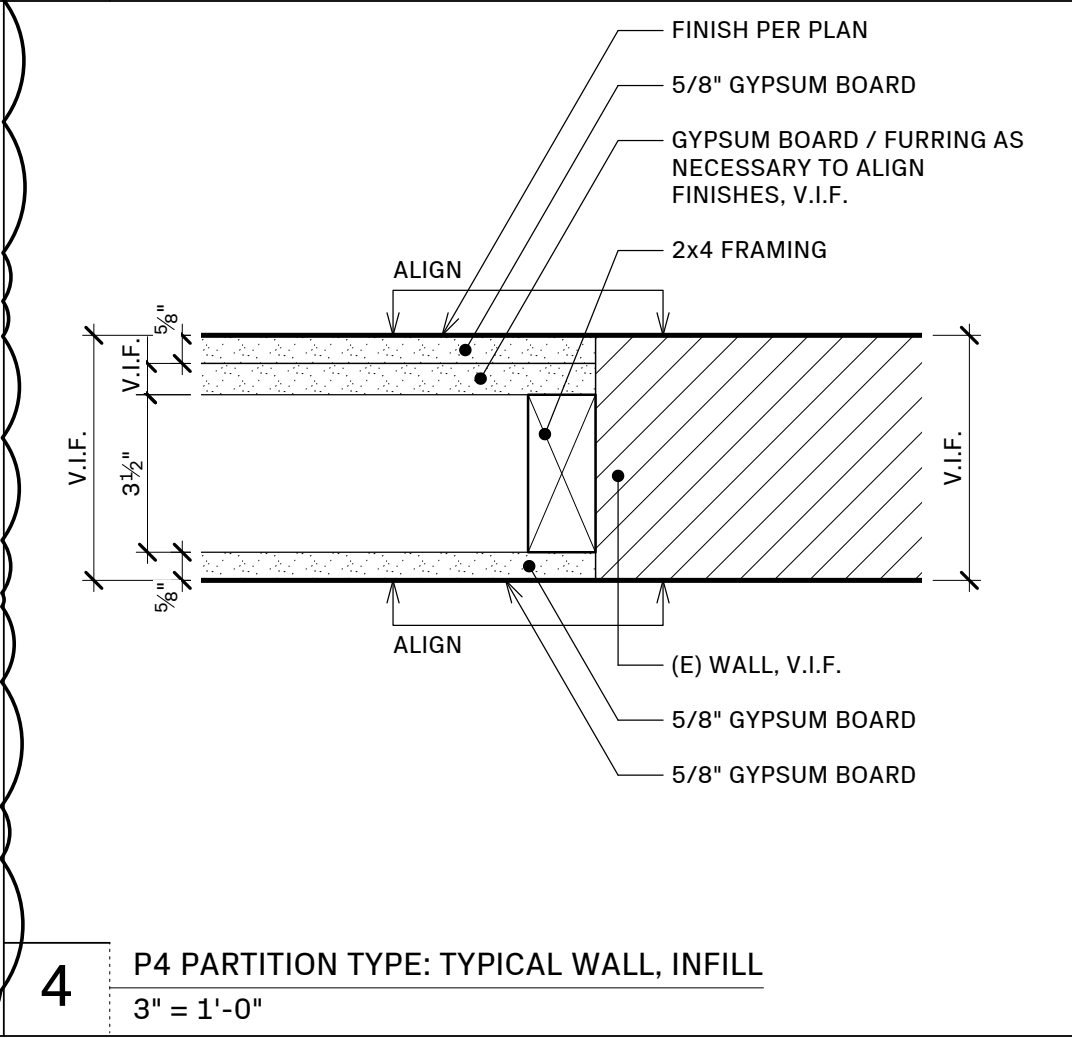
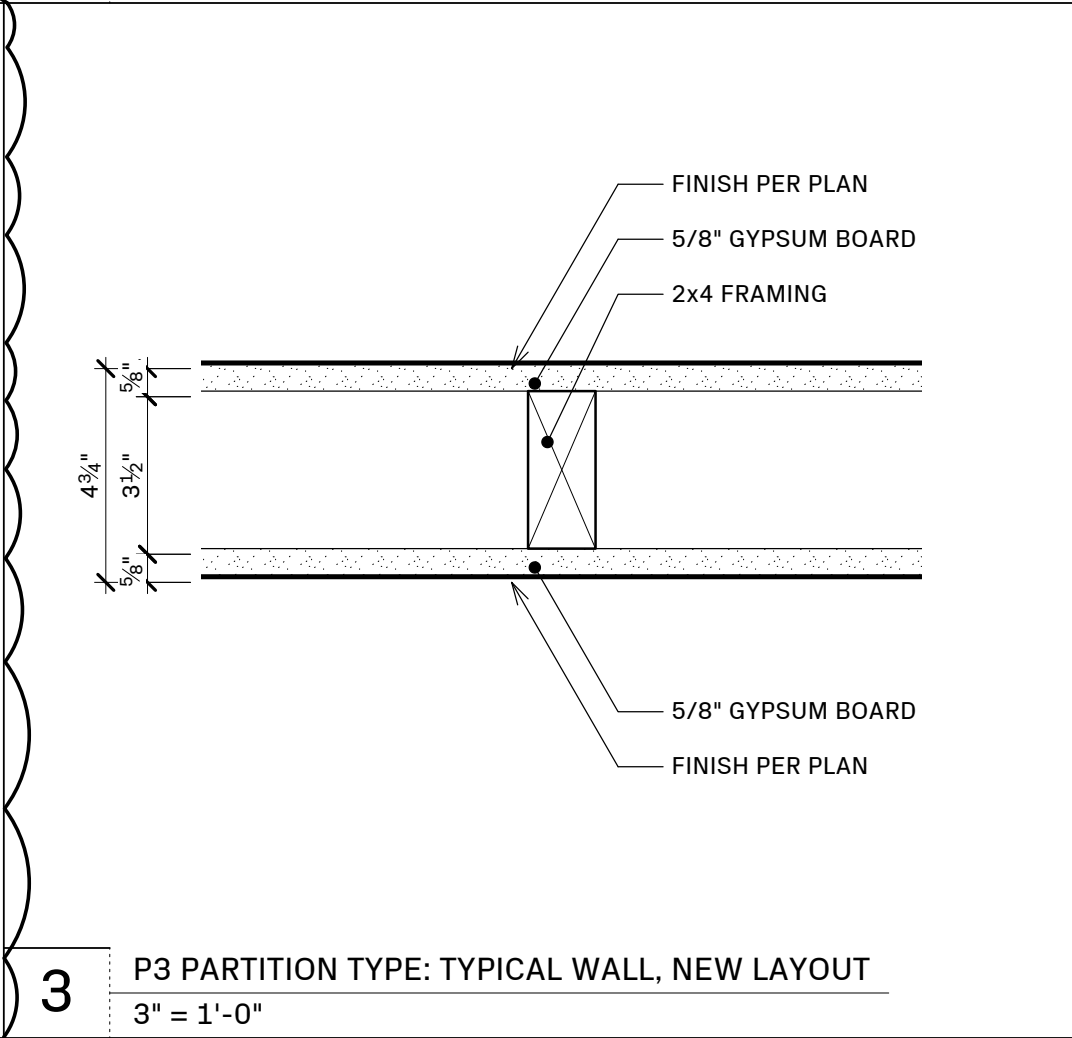
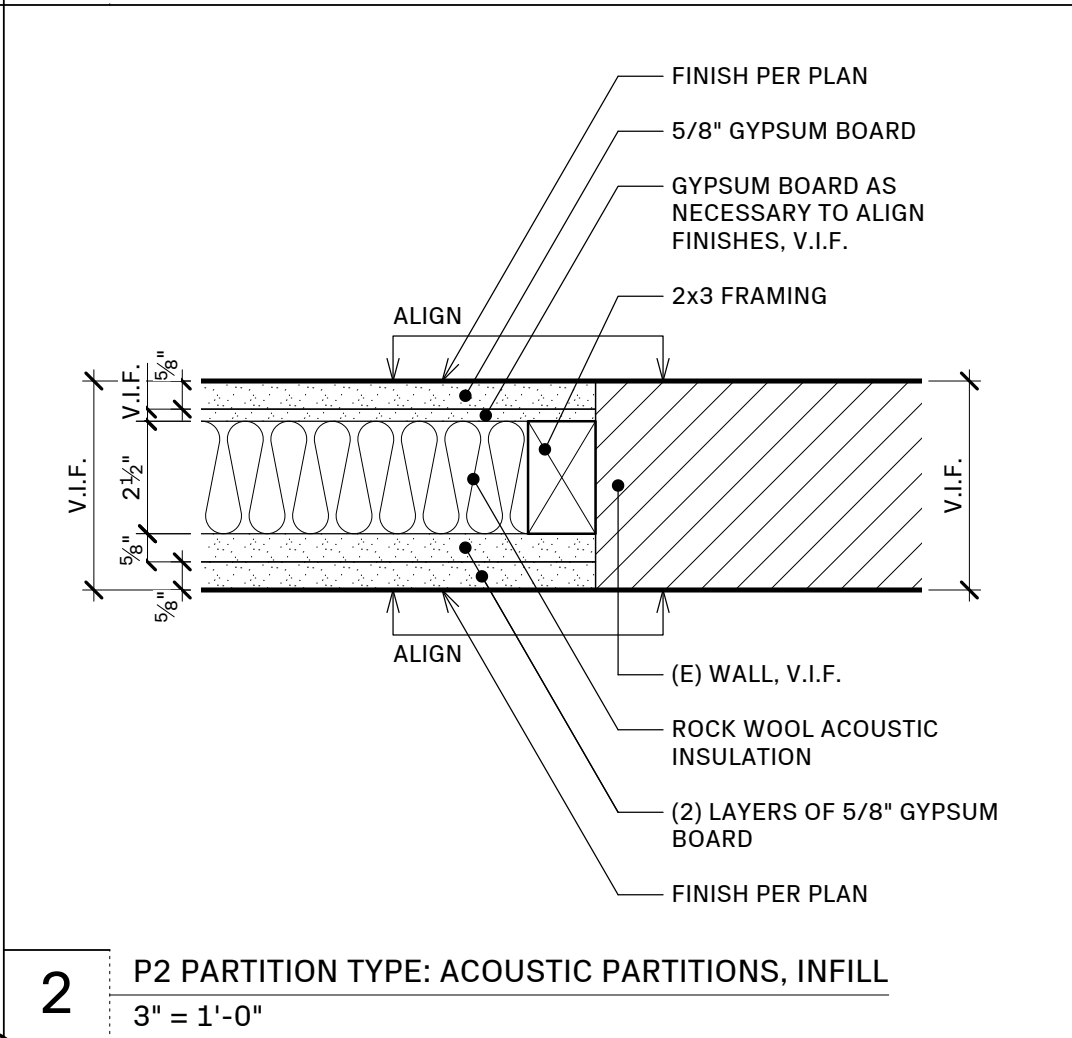
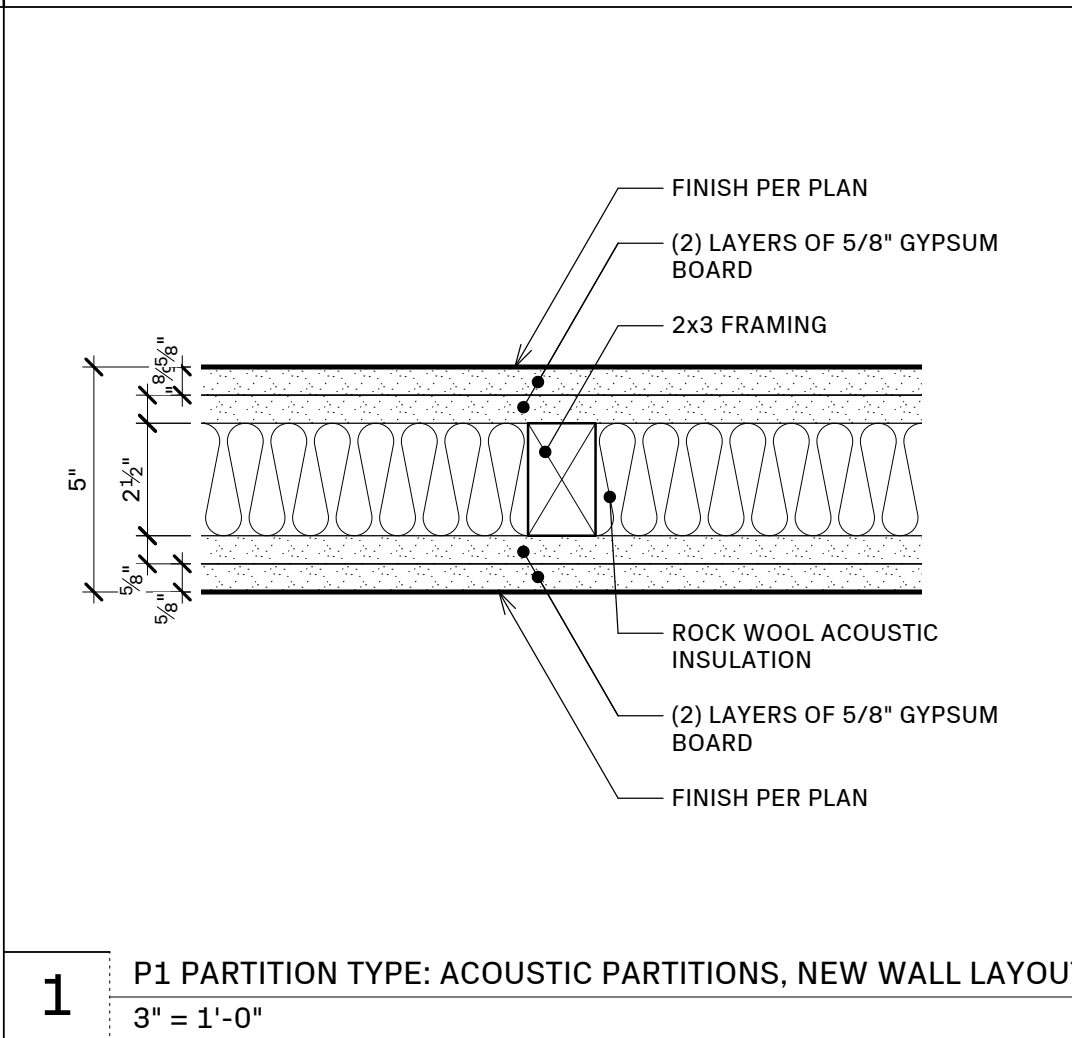
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PLAN CHECK RESPONSE 1	03.24.25
PLAN CHECK RESPONSE 2	05.08.25
PLAN CHECK RESPONSE 3	05.29.25
CONSTRUCTION SET	07.09.25
PERMIT REVISION	11.18.25

Project Name:
VWC Bancroft
830 Bancroft Way
Berkeley, CA. 94710

Sheet Information:

DATE	11.18.2025
DRAWN BY	NL.BL
NORTH	SCALE
AS NOTED WHEN PRINTED 24" x 36"	

Sheet Name:
DETAILS
Sheet Number:
a7.03
Page Number: 29 OF 29



20 INTERIOR ELEVATION AT (N) STAIR
1/2" = 1'-0"

17 NOT USED
3" = 1'-0"

13 DETAIL AT GREAT HALL COVE LIGHT
3" = 1'-0"

9 P7 PARTITION TYPE: PLUMBING WALL, INFILL
3" = 1'-0"

5 P5 PARTITION TYPE: 1-HOUR FIRE RATED
3" = 1'-0"

1 P1 PARTITION TYPE: ACOUSTIC PARTITIONS, NEW WALL LAYOUT
3" = 1'-0"

10 P8 PARTITION TYPE: EXTERIOR CONCRETE: INFILL
3" = 1'-0"

6 P6 PARTITION TYPE: PLUMBING WALL, NEW LAYOUT
3" = 1'-0"

2 P2 PARTITION TYPE: ACOUSTIC PARTITIONS, INFILL
3" = 1'-0"

11 ENLARGED PLAN AT (N) STAIR: SECOND LEVEL
1/2" = 1'-0"

12 ENLARGED PLAN AT (N) STAIR: GROUND LEVEL
1/2" = 1'-0"

3 P3 PARTITION TYPE: TYPICAL WALL, NEW LAYOUT
3" = 1'-0"

4 P4 PARTITION TYPE: TYPICAL WALL, INFILL
3" = 1'-0"



830 BANCROFT WAY – DETAILED MEETING NOTES

November 3, 2025

Meeting Attendees: 17

Project Team in Attendance:

1. Rachel Berry (Client)
2. Mark Rhoades, AICP (RPG)
3. Kelvin Yeoh, AICP (RPG)

Name of Attendees & Contact Information:

1. Denny Abrams
2. Lex Phelan (lex@envelopead.com)
3. Mary Beth Thomsen (marybeth.thomsen@gmail.com)
4. Elizabethlittle (elspethpi@gmail.com)
5. Rolf Bell (Rolf.bell12@gmail.com)
6. Fred Botha
7. D Fortier (dotibew@sbcglobal.net)
8. Grace Kavanaugh (KavanaughHouse@gmail.com)
9. Robert Ballard (rball@gmail.com)
10. Jennifer Waicukauski (Jen@lookingglassphoto.com)
11. Erika S (barques_nods.5t@icloud.com)
12. Rosanne
13. Elliot Abrams (elliottabrams@fourthstreet.com)
14. Tim (usbmx2@gmail.com)

Key Notes / Takeaways:

1. Parking Concerns

- Parking management on trash and street sweeping days needs coordination
- Parking commitments to be captured in Conditions of Approval
- Interest in creative solutions to redirect parking during events
- Concern about blocking residential driveways and parking in red zones
- Clear enforcement mechanism for parking violations requested
- Discussion of additional parking options (rental agreements, term leases)
- General awareness of parking pressure on surrounding streets
- Shuttle service raised as a potential option
- Rideshare double parking and bike lane conflicts noted as something to plan around
- Secure long-term parking spaces identified as a priority
- Elizabeth (neighbor): supportive of the business, wants parking solutions that work for families
- Question raised about April 1 operational start date



A screenshot of a Zoom meeting grid. The grid is arranged in a 3x4 layout. The top row contains four video feeds: a woman and a man (labeled elizabethlittle and Kelvin Yeoh), a man with a Golden Gate Bridge background (labeled elizabethlittle raised hand), a woman (labeled Rachel Berry she/her), and a man (labeled Mark Rhoades AICP). The second row contains four video feeds: a man (labeled Denny Abrams), a woman (labeled Lex Phelan), a woman (labeled Mary Beth Thomsen), and a man holding a phone (labeled Rolf Bell). The bottom row contains four large black boxes with white text: "Fred Botha", "D Fortier", "Grace Kavanaugh", and "Robert Ballard". Below these boxes are four smaller video feeds: a man (labeled Jennifer Waicukauski), a woman (labeled Erika S), a woman (labeled Rosanne), and a man (labeled Rosanne). A logo for "LOOKING GLASS PHOTO & CAMERA" is visible in the bottom left corner of the grid.



To: Karen C. Hernandez, City of Berkeley
From: Rhoades Planning Group
Date: January 14, 2026
Re: RBI Parking Minimization Plan – Addendum for 830 Bancroft Way (#ZP2025-0096)

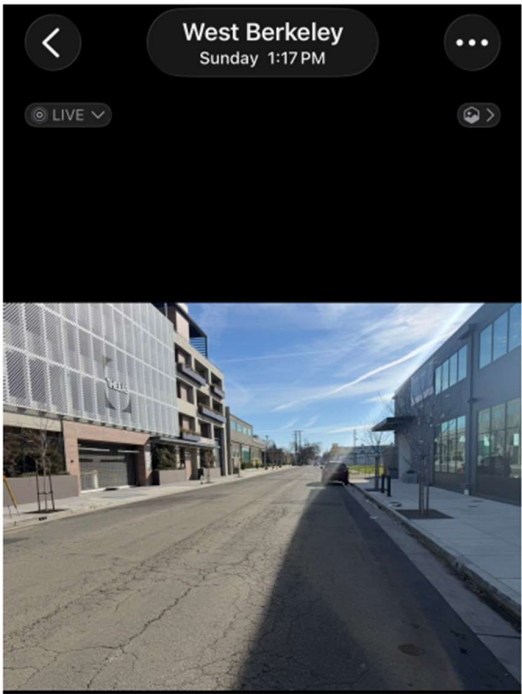
Dear Ms. Hernandez,

We are submitting this addendum to Use Permit #ZP2025-0096 for 830 Bancroft Way, which requests a modification to extend the operational hours of the existing, legally nonconforming vocational training center. Based on the community meeting with neighbors on November 3, 2025, we understand that parking is a concern in the neighborhood. In response, Root & Bloom Institute (RBI) has prepared a Parking Minimization Plan to address these concerns. The plan is attached following this cover letter.

The Parking Minimization Plan demonstrates that RBI remains committed to being a good neighbor through proactive and enforceable measures to minimize parking impacts on surrounding neighborhood streets. The plan outlines strategies to encourage alternative transportation options, coordinate with staff and visitors, and manage parking demand. These measures are intended to mitigate potential neighborhood impacts while allowing the vocational training center to operate effectively within the extended hours requested.

Ongoing Efforts to Support Neighborhood Parking Concern

Independent of this Use Permit, RBI has made additional efforts to support the broader neighborhood’s parking concerns. RBI has been working with neighborhood residents and businesses to advocate for the removal of red-curbed areas and restore additional parking for neighborhood use. Observations and photo



4th Street near Bancroft Way



5th Street near Bancroft Way

documentation indicate that weekend parking demand at the eastern point of 830 Bancroft Way is lower than weekday demand, suggesting opportunities to improve access without affecting traffic flow.

Additionally, the recent reconfiguration of the Bancroft Way/6th Street intersection (adding four left-turn lanes) removed over 50 street parking spaces and pushed bicycle lanes into flood-prone curbs, creating unsafe conditions for cyclists. This loss of parking has affected roughly 15 residents and over 30 local businesses, eliminated loading zones for low-mobility individuals, and limited convenient ride-share access, further straining weekday parking.

To address these impacts, RBI has been working closely with neighbors and businesses to propose and advocate for intersection modifications, including removing underutilized left-turn lanes:

- Southbound 6th Street to eastbound Bancroft Way: primarily serves local access traffic.
- Bancroft Way to southbound 6th Street: underutilized, serves local access traffic.
- Westbound Bancroft Way to northbound 6th Street: experiences minimal traffic.

Over the past year, residents and businesses have signed a petition supporting a balanced solution that restores parking while maintaining traffic flow. RBI remains committed to collaborating with the City and community to enhance safety, accessibility, and parking availability for all neighborhood users.

Please let us know if you have any questions.

Sincerely,

Mark Rhoades, AICP

RBI Parking Minimization Plan

Our Approach

Like many parts of Berkeley, street parking near RBI is limited. The following plan outlines guidelines for transportation to support an easeful experience for RBI visitors while respecting the needs of our resident neighbors. The guidelines in this plan will be shared with all tenants and visitors through multiple channels (see details below), and will evolve over time based on experience so that it can effectively support both RBI visitors and our neighboring community.

Our message to all-day visitors to RBI is that they will not need a car during their time with us, as there are restaurants, a small market, lodging options, and an Aquatic Park within a short walking distance. We will offer multiple options and incentives for arriving car-free to minimize the amount of parking associated with RBI use. Our policies and guidelines are outlined below for various types of tenants and clients.

We have observed over the last year that parking in our neighborhood is most impacted during business hours, with parking more widely available evenings and weekends (see attached photos). We will hold our tenants and visitors to the following guidelines during all operating hours to maximize ease for those who need to use street parking during any time of operation.

In addition to this Parking Minimization Plan, we continue to be in communication with several levels of city management/public works to advocate for the return of dozens of parking spaces that were removed when the traffic light and left turn lanes were installed at the Bancroft Way/6th Street intersection. We will continue to advocate for a street traffic plan at this intersection that provides safety for bicyclists and is appropriate for the level of traffic at this intersection.

Incorporating Community Feedback

During our community zoom meeting in December 2025, we received feedback from several of our neighbors and have included them into our parking minimization plan.

Avoiding Residential Street Parking & Issuing Fines: RBI is located in a mixed use area, and we understand from our neighbors that in the past, visitors of the previous

business in our location would park on residential streets to the east, causing parking congestion for home owners. RBI transportation guidelines clearly demonstrate that no business parking is allowed on the streets east of our location, and that violators (reported by any neighbor or staff) will be issued a fine (with funds supporting bikeeastbay.org). Neighbors will be given contact information to report violators via email or text.

Renting from Existing Parking Lots: As suggested by neighbor residents, we reached out to three local parking lots owners/managers about renting weekend parking lots. Unfortunately, all declined to explore weekend rental agreements with us. However, we do have an existing relationship with the Berkeley Lab/SteelWave to offer monthly parking leases for our staff and office tenants (more details below).

RBI Staff Parking (1-2 individuals/day)

These guidelines below will be included in every employee contract

RBI staff have two options for their primary transportation to work. “Primary” refers to the mode of transportation they use 3 or more times a week.

1.1. Staff and tenants are highly encouraged to arrive to work car-free:

- 1.1.1. **Bicycle or Scooter.** There are many bike friendly roads and dedicated bike lanes in West Berkeley. Staff and tenants can use RBI’s secure, indoor parking for their bicycles.
- 1.1.2. **Bus.** The following bus lines are within a few blocks
 - 1.1.2.1. Line 36: 7th Street & Dwight Way (3 blocks away)
 - 1.1.2.2. Lines 72, 72M & 802: San Pablo & Bancroft Way (5 blocks away)
- 1.1.3. **BART.** North Berkeley Station is 1.3 miles from RBI. Combine with [bike-or-scooter-share](#), ride service, bus or walk.
- 1.1.4. **Capital Corridor Train.** CC Berkeley train stop is 6 blocks away, service every hour on weekdays.

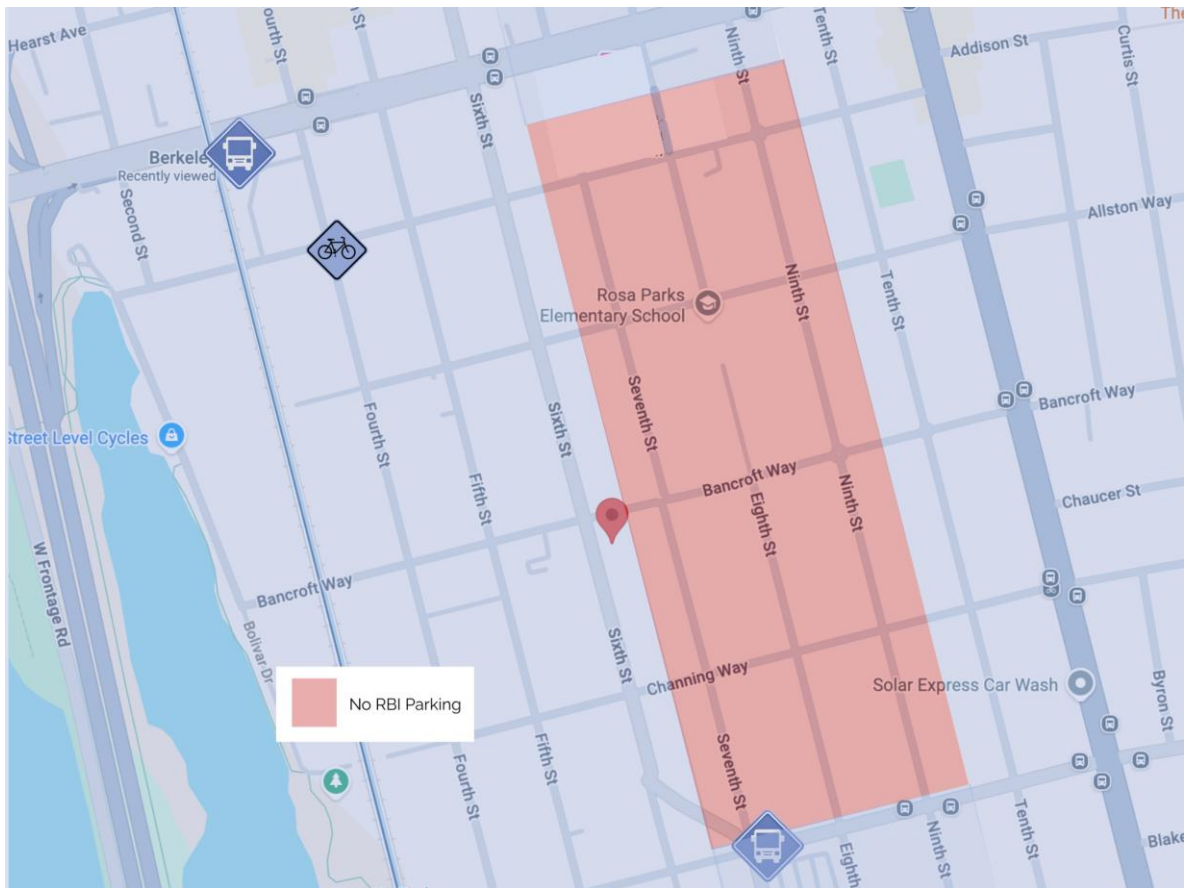
1.2. If you need to drive a car 3 or more days/week, you will be required to purchase a subsidized monthly parking pass at SteelWave 3 blocks away (full cost \$125, RBI will contribute \$40/month for the first year)

- 1.3. **If you need to occasionally park your car**, park west of 6th Street, where more street parking is available. **No staff or tenant parking is allowed** on 5th St or on Bancroft east of 6th St – this is in care of our residential neighbors. Anyone reported parking east of 6th St will be asked to pay a \$40 fine towards RBI’s fund for bikeeastbay.org.

Office Tenants (12 individuals/day)

The standards below will be included in every office tenants lease via reference to “RBI Office Tenant Community Rules and Guidelines”. Violation of these conditions may result in termination or non-renewal of lease.

- 1.1. **Staff and tenants are highly encouraged to arrive to work car-free:**
 - 1.1.1. **Bicycle or Scooter.** There are many bike friendly roads and dedicated bike lanes in West Berkeley. Staff and tenants can use RBI’s secure, indoor parking for their bicycles.
 - 1.1.2. **Bus.** The following bus lines are within a few blocks
 - 1.1.2.1. Line 36: 7th Street & Dwight Way (3 blocks away)
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 - 1.1.3. **BART.** North Berkeley Station is 1.3 miles from RBI. Combine with [bike-or-scooter-share](#), ride service, bus or walk.
 - 1.1.4. **Capital Corridor Train.** CC Berkeley train stop is 6 blocks away, service every hour on weekdays.
- 1.2. **If you need to drive a car 3 or more days/week**, you will be required to purchase a subsidized monthly parking pass at SteelWave 3 blocks away (full cost \$125/mo; RBI covers \$40/mo the 1st year)
- 1.3. **If you need to occasionally park your car**, park west of 6th Street, where more street parking is available. **No staff or tenant parking is allowed** on 7th St, 8th St, or 9th St, or on Bancroft east of 6th St – this is in care of our residential neighbors. Anyone reported parking east of 6th St will be asked to pay a \$40 fine towards RBI’s fund for bikeeastbay.org.



Office Clients (20 – 40 individuals/day)

The following conditions will be communicated to office clients via their practitioners, and fall within the tenant’s responsibility as a lessee in good standing. Failing to communicate these conditions to clients may result in early lease termination or non-renewal.

Office clients participating in expanded states therapy must arrange to be picked up/dropped off, or use alternative means of transportation.

Office clients coming for non-expanded state therapy should be directed as follows:

Like many parts of Berkeley, parking is limited in our neighborhood. We need your cooperation to ensure both your timely arrival at RBI and respect for RBI’s residential neighbors.

We ask you to make a car-free arrival whenever possible. Each car-free visit you make earns one entry into a monthly prize drawing. There are many car-free options, such as:

Bicycle and Scooter. [Bike-or-scooter-share](#) is available in Berkeley. Bike and scooter parking is available just outside our offices on the corner of 6th & Bancroft Way, a highly visible location.

Bus. The following bus lines are within a few blocks

Line 36: 7th Street & Dwight Way (3 blocks away)

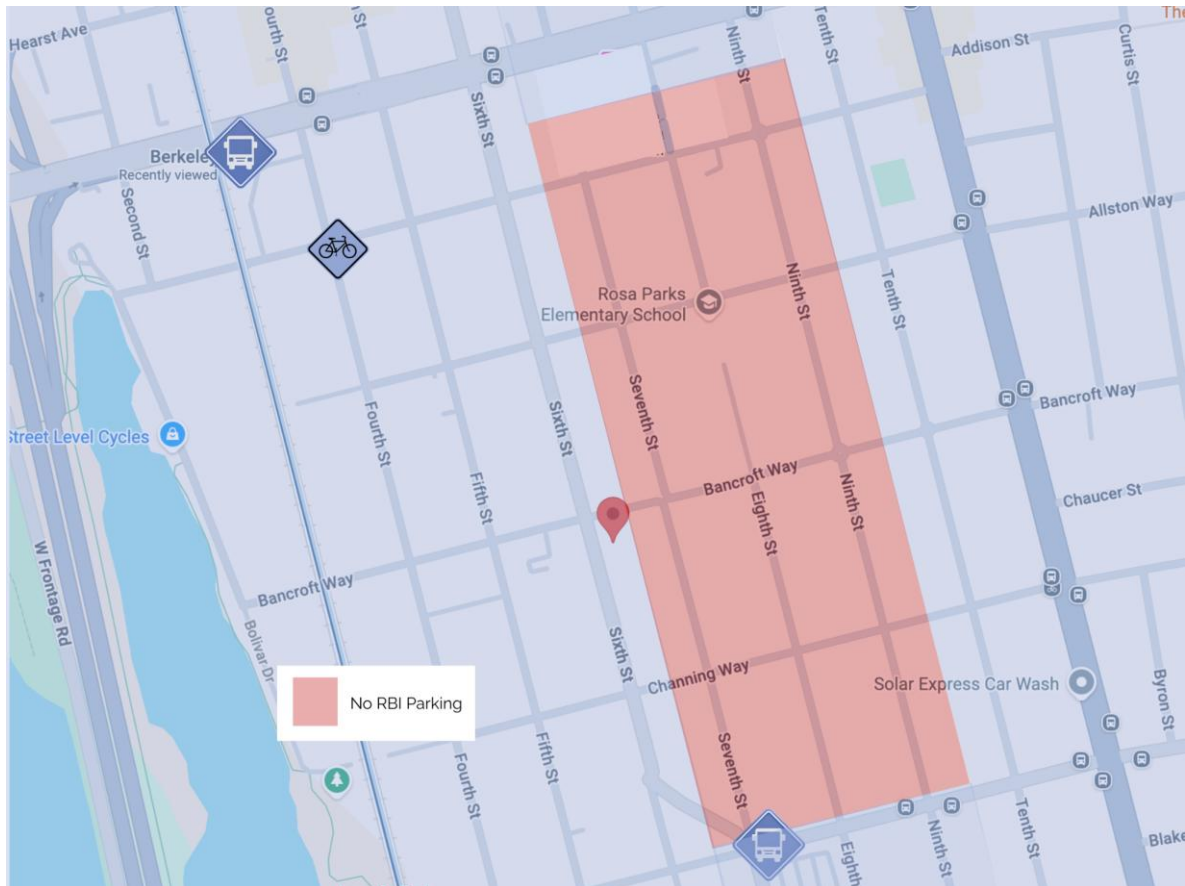
Lines 72, 72M & 802: San Pablo & Bancroft Way (5 blocks away)

BART. North Berkeley Station is 1.3 miles from RBI. Combine with [bike-or-scooter-share](#), ride service or walk.

Capital Corridor Train. CC Berkeley train stop is 6 blocks away, service every hour on weekdays.

Ride Share. Lyft and Uber are abundant in our area.

- 1.4. If you need to occasionally park your car,** park west of 6th Street, where more street parking is available. **No staff or tenant parking is allowed** on 7th St, 8th St, or 9th St, or on Bancroft east of 6th St – this is in care of our residential neighbors. Anyone reported parking east of 6th St will be asked to pay a \$40 fine towards RBI’s fund for bikeeastbay.org.



Classroom Rentals

These guidelines will be provided to every individual/group who rents classroom space, requiring them to communicate these guidelines in advance with their class participants. Transportation options are also outlined on website classroom pages.

As a renter of a classroom space at RBI, we need your cooperation in following our parking rules and guidelines and communicating them in advance with your participants to ensure their easeful and timely arrival for your offering. Your cooperation also supports our local neighbors and other clients in the building. Classroom renters who do not follow our parking guidelines have a negative impact on our greater community, and will be fined \$100 and/or excluded from future rentals. We ask that you let your clients know that if for any reason they are arriving late, the priority must be that they comply with parking policy even if that adds a few

minutes to their arrival. Another way to say this is, arriving late is not a legitimate reason to disregard the RBI parking policy!

If you are offering expanded states experiences in your program, participants must arrange to be picked up/dropped off, or use other car-free modes of transportation.

If you are offering somatic or other types of experiences, your clients should be directed as follows in your confirmation details:

Like many parts of Berkeley, parking is limited in our neighborhood. We need your cooperation to ensure both your timely arrival at RBI and respect for RBI's residential neighbors.

We ask you to make a car-free arrival whenever possible. Each car-free visit you make earns one entry into a monthly prize drawing. There are many car-free options, such as:

Bicycle and Scooter. [Bike-or-scooter-share](#) is available in Berkeley. Bike and scooter parking is available just outside our offices on the corner of 6th & Bancroft Way, a highly visible location.

Bus. The following bus lines are within a few blocks

Line 36: 7th Street & Dwight Way (3 blocks away)

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BART. North Berkeley Station is 1.3 miles from RBI. Combine with [bike-or-scooter-share](#), ride service or walk.

Capital Corridor Train. CC Berkeley train stop is 6 blocks away, service every hour on weekdays.

Ride Share. Lyft and Uber are abundant in our area.

If you need to occasionally park your car, park west of 6th Street, where more street parking is available. **No staff or tenant parking is allowed** on 7th St, 8th St, or 9th St, or on Bancroft east of 6th St – this is in care of our residential neighbors. Anyone reported parking east of 6th St will be asked to pay a \$40 fine towards RBI's fund for [bikeeastbay.org](#).





Z O N I N G
A D J U S T M E N T S
B O A R D
NOTICE OF PUBLIC HEARING

830 Bancroft Way

Use Permit Modification #ZP2025-0096 to modify Use Permit #A1463 (established non-conforming Vocational Training Center use) and Administrative Use Permit AUP#98-20000035 (established non-conforming medical office use), for the expansion of the existing facility’s operational hours to accommodate an increase of classroom area and practitioner offices for rent.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

When: Thursday, April 9, 2026, 7:00 pm

Where: Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.

For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you’re feeling sick, please do not attend the meeting in-person as a public health precaution.

Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as “distanced seating” to accommodate persons that need to distance for personal health reasons.

830 Bancroft Way
Page 2 of 4

NOTICE OF PUBLIC HEARING
Posted March 26, 2026

A. Land Use Designations:

- General Plan: General Plan: MDR – Medium Density Residential
- Zoning: R-2 – Residential Multi-Unit 2 District

B. Zoning Permits Required:

- **Expand or Change a Nonconforming Use.** BMC Section 23.324.040(A) “**Nonconforming Use**” to substantially expand or change a nonconforming use.
- **Permit Modification.** BMC Section 23.404.070 “*Permit Modification Required*” to modify an approved discretionary permit.

D. CEQA Recommendation: Categorically exempt pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

E. Project Recommendation: Approve Use Permit #ZP2025-0096 pursuant to BMC Section 23.406.040(D)

F. Parties Involved:

- Applicant Rachel Berry, Rhoades Planning Group, Berkeley, CA
- Property Owner Root and Bloom Institute, LLC., Nevada City, CA

Further Information:

All application materials are available online at:
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Karen C. Hernandez, at (510) 981-7426 or khernandez-gonzalez@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Written Comments, Communications, and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@berkeleyca.gov. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM, two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #1, which is released around noon one day before the public hearing.
- **Correspondence received by 12:00 PM, the day of** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #2, which is released around noon the day of the public hearing.
- **Correspondence received after 12:00 PM, the day of** this public hearing will be saved in the project administrative record.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@berkeleyca.gov) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - a. That this belief is a basis of your appeal.
 - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.